

0403294

DATE: _____

CITY OF SACRAMENTO
DEVELOPMENT SERVICES DIVISION
FAXED PERMIT APPLICATION (certain restrictions apply)

Fax # 916-264-1901

*Faxed request must be received in this office by 3:00 p.m. to be processed the following work day.
Note: Contractors must have a current certificate of Worker's Compensation Insurance.*

Note: Work started before a Building Permit is issued will be subject to quad fee

IN ORDER TO PROCESS THIS REQUEST, ALL THE FOLLOWING INFORMATION MUST BE PROVIDED:

RESIDENTIAL APARTMENTS (4+ units per building) COMMERCIAL (blanked)

JOB ADDRESS: 1233 Garaventa Wy UNIT # _____ CONTRACT PRICE \$ 13,000 -

CONTACT PERSON: _____ CONTACT PHONE: _____

Contractor: _____ License # _____

Property Owner: _____ Address: _____

City/State/Zip: _____ Phone: _____ FAX: _____

NATURE OF REQUEST: Indicate from the selections below & provide details under description of work.

<input checked="" type="checkbox"/> ROOF (excluding tile) <input type="checkbox"/> TEAR-OFF <input type="checkbox"/> RESHET <input type="checkbox"/> HOUSE <input type="checkbox"/> GARAGE # STAIRS: #SQUARES Material:	<input type="checkbox"/> HVAC INSTALLATIONS (residential ONLY) <input type="checkbox"/> CHANGE-OUT <input type="checkbox"/> NEW <input type="checkbox"/> Heat Pump <input type="checkbox"/> Package <input type="checkbox"/> Split system <input type="checkbox"/> Roof mount <input type="checkbox"/> Cut-in <input type="checkbox"/> Heat pump or elect. unit to gas. <input type="checkbox"/> Wall furnace <input type="checkbox"/> Other (describe below)	<input type="checkbox"/> WATER HEATER (residential ONLY) <input type="checkbox"/> GAS <input type="checkbox"/> ELECTRIC <input type="checkbox"/> Change-out <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate <input type="checkbox"/> New	<input type="checkbox"/> MINOR ELECTRIC and/or MINOR PLUMBING (residential ONLY) <input type="checkbox"/> Electric Service Change # amps <input type="checkbox"/> New electric circuits <input type="checkbox"/> Re-wire <input type="checkbox"/> Water Service Replacement <input type="checkbox"/> Sewer Service Replacement <input type="checkbox"/> Gas Line Replacement <input type="checkbox"/> Re-plumb <input type="checkbox"/> Water <input type="checkbox"/> Waste	<input type="checkbox"/> PUBLIC UTILITIES SAFETY INSPECTION* (Residential and single apartment units ONLY) <input type="checkbox"/> SMUD <input type="checkbox"/> PGE <p>*NOTE: Correction Notice items will require an additional building permit</p>
<input type="checkbox"/> SIDING <input type="checkbox"/> wood <input type="checkbox"/> T-111 <input type="checkbox"/> Horiz <input type="checkbox"/> vinyl <input type="checkbox"/> stucco Note: Design Review approval may be required in certain areas.	Value of duct work: Equipment: \$ Cut-in: \$ Note: Design Review approval may be required for rooftop units.	<input type="checkbox"/> DRY ROT OR TERMITTE DAMAGE REPAIR (Describe locations below) Note: Design Review approval may be required in certain areas.	DESCRIPTION OF WORK:	

ROOFING QUESTIONNAIRE

Applicant's name: Jose Aguirre Phone: (916) 806-2993
Project Address: 1233 Garaventa way 95833

Please check the appropriate boxes. Only check a box if it accurately and completely describes your proposed work, otherwise leave boxes blank.

1. **ROOFING TYPE**
- a. The existing roofing material is composition shingle, wood shake or shingle, tile or metal. The new roofing material shall be:
- | Existing | Proposed | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25 year laminated dimensional composition |
| <input type="checkbox"/> | <input type="checkbox"/> | wood shake or shingle |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | tile |
| <input type="checkbox"/> | <input type="checkbox"/> | metal that simulates one of the above listed materials |
- b. The existing roofing material is built up, foam or membrane with a roof pitch of 2:12 or less. The new roofing material shall be:
- | Existing | Proposed | |
|--------------------------|--------------------------|----------|
| <input type="checkbox"/> | <input type="checkbox"/> | Built up |
| <input type="checkbox"/> | <input type="checkbox"/> | Foam |
| <input type="checkbox"/> | <input type="checkbox"/> | Membrane |

2. **GUTTERS**
- a. The existing gutters are fascia gutters.
- There is no change proposed to existing gutters.
 - New fascia gutters shall be provided.
 - Gutters shall be repaired and/or replaced to match existing.
- b. The existing gutters are Ogee gutters.
- There is no change proposed to existing gutters.
 - New Ogee gutters shall be provided.
 - Gutters shall be repaired and/or replaced to match existing.
- c. There are no existing gutters.
- No new gutters are proposed.
 - New Ogee gutters shall be provided.

3. **RAFTER TAILS**
- a. There are no exposed rafter tails.
- b. There are exposed rafter tails.
- There is no change or cutting proposed to existing rafter tails.
 - Rafter tails shall be repaired and replaced to match existing.

By signing below, the applicant certifies that this form accurately describes the proposed work.
Applicant's signature: [Signature] Date: 3.5.04

For City Staff use only Counter Staff J. Shore

- In a DR District Meets DR criteria? Yes No (route to DR staff) Ex North
 In a P area or listed (route to P staff)
 Not in DR/P area

GREGORIN DESIGN
9469 FORT WORTH WAY
SACRAMENTO, CA 95827

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

PH/FAX: 916.362.3230
FOR: 415.210.4080

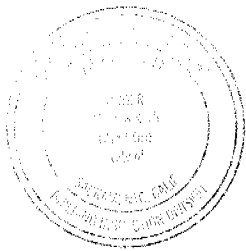
ISSUED
City of Sacramento

MAR 05 2004

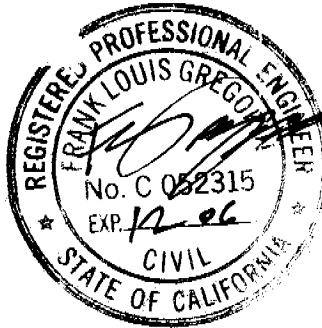
NORTH PERMIT
CENTER

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

RESIDENTIAL ROOF INSPECTION
1233 GARAVENTA WAY
SACRAMENTO, CA



Date: March 3, 2004
For: Aguirre Roofing
3515 Binghampton Drive
Sacramento, CA 95834



I, Frank L. Gregorin, P.E., has visually inspected readily accessible areas of the roof structure of the residence located at 1233 Garaventa Way, Sacramento, California for Jose Aguirre, Owner of Aguirre Roofing, in compliance with Sacramento City Code, Section 9.03.146 (D) 3).

The sole purpose of this inspection and report is to visually inspect the general conditions of the construction of the existing roof and to determine it's structural adequacy for supporting the roof loads of the newly proposed roofing work.

The structure is a single family one story house built in the mid-1980's and it's roof structure is comprised of 1x skip sheathing over prefabricated gang nailed roof trusses at 24" o.c. with 2x4 chords and webs. The eaves do not exceed 3'-0". The existing roof timber I visually inspected through access opening(s) and exterior eaves showed no visible signs of distress or deterioration and are deemed to be in sound condition.

The loads to the existing (e) roof structure expressed herein are solely for the application of new (n) light-weight tile (580#/square) over (n) plywood sheathing over (e) roof framing as stated in the loads tables on page 2.

From my experience this type prefabricated roof truss structure is typically designed for no less than a roof dead load of 10 psf top chord loading and a ceiling dead load of 7 psf bottom chord loading. It is my expert opinion that the existing roof truss structure can adequately support the existing material that is to remain and the new roofing material to be added. (see page 2 for comparison)

For further justification, an alternate way to rationalize the use of light weight tile is to compare it to three layers of asphalt that is also an allowable roof load for this type of structure. (see page 2 for comparison)

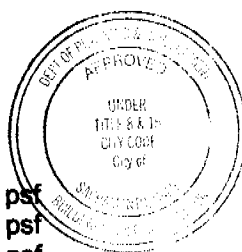
Aguirre Roofing will assume the responsibility to verify and repair any wood found during the course of roofing work showing any evidence of deterioration (dry rot, termite infestation, etc.) and bring to the attention of the Engineer Of Record any questionable wood and it's repair.

No testing and/or samples were taken during my inspection and thus no warranties or guarantees regarding the structural properties of the existing materials is expressed. The Engineer of Record of this report will not assume any liability associated with claims relating to damage resulting from improperly repaired deteriorated wood in the roof structure or improperly repaired damage directly related to the roofing work.

CITY COPY

GREGORIN DESIGN
 9469 FORT WORTH WAY
 SACRAMENTO, CA 95827

PH/FAX: 916.362.3230
 PGR: 415.210.4080



This set of plans and specifications must be kept on the job at all times and a copy made to make all changes or amendments. The contractor shall be responsible for the accuracy of the information on these plans, including any changes or amendments. The contractor shall be responsible for the accuracy of the information on these plans, including any changes or amendments.

Load Tables

The weight of the new roof assembly will consist of:

(e) 2x4 top chord @ 16" o.c.	0.67 psf	
(e) 1x6 skip sheathing	0.30 psf	
(n) 1/2 CDX Plywood sheathing	1.50 psf	
(n) roof paper	0.25 psf	
(n) light-weight tile (580#/sq.)	5.80 psf	
misc.	0.25 psf	
sum =	8.77 psf	
	<u>x 12.65/12 (4:12 slope adjustment)</u>	
	9.25 psf < 10 psf allowable for truss	therefore O.K.

The weight of the existing ceiling assembly consists of:

(e) 2x4 bot chord @ 16" o.c.	0.67 psf	
(e) 2x4 web @ 16" o.c. x1.414	0.95 psf	
(e) insulation	1.60 psf	
(e) 1/2" drywall	2.50 psf	
(e) misc.	0.25 psf	
sum =	5.97 psf < 7 psf allowable for truss	therefore O.K.

Also compare new light weight tile over new plywood with three layers of asphalt shingles (use two worn layers @ 2/3 of their original weight)

Tile over new plywood	= 1.5psf + 5.8psf	= 7.3psf
Three layers asphalt (one new layer + two worn layers)	= 3.5psf + 2/3(2x3.5psf)	= 8.1psf
		<u>Say O.K.</u>

Check strength of overhang for maximum span of 3'-0" with rafters at 24" o.c. maximum where may be occurring (assume DF No.2 minimum)

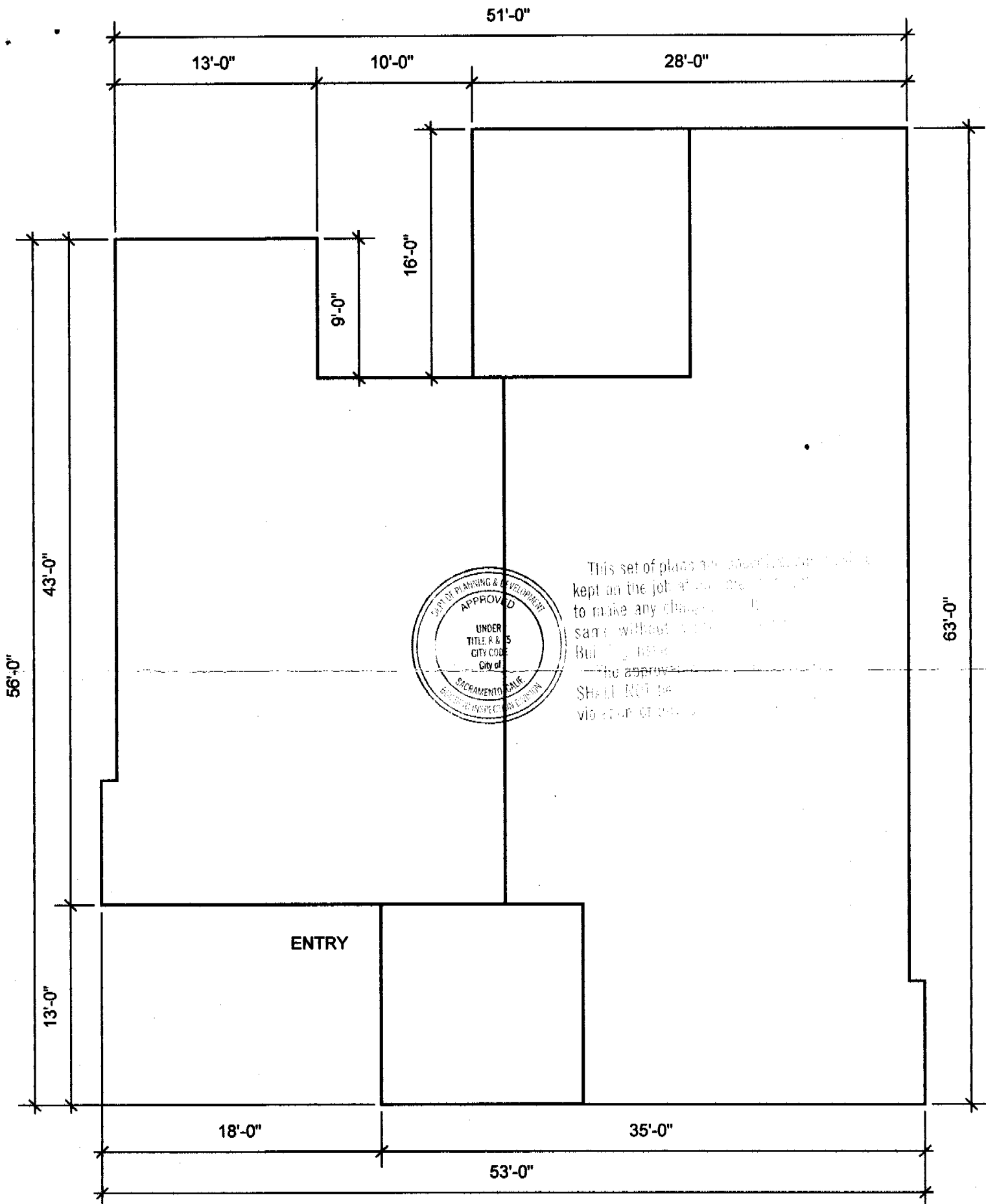
(e) 2x4 @ 24" o.c.	0.56 psf	
(e) 2x decking	4.50 psf	
(n) light-weight 580# per square tile	5.80 psf	
(n) roofing paper	0.25 psf	
Sum =	11.11 psf	
	<u>x 12.65/12 (4:12 slope adjustment)</u>	
	11.72 psf, say 12 psf	

Distributed Load = (12 psf DL + 16 psf LL) (2' spacing) = 56 plf

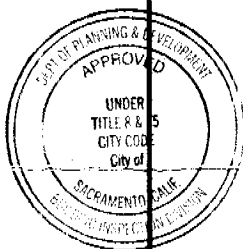
$V_{max} = (1.5) (56 \text{ plf}) (3') = 252 \#$
 $f_v = (252 \#) / (5.25 \text{ sq. in.}) = 48 \text{ psi} < 118.75 \text{ psi} \Rightarrow F_v = 95x1.25LDF$

$M_{max} = (56 \text{ plf}) (3') (3'/2) = 252 \#'$
 $f_b = (252 \#') (12 \text{ in/ft}) / (3.0625 \text{ in}^3) = 988 \text{ psi} < 1885 \text{ psi} \Rightarrow F_b = 1510x1.25LDF$

Therefore strength of existing 2x4 min. eave rafters @ 24" o.c. max. w/ 3'-0" max. span therefore O.K.



This set of plans are approved for construction and shall be kept on the job at all times. No changes shall be made to make any changes without the approval of the architect. The approval shall not be valid unless signed by the architect via stamp of the architect.



ROOF PLAN
1233 GARAVENTA WAY