

**CITY OF SACRAMENTO PLANNING COMMISSION**  
**1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814**

APPLICANT <u>Donald and Bernice Jennings, 8100 La Riviera Drive, Sacramento, California 95826</u>		
OWNER <u>Donald and Bernice Jennings, 8100 La Riviera Drive, Sacramento, California 95826</u>		
PLANS BY <u>Donald and Bernice Jennings, 8100 La Riviera Drive, Sacramento, California 95826</u>		
FILING DATE <u>April 8, 1991</u>	ENVIR. DET. <u>Negative Declaration</u>	REPORT BY <u>CG</u>
ASSESSOR'S PCL. NO. <u>027-0062-013 and 014</u>		

**APPLICATION:**

- A. Negative Declaration.
- B. Special Permit for a deep lot development to construct three single family homes on 0.78± vacant acres in the Standard Single Family (R-1) zone.
- C. Lot Line Adjustment to merge two parcels into one totaling 0.78± vacant acres in the Standard Single Family (R-1) zone.

**LOCATION:** 5690 Wilkinson Street

**PROPOSAL:** The applicant is requesting the necessary entitlements to merge two parcels into one and construct three single family homes.

**PROJECT INFORMATION:**

General Plan Designation:	Low Density Residential (4-15 du/na)
City of Sacramento Community Plan Designation:	Residential (4-8 du/na)
Existing Zoning of Site:	Standard Single Family (R-1)
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Vacant; R-1	Front:	25'	25'
South: Single Family; R-1	Side(N):	5'	5'
East: Single Family; R-1	Side(S):	5'	10'
West: Single Family; R-1	Rear:	15'	111'

Property Dimensions:	Irregular
Property Area:	0.78± acres
Project Density:	3.8 du/na
Parking Required:	One-Car Garage per Unit
Parking Provided:	Two-Car Garage per Unit
Square Footage of Units:	1,200 square foot living area 441 square foot garage
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Materials:	Horizontal Lap Siding and T1-11
Roof Materials:	Composition Shingles
Height of Building:	One Story, 16 feet

APPLIC. NO. P91-078

MEETING DATE August 22, 1991

ITEM NO. 17

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of two parcels totaling 0.78± vacant acres in the Standard Single Family (R-1) zone. The southern parcel is a flag-shaped lot with only 10 feet of public street frontage. The General Plan designates the site Low Density Residential (4-15 du/na). The South Sacramento Community Plan designates the site Residential (4-8 du/na). The surrounding land use is all single family, except for a vacant parcel to the north, and the surrounding zoning is R-1.

B. Applicant's Proposal

The applicant is proposing to merge two parcels into one and develop three single family residences on the parcel. The parcel is 357 feet deep which qualifies it as a deep lot for development of a maximum of one unit for every 5,200 square feet of land area. The applicant proposes three 1,200 square foot single family residences with attached two car garages.

C. Policy Considerations

Although the site qualifies as a deep lot for development at a ratio of one unit for every 5,200 square feet of land area, the subject site is located within a study area to limit the density of deep lot developments. The proposal for the area between Wallace and Wilkinson is to limit the deep lot densities to one unit for every 10,000 square feet of land area. The proposal of three units on 0.78± acres, meets this density requirement. The site plan design, however, does not preclude the development of an additional unit to the rear of the site if it is warranted in the future.

D. Site Plan Design

The site plan is designed such that there is a 20 foot driveway to the south of the front unit, with a three foot planter between the south property line and the driveway. The site plan indicates this planter to contain shrubs. The site plan also indicates lawn, trees, and shrubs for the other open areas on the parcel. All the landscaped areas should contain an automatic irrigation system. Staff suggests a detailed landscape and irrigation plan be submitted for Planning Director review and approval prior to the issuance of Building Permits.

The submitted site plan indicates fencing of yards for each unit. Staff suggests that wherever a fence is adjacent to the driveways, a minimum five foot planter be provided. Staff also suggests the rear 90± feet (to the west) be incorporated into the yards for Unit B and Unit C. It appears that this area is proposed to be fenced and inaccessible.

The plans indicate a two-car garage is provided for each unit. There is also a two-space concrete parking pad adjacent to Unit B and one adjacent to Unit C for guest parking. These parking areas, as well as the common driveway, are required to meet the 50 percent shade requirements of the Zoning Ordinance.

E. Building Design

The proposed units consist of 1,200 square feet and contain three bedrooms and two bathrooms, as well as a two-car garage. The units are single story. The exterior building material consists of horizontal siding and T1-11 with a composition shingle roof. The elevations also indicate wood and brick trim. Staff suggests that revised elevations be submitted for review and approval of the Planning Director prior to the issuance of Building Permits. The elevations should include the following revisions:

**Elevation A** - The south and east elevations should consist of horizontal lap siding as indicated on the submitted plans. The trim should be brick as indicated on the submitted plans. There should be gridded windows in the front facing Wilkinson Street. There should be a false vent on the garage which is boxed out and accented with trim. The front door should be six panel of either metal or wood. The garage door should be a metal sectional with a raised panel design. The roof material should consist of a 25 year laminated dimensional composition shingle.

**Elevation B** - The north and east elevations should consist of the horizontal lap siding. The accent trim is shown as T1-11 siding. The trim should be brick as shown on Elevation C. All vents should be boxed and accented with wood trim. The front door should be six panel of either metal or wood. The garage door should be a metal sectional with a raised panel design. The roof material should consist of a 25 year laminated dimensional composition shingle.

**Elevation C** - The south and east elevations should consist of the horizontal lap siding. The trim shall be brick as indicated on the submitted plans. All vents should be boxed and accented with wood trim. The front door should be six panel of either metal or wood. The garage door should be a metal sectional with a raised panel design. The roof material should consist of a 25 year laminated dimensional composition shingle.

**F. Lot Line Adjustment**

The proposed lot line adjustment merges two parcels into one parcel. Staff has no objection to this lot line adjustment. One of the existing parcels contains only 10 feet of street frontage and is a flag lot. The lot line adjustment eliminates the difficult to develop flag lot and allows for a better design of a deep lot development.

**G. Agency Comments**

The proposed project has been reviewed by Traffic Engineering, Engineering Development Services, Building Inspection, Fire, and the South Sacramento Area Chamber of Commerce. The following comments have been received:

**Traffic Engineering**

Based upon the fact that it is not possible to further subdivide the area without removal of existing structures, Transportation Division recommends approval of the request.

**Engineering Development Services**

1. The large radius curves at the driveways waste potential green area and are not required for maneuvering.
2. The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment/merger being recorded:
  - a. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
  - b. File a waiver of Parcel Map.
  - c. Pay off or segregate any existing assessments.
  - d. Coordinate with County Sanitation District.
  - e. Notice: Property to be adjusted/merged in accordance with this certificate of compliance may

be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

Fire Department

A fire hydrant is required within 300 vehicular feet of each structure. None is indicated on the plans.

South Sacramento Area Community Planning Advisory Council

As a council, we do not like these deep lot projects, but that is not new. We suggest you require the two rear structures to be offset from each other to reduce the "staring at each other" syndrome. For example, change "B" to another "A" style and move to the extreme west end of the parcel. Also, rear fencing on "B" and "C" does not make any sense.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified effects of to mitigate such effects to a point where clearly no significant effects will occur. The mandatory mitigation measures are listed below.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Special Permit for a deep lot development to construct three single family homes subject to the following conditions and based upon findings of fact which follow.
- C. Approve the Lot Line Adjustment to merge two parcels into one by adopting the attached Resolution.

Conditions - Special Permit

1. Staff a detailed landscape and irrigation plan shall be submitted for Planning Director review and approval prior to the issuance of Building Permits. All landscaped areas shall contain an automatic irrigation system.
2. Wherever a fence is adjacent to the driveways, a minimum five foot landscaped planter shall be provided.
3. The sideyard fencing shown on Units B and C which eliminates access to the rear 90± feet of the parcel shall be moved such that the area is incorporated into the yards for Unit B and Unit C.
4. The parking areas, as well as the common driveway, shall meet the 50 percent shade requirements of the Zoning Ordinance.
5. The applicant shall submit revised elevations for review and approval of the Planning Director prior to the issuance of Building Permits. The revised elevations shall include the following:
  - a. Each unit shall have a front door which is six panel of either metal or wood. The garage door shall be a metal sectional with a raised panel design, and the roof material shall consist of a

25 year laminated dimensional composition shingles. All vents shall be boxed and accented with wood trim.

- b. On Elevation A the south and east elevations shall consist of horizontal lap siding as indicated on the submitted plans. The trim shall be brick also as indicated on the submitted plans. There shall be gridded windows in the front facing Wilkinson Street. There shall also be a false vent on the garage which is boxed out and accented with trim.
  - c. On Elevation B the north and east elevations shall consist of horizontal lap siding. The trim shall be brick as shown on Elevation C.
  - d. On Elevation C the south and east elevations shall consist of horizontal lap siding. The trim shall be brick as indicated on the submitted plans.
6. A fire hydrant is required within 300 vehicular feet of each structure.

Findings of Fact - Special Permit

- 1. The project, as conditioned, is based upon sound principles of land use in that the three units on this lot are compatible with the surrounding lots and are consistent with the proposed study area density.
- 2. The project, as conditioned, will not be detrimental to the public safety or welfare in that adequate parking and open space is provided on site.
- 3. The project is consistent with the General Plan which designates the site Low Density Residential (4-15 du/na) and the South Sacramento Community Plan which designates the site Residential (4-8 du/na).

Mandatory Mitigation Measures

- 1. On the proposed development parcel there are three trees that will be removed. Two of these trees are Black Locust trees, and one is a Black Walnut tree. The Black Walnut is located in the center of the property and has a five inch trunk. The two Black Locust trees are located at the center of Parcel A.
- 2. These three trees will be removed as part of the proposed development. For each of the three trees shall be replaced with one 15 gallon tree. The placement of these trees must be on the subject site. The specific on-site location and the variety of trees used to replace the existing trees is at the developers discretion.

Non-compliance with or deletion of any of the above mitigation measures by any party will require the project to be processed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be required to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than significant level through mitigation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION  
ON DATE OF AUGUST 22, 1991

APPROVING A LOT LINE ADJUSTMENT TO MERGE THE SOUTH ONE-HALF OF WEST AND NORTH 10.9 FEET OF SOUTH ONE-HALF OF EAST ONE-HALF OF LOT 55, AND NORTH ONE-HALF OF LOT 55, AS SHOWN ON THE PLAN OF HOME GARDEN ACRES, RECORDED IN BOOK 18 OF MAPS, MAP NO. 54, AND BOOK 16 OF MAPS, MAP NO. 34, RECORDS OF SAID COUNTY.  
(027-0062-013 AND 027-0062-014) (P91-078)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at 5690 Wilkinson Street; and

WHEREAS, the lot line adjustment has been given a Negative Declaration by the Environmental Coordinator; and

WHEREAS, the lot line adjustment is consistent with the General Plan and South Sacramento Community Plan and the proposed lot line adjustment conforms with the plan designations;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment for property located at 5690 Wilkinson Street, City of Sacramento, be approved as shown and described in Exhibits G and H attached hereto, subject to the following conditions:

The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

1. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
2. File a waiver of Parcel Map.
3. Pay off or segregate any existing assessments.
4. Coordinate with County Sanitation District.
5. Notice: Property to be adjusted/merged in accordance with this certificate of compliance may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Public Works Department, Development Services Division, Room 100, 927 10th Street.

\_\_\_\_\_  
CHAIRPERSON

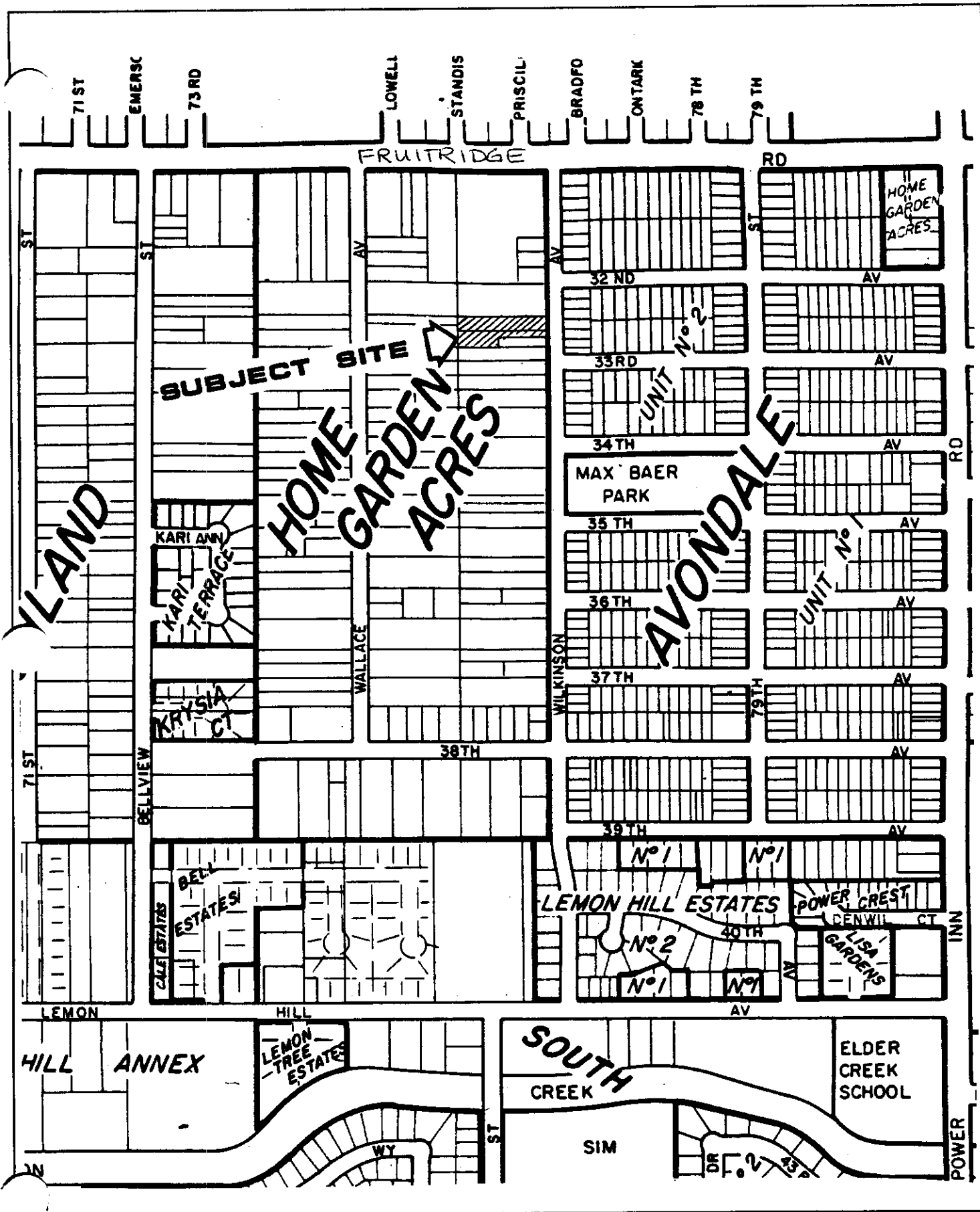
ATTEST:

\_\_\_\_\_  
SECRETARY TO CITY PLANNING COMMISSION

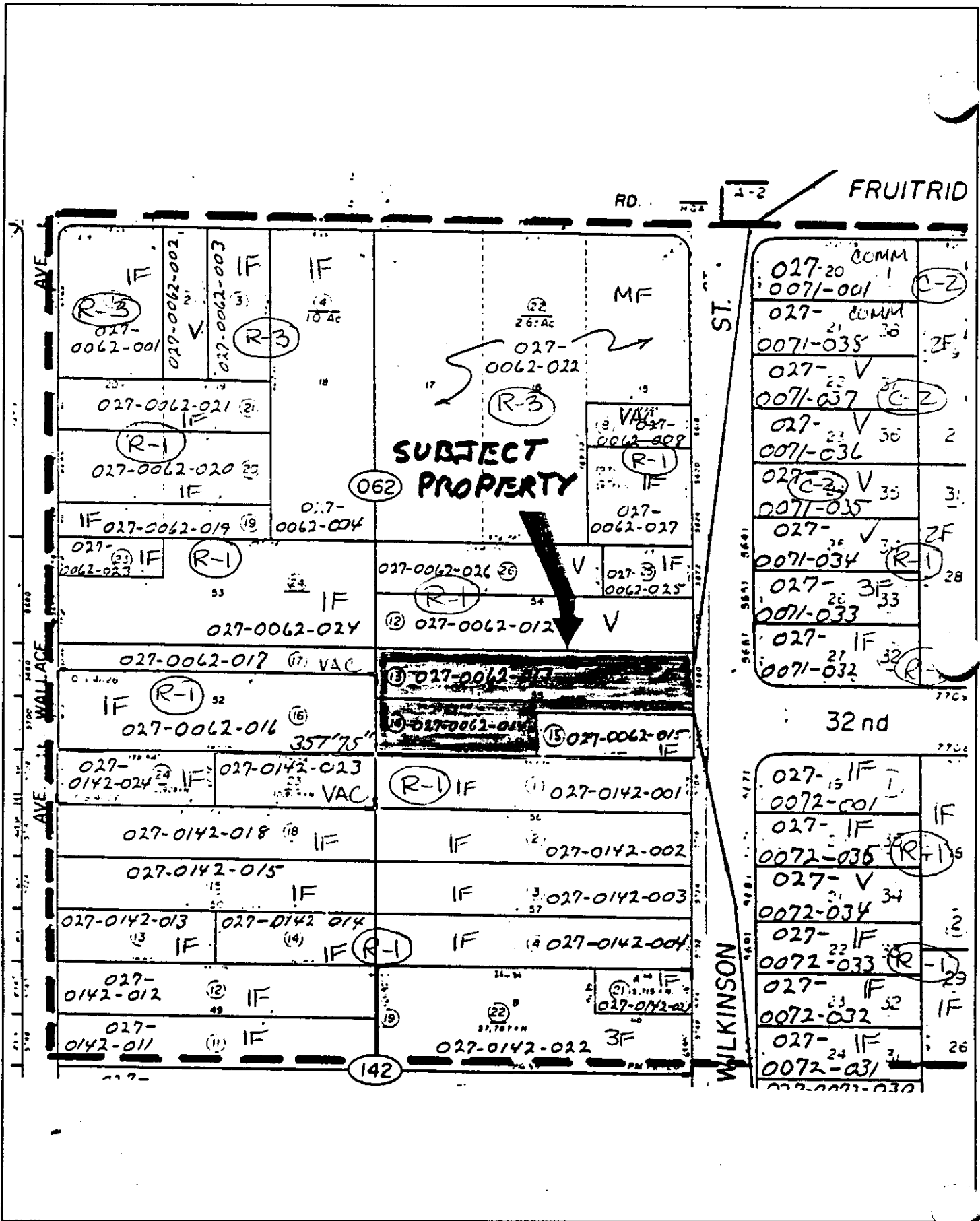
APPLC.NO. P91-078

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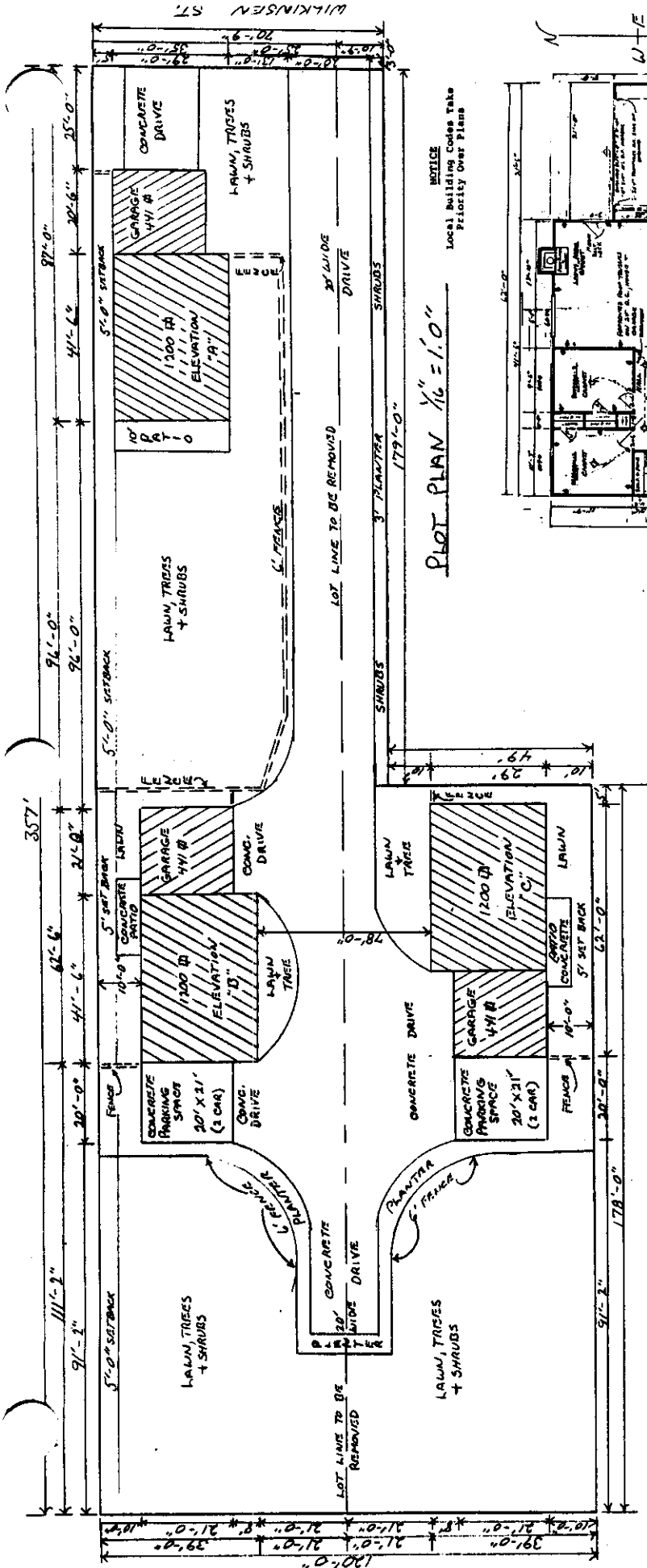
**VICINITY MAP**



LAND USE & ZONING MAP

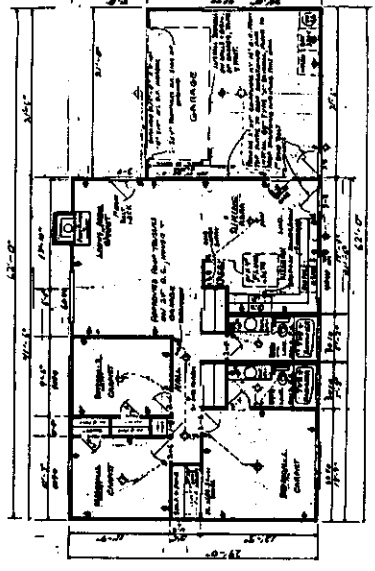


# EXHIBIT A

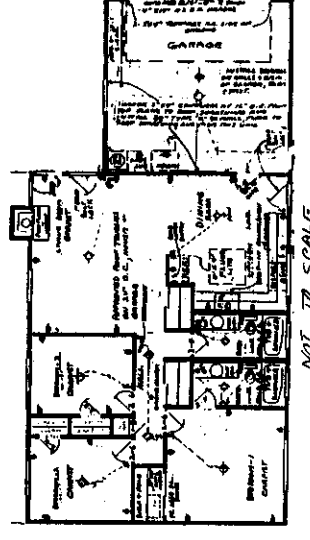


PLOT PLAN 1/16" = 1'-0"

NOTICE  
Local Building Codes Take  
Priority Over Plans

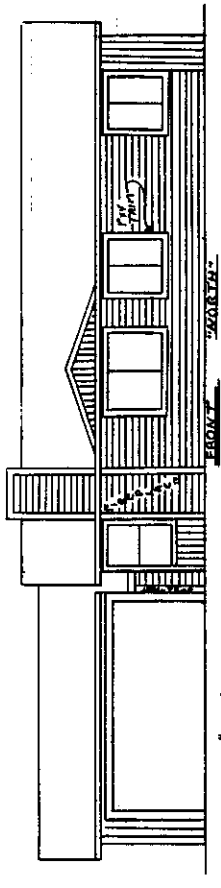


FLOOR PLAN  
NOT TO SCALE  
ELEVATION "B" + "C"

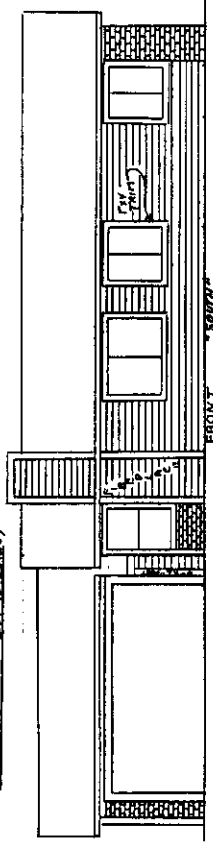


FLOOR PLAN  
NOT TO SCALE  
ELEVATION "A"

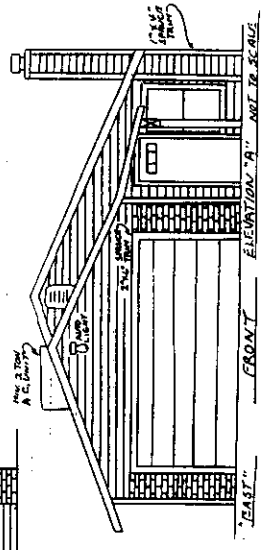
NOTICE  
Local Building Codes Take  
Priority Over Plans



ELEVATION "B" (NOT TO SCALE)



ELEVATION "C" (NOT TO SCALE)



FRONT ELEVATION "A" (NOT TO SCALE)

**NOTICE**  
Any person who relies on this project agrees to indemnify and hold harmless the architect, engineer, and all other professionals from all claims for damages to persons and property, including attorney's fees and costs of all suits, actions, claims, and proceedings, arising out of the performance of their professional services and liability insurance during the performance of their work.

**MARKALD R. JENNINGS**  
Proprietor

**REAL ESTATE DEVELOPERS**  
REAL ESTATE INVESTMENTS

CONSTRUCTORS  
2118 264-1101

P91-078

August 22, 1991

Her #1

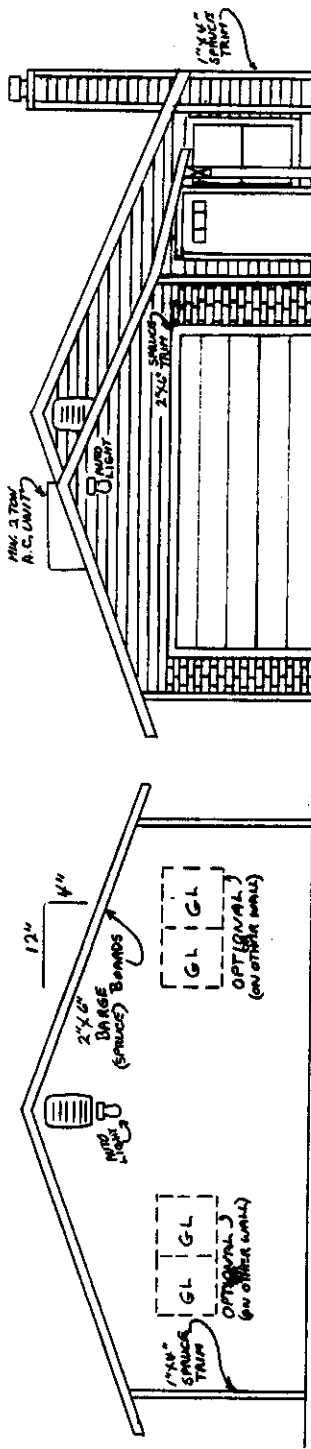
# EXHIBIT B

PAI-078

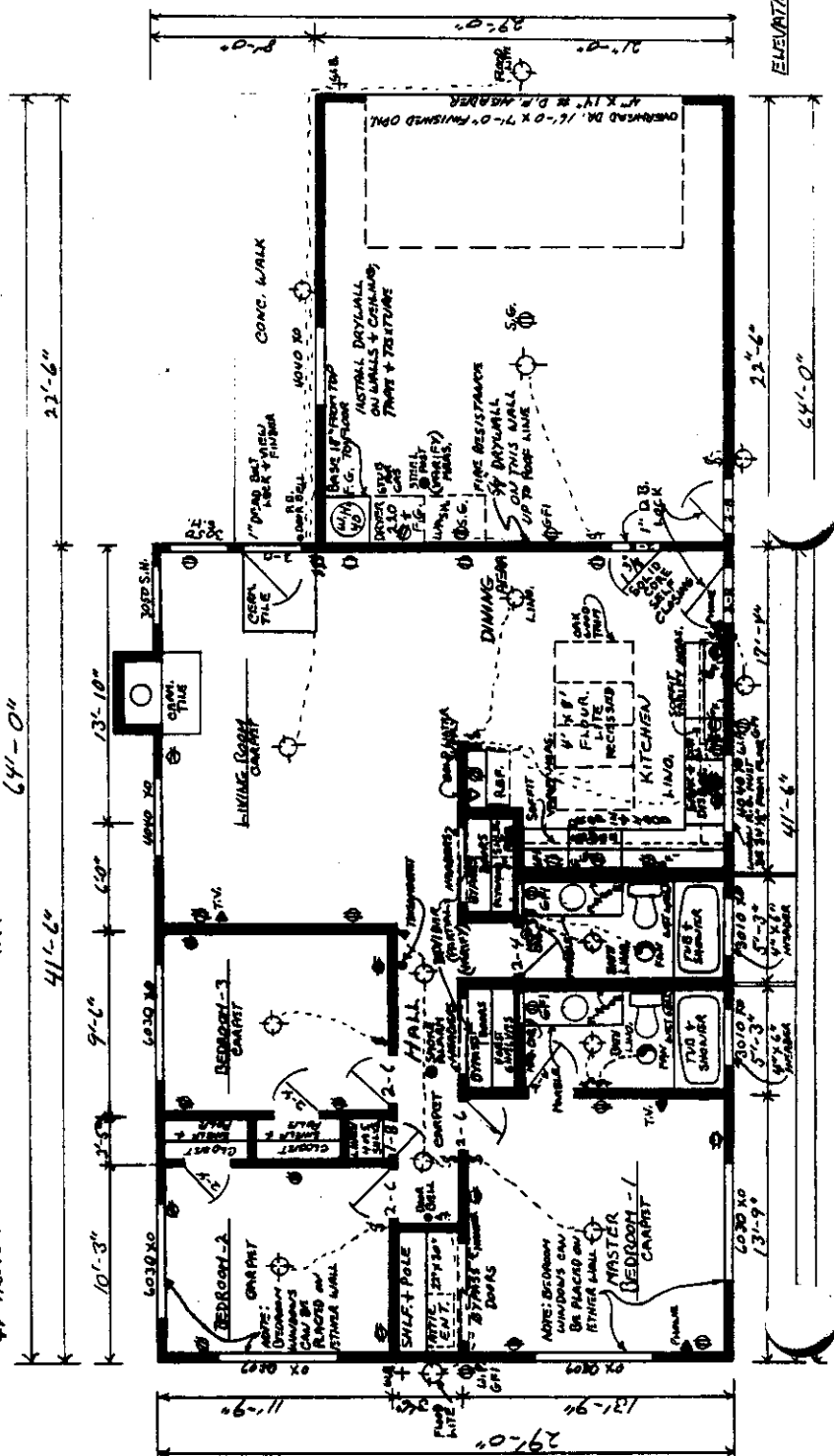
August 22, 1991

Item #17

NOTICE  
Local Building Code Take  
Priority Over Plans



**NOTICE:**  
ONE OPERABLE WINDOW IN EACH SLEEPING ROOM  
MUST HAVE A MINIMUM NET CLEAR WIDTH OF 20"  
A MINIMUM NET CLEAR HEIGHT OF 24" AND A MINIMUM NET CLEAR OF  
5.7 SQ. FT. IN THAT OPENING. WINDOW SILL HEIGHT SHALL NOT EXCEED  
44" ABOVE THE FINISHED FLOOR. UBC1204.



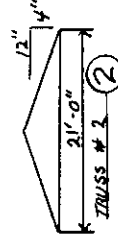
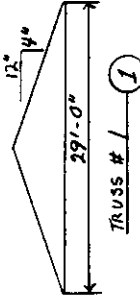
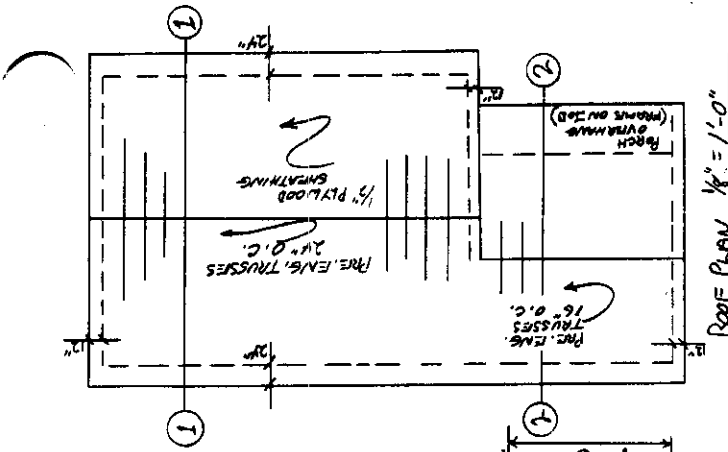
**NOTICE:**  
Any person who fails to obtain on this project the required building permits and pay the same shall be liable for all and any building code violations. It is the responsibility of the contractor to obtain all necessary building permits for the work shown on these plans. The contractor is responsible for the proper installation of all materials and workmanship. The contractor shall be responsible for the safety of all persons on the job site. The contractor shall be responsible for the performance of all work shown on these plans.

**INXALD R. JENNINGS**  
PROFESSIONAL ENGINEER  
CALIFORNIA LICENSE NO. 30109  
REGISTERED PROFESSIONAL  
CONSTRUCTORS  
814 384-0109

**FLOOR PLAN 1/4" = 1'-0"**  
**1200 #1 A.A. GARAGE 444 #**  
**ELEVATION "A"**

NOTICE  
Local Building Codes Take  
Priority Over Plans

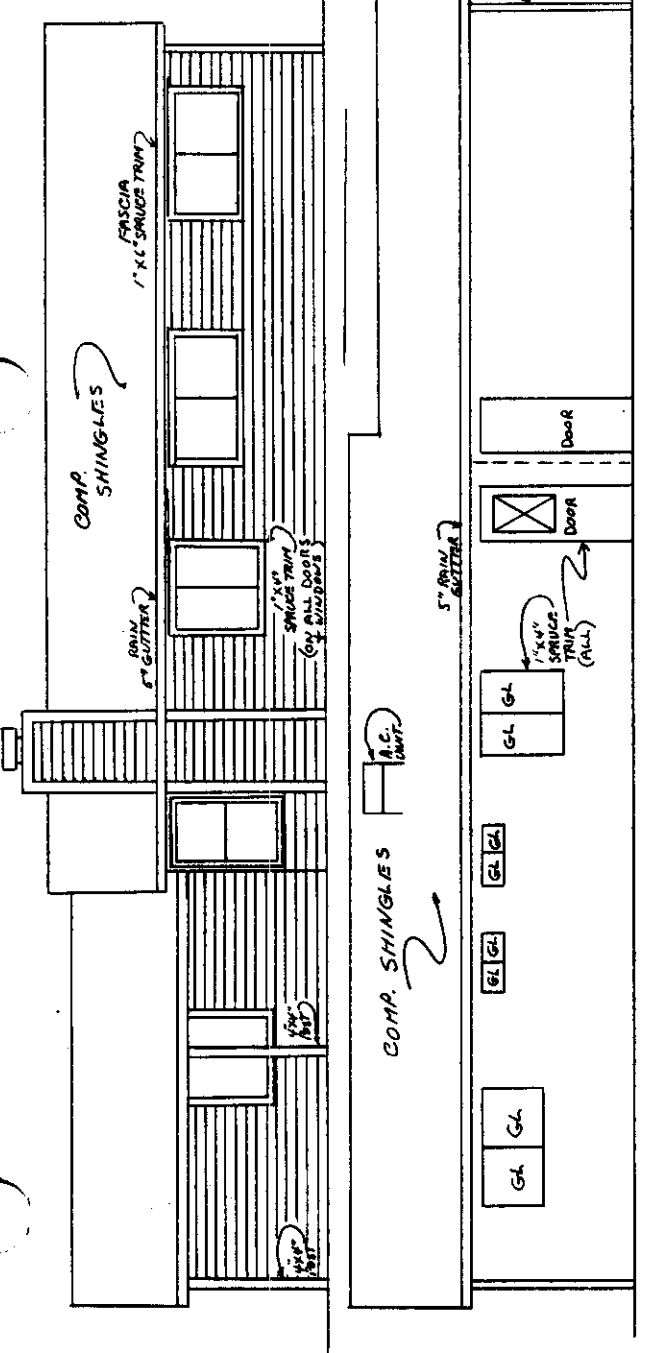
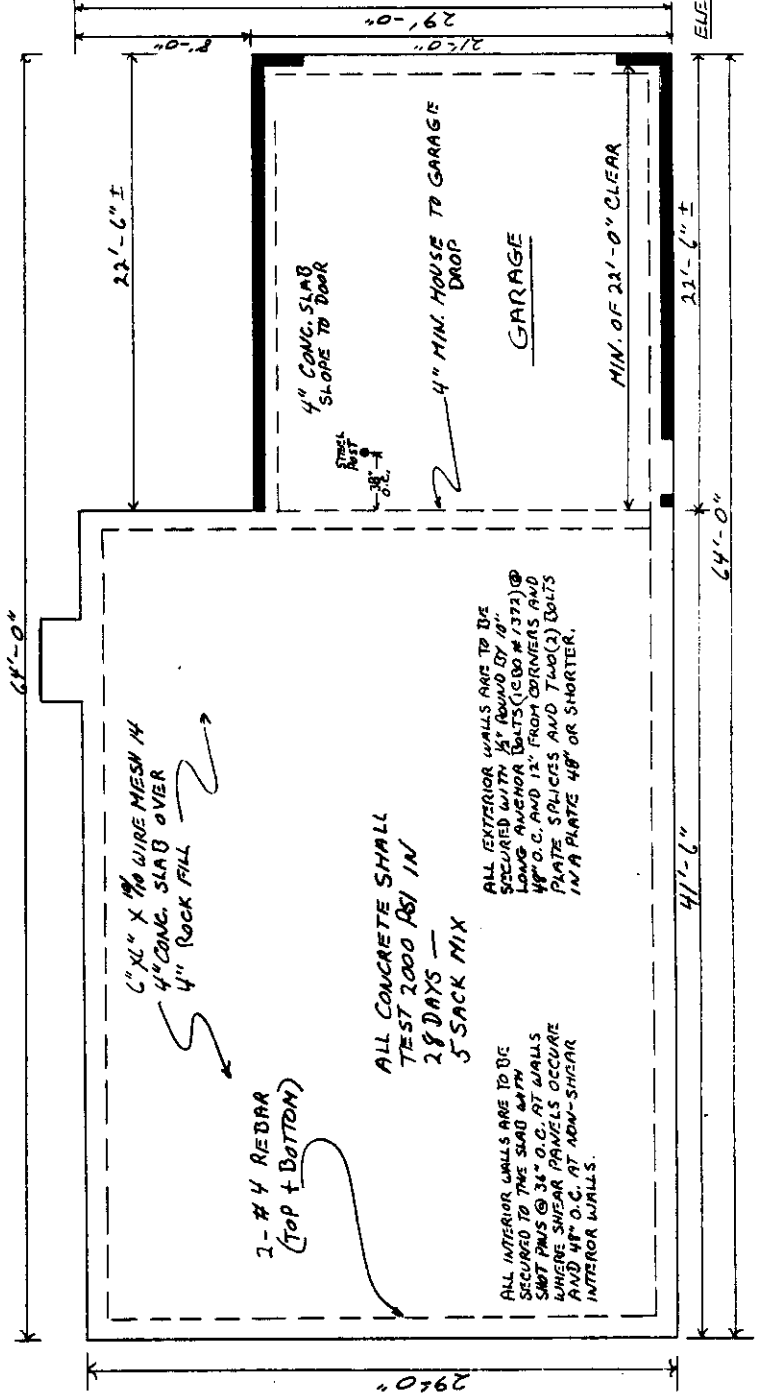
# EXHIBIT C



NOTICE: Any person upon working on this project shall be held responsible for the safety and health of all workers. The contractor shall be held responsible for the safety and health of all workers. The contractor shall be held responsible for the safety and health of all workers.

IRVING R. JENNINGS  
Professional  
CONTRACTORS  
818-284-1100

## FOUNDATION PLAN 1/4" = 1'-0"



# EXHIBIT D

## Certificates of Insurance From Subs A Must

Contractors and subcontractors who do not work with you should have with certificates of insurance on their general liability and workers' compensation insurance. You should, and must, see the name of the sub-contractor who do work for you. Why?

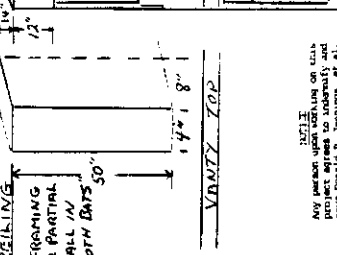
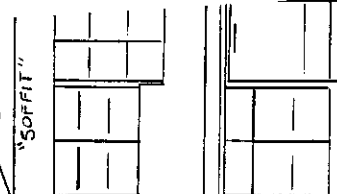
First, if a non-insured sub-contractor causes an injury or property damage to you or your work, you will probably be held liable for damages. The non-commercial general liability policy, which most insurance companies including CHA Insurance use, automatically includes coverage for independent contractor employees. Therefore, most insurance policies would not cover you if you are injured or your property is damaged by an employee of a sub-contractor or the employees' insurance companies do not enjoy paying for claims that you are responsible for.

Second, if a sub-contractor causes an injury or property damage to you or your work, you cannot provide the insurance company with copies of certificates of insurance from those sub-contractors. Again, the non-commercial general liability policy automatically provides coverage for independent contractor employees. Therefore, most insurance policies would not cover you if you are injured or your property is damaged by an employee of a sub-contractor or the employees' insurance companies do not enjoy paying for claims that you are responsible for.

Third, if a sub-contractor causes an injury or property damage to you or your work, you cannot provide the insurance company with copies of certificates of insurance from those sub-contractors. Again, the non-commercial general liability policy automatically provides coverage for independent contractor employees. Therefore, most insurance policies would not cover you if you are injured or your property is damaged by an employee of a sub-contractor or the employees' insurance companies do not enjoy paying for claims that you are responsible for.

Fourth, if a sub-contractor causes an injury or property damage to you or your work, you cannot provide the insurance company with copies of certificates of insurance from those sub-contractors. Again, the non-commercial general liability policy automatically provides coverage for independent contractor employees. Therefore, most insurance policies would not cover you if you are injured or your property is damaged by an employee of a sub-contractor or the employees' insurance companies do not enjoy paying for claims that you are responsible for.

CEILING  
"FRAMING FOR PARTIAL WALL IN BOTH BAYS 50"

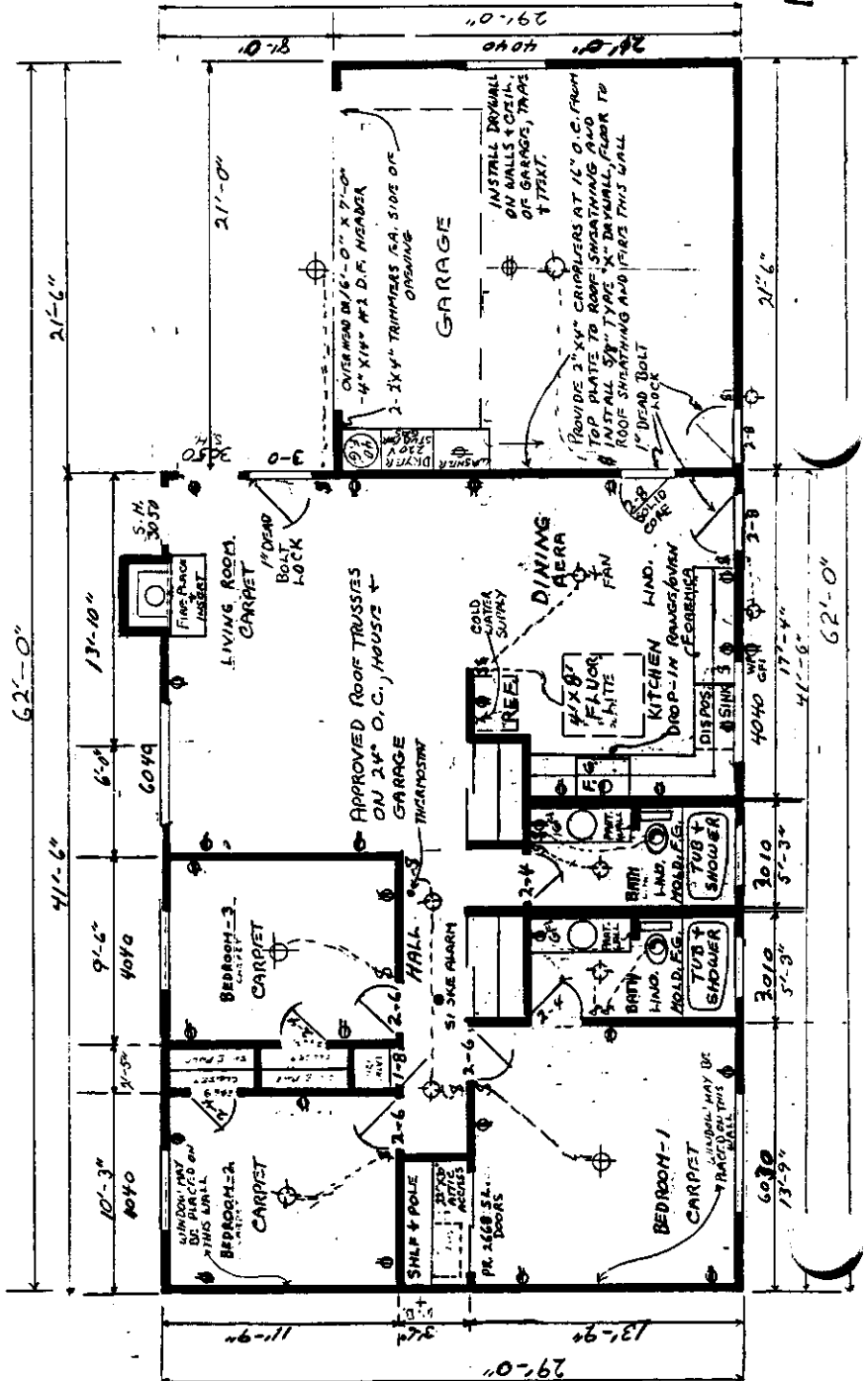
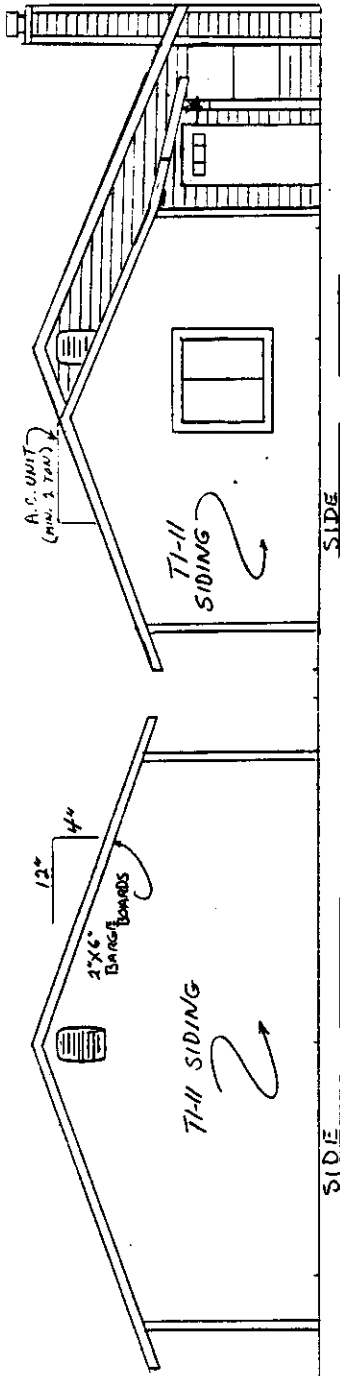


NOTE: All work shall be done in strict accordance with the project plans and specifications. The contractor shall be responsible for obtaining all necessary permits and for the safety of all workers and the public. The contractor shall be responsible for the removal of all debris and for the cleanup of the work site. The contractor shall be responsible for the protection of all existing utilities and for the safety of all workers and the public. The contractor shall be responsible for the performance of all work.

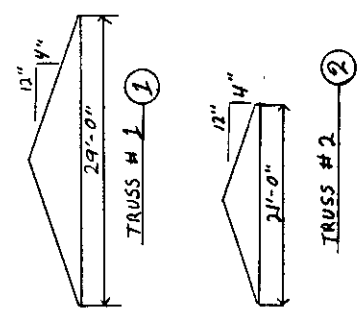
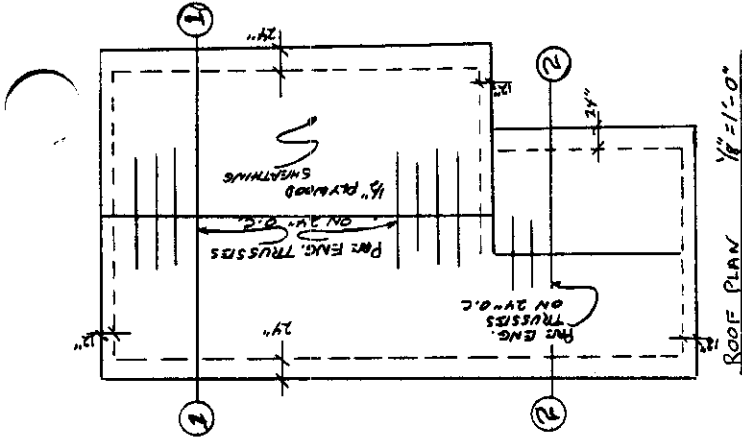
NOTICE  
Local Building Codes Take  
Priority Over Plans

**MAXIM H. JENNINGS**  
Proprietor  
REAL ESTATE DEVELOPER  
CONTRACTORS  
(414) 384-1100

FLOOR PLAN 1/4" = 1'-0"  
1200 B.L.A. 432 PAGE  
ELECTRICAL "B" & "C"

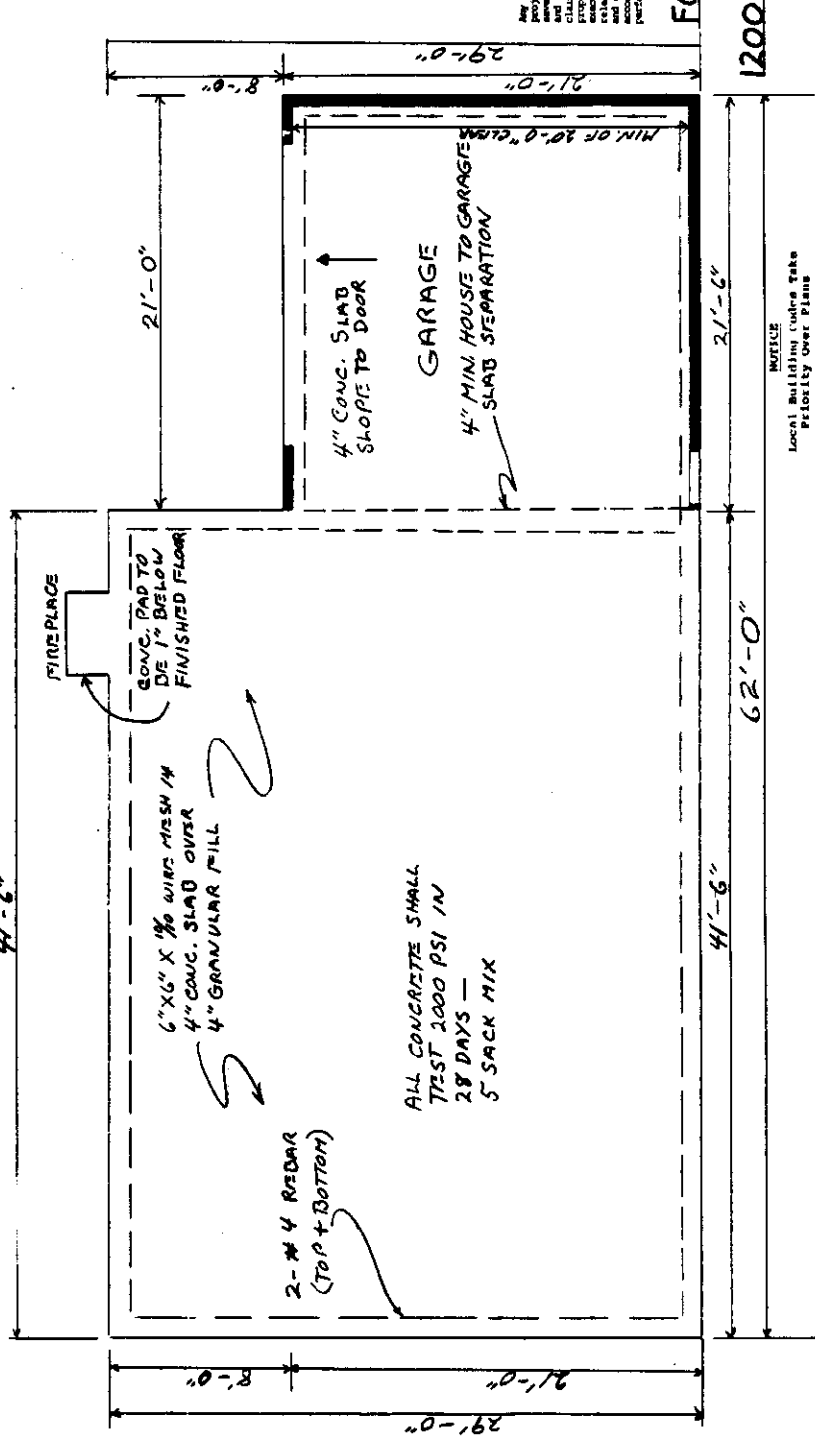
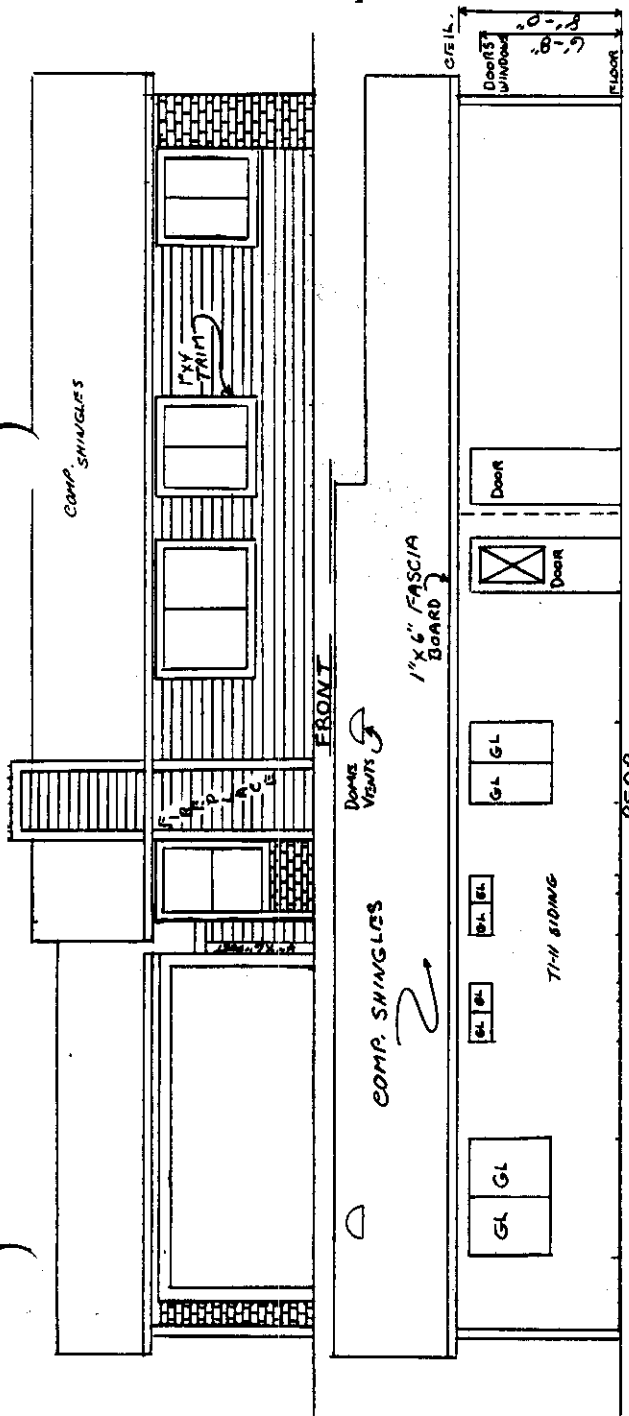


# EXHIBIT B



NOTICE: The owner upon starting on this project was advised that Donald E. Jennings, Inc. and other consultants represent all interested parties in the construction of this work, and hereby release Donald E. Jennings, Inc. and other consultants from any and all liability in connection with the performance of any and all services rendered by them.

DONALD E. JENNINGS  
Proprietor  
1200 N. L.A. 432 N GARAGE  
ELEVATION "B"

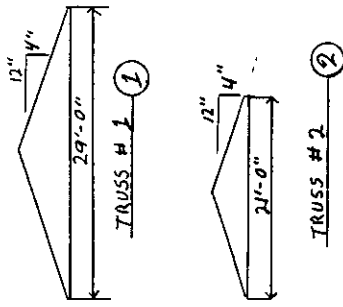
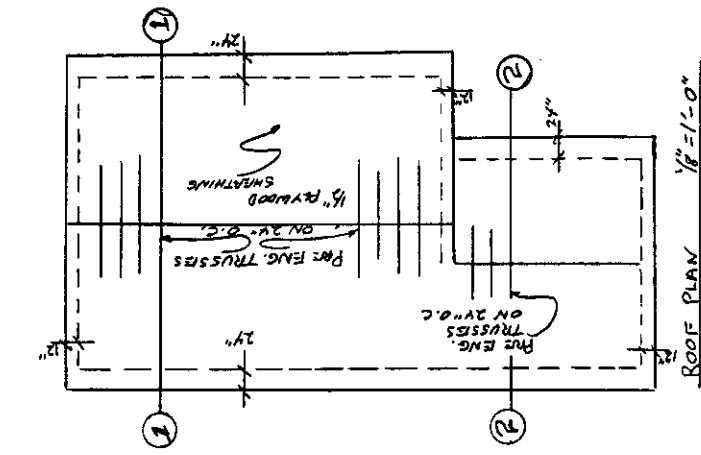


P91-078

August 22, 1991

Item #7

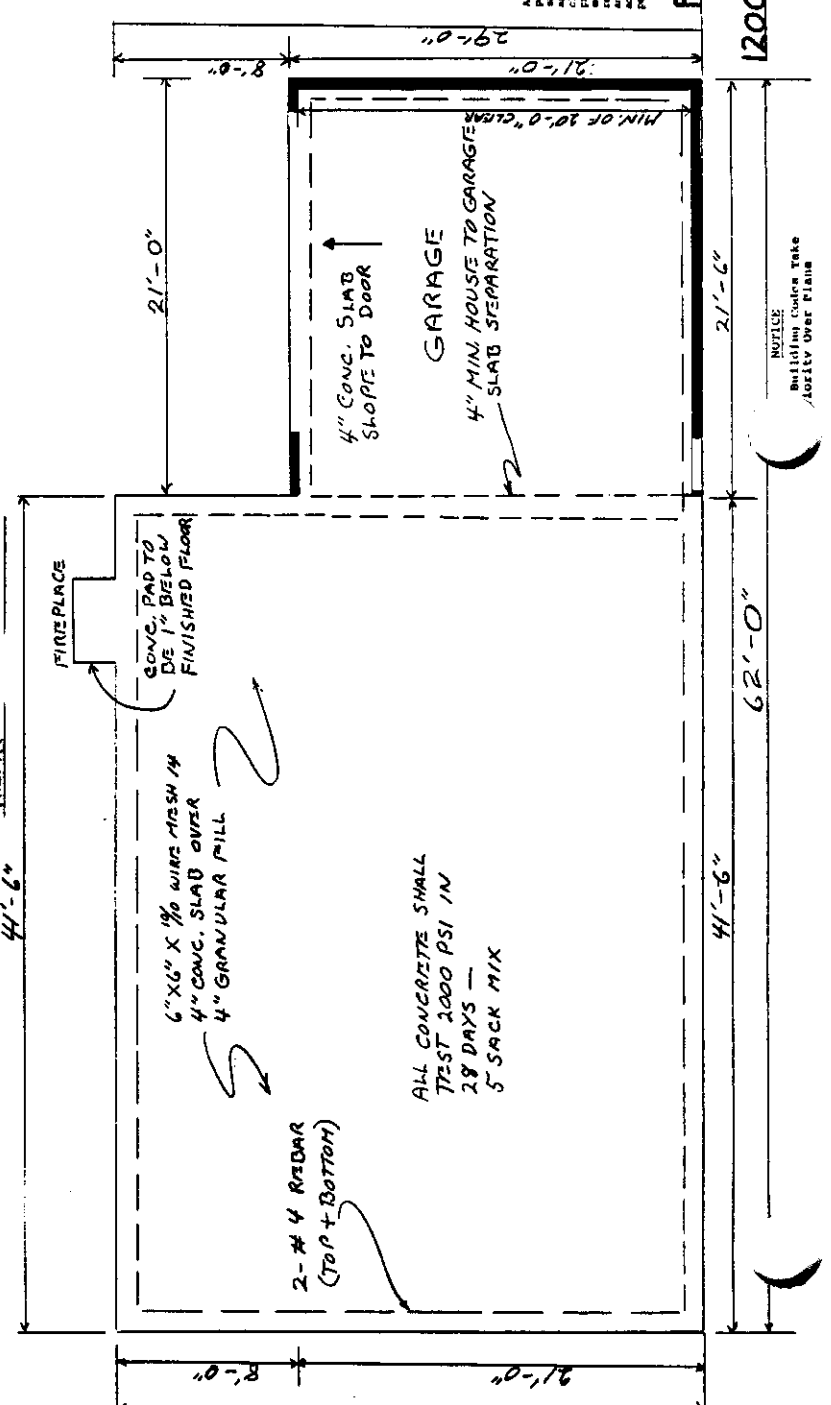
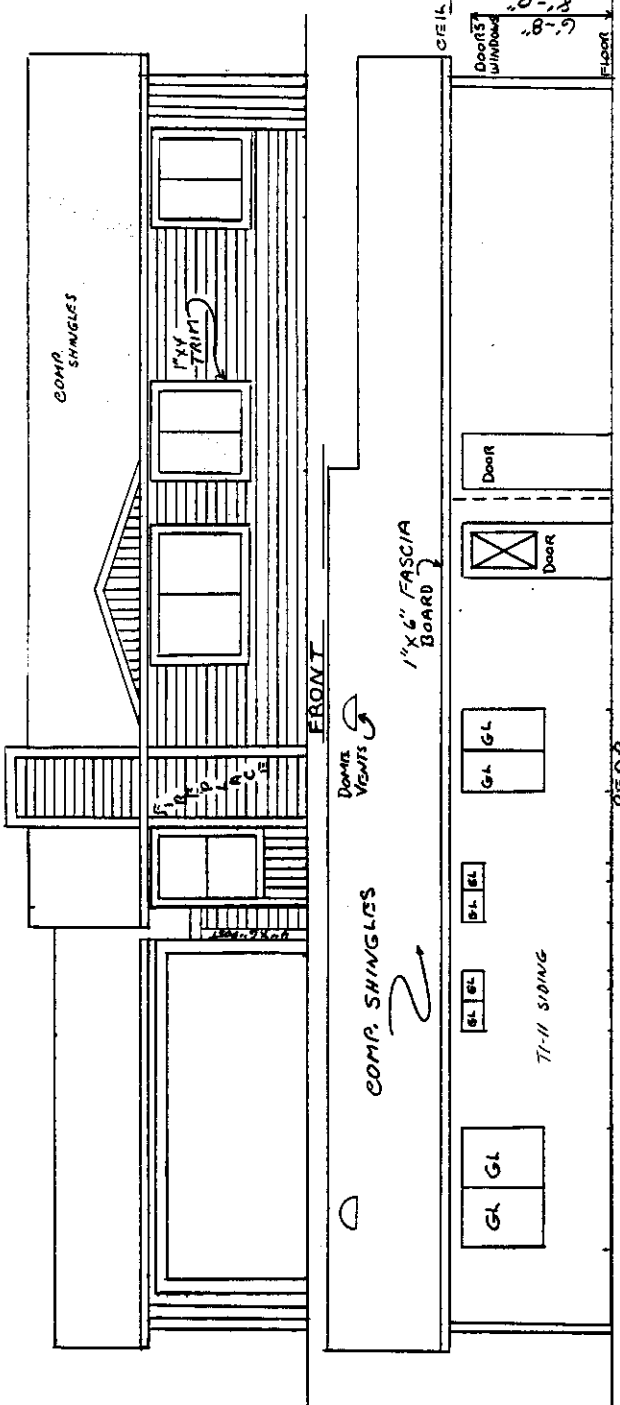
# EXHIBIT F



NOTICE: Any person upon working on this project shall be held liable for any and all claims for damage to persons and property resulting from the work, and hereby releases Donald R. Jennings, et al. from all liability on account of any accident, injury, or performance of said work.

Professional  
**DK CONSTRUCTION**  
 DONALD R. JENNINGS  
 PREPARED BY  
 DONALD R. JENNINGS  
 REAL ESTATE BROKER  
 1010 2ND ST. S.W.  
 SEASIDE, CA 94133  
 (415) 441-1100

**FOUNDATION PLAN 1/4" = 1'-0"**  
 1200 # 4 A. 432 # GAP  
 ELEVATION "C"



P91-078

August 22, 1991

29'-0"

Item # 17