

CITY OF SACRAMENTO

Permit No: 0205824

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Thos Bros: 297 E6

Site Address: 2012 26TH ST SAC

Sub-Type: NDUP

Parcel No: 010-0113-012

2012&2014 26TH ST

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

GAW CONSTRUCTION  
PO BOX 22177  
SACRAMENTO CA 95822

Nature of Work: NEW DUPLEX, 2324 SQ FT LIVING, 489 SQ FT GARAGE, 67 SQ FT OF PORCH

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class \_\_\_\_\_ License Number C017780 Date 8/19/02 Contractor Signature *[Signature]* for GAW Const Inc.

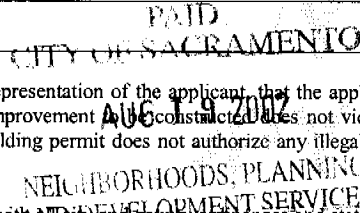
OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_



IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of a improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8/19/02 Applicant/Agent Signature *[Signature]*

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8/19/02 Applicant Signature *[Signature]*

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



**Certification of Compliance**  
School District Development

**Part I - To be completed by the APPLICANT**

Owner's Name/Address Goldenrod Construction - PO Box 20177 South - 19522  
Project Address 2012/14 - 26<sup>th</sup> St - DuPont  
Parcel Number 010-0113-012 Lot No. \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ No. of Units \_\_\_\_\_  
Applicant's Signature [Signature] Title OWNER  
Phone No. 628-2544 Date 8/20/02

**Notice to Applicant:** Pursuant to Government Code Section 66020(d), this will serve to notify you that the 90-day approval period in which you may protest the fees or other payment identified above will begin to run on the date in which the building or installation permit for this project is issued or on which they are paid to the district(s) or to another public entity authorized to collect them on behalf of the district(s), whichever is earlier.

**Part II - To be completed by the BUILDING DEPARTMENT**

Plan Identification Number 220521  
Building Type (check one)  Residential  Apartment/Condominium  Commercial/Industrial  
Square Feet of Chargeable Building Area 2324  
Signature/Title [Signature] Date 6/2/02

**Part III - To be completed by the SCHOOL DISTRICT**

School District WUD Certificate No. 11563  
 Exempt Comments \_\_\_\_\_  
Residential/Apartment/etc. 2324 Square ft. x \$ 1.72 = \$ 3997.28  
Commercial/Industrial \_\_\_\_\_ Square ft. x \$ \_\_\_\_\_ = \$ \_\_\_\_\_  
Total fees collected..... CR#4121 - P.D.L. = \$ 3997.28

This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.

As the authorized school official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.

Signature [Signature] Date 8/20/02

White & Canary - School District • Pink - Building Department • Goldenrod - Applicant

[Signature] 8/20/02

**PLANNING AND ZONING REVIEW**

..... to be filled out by Planning staff .....

ADDRESS:	<u>2012/2014</u> <del>2114</del> <u>20TH ST</u>			
APN:	<u>010-0113-012</u>	ZONING:	<u>R-1B</u>	
DESIGN REVIEW AREA:	<u>ALHAMBRA CORRIDOR</u>			
PREVIOUS FILES RELATED TO SITE:	<u>Z01-108, DRO1-085</u>			
EXISTING LAND USE:	<u>VACANT</u>			
PROPOSED USE:	<u>MFR (DUPLX)</u>			
COMMENTS:	<u>PROPOSED PROJECT COMPLIES WITH CONDITIONS OF APPROVAL, OUTLINED BY ELLEN SCHMIDT (DRO1-085) &amp; Z01-108 (ATTACHED TO PLANS) ALSO COMPLIES WITH SETBACK, LOT COVERAGE &amp; HEIGHT REQUIREMENTS</u>			
	DATE:	<u>5/3/02</u>	BY: <u>D. WHEELER</u>	
DOES IT APPEAR THAT THE PROJECT WILL REQUIRE A PLANNING APPLICATION?				
YES	<input checked="" type="radio"/>	NO	(If yes, circle applications needed below)	
.....Staff.....	ZA.....	Planning Commission.....	Design Review.....	Preservation Review.....
CONCLUSION:				
	DATE:	<u>5/3/02</u>	BY: <u>D. WHEELER</u>	



# CITY OF SACRAMENTO

DEPARTMENT OF PLANNING AND DEVELOPMENT  
1231 11<sup>th</sup> Street Sacramento Ca 95814

Administration  
Room 300 449-5571  
Building Inspections  
Room 200 449-5715  
Planning  
Room 200 449-5604

## WATER DEVELOPMENT FEE WAIVERS

Applicant: \_\_\_\_\_ Date: 5/3/02  
Property Address: 2012/2014 26th St.  
APN: 010-0113-012 Phone: \_\_\_\_\_  
Number of Units: 2 Zoning: R-1B

This project qualifies because it is in a:

REDEVELOPMENT AREA orange  
DESIGNATED INFILL AREA OR yellow } 4/0

INFILL AREA AND MEETS ALL OF THE FOLLOWING:

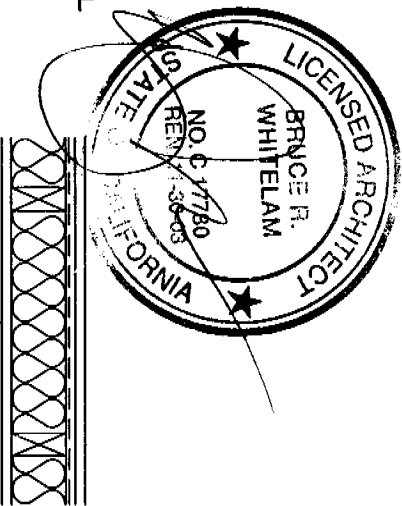
- 1. The site is located in a neighborhood where the median year of housing construction 1965 or earlier as shown on the Neighborhood Statistics Boundary Map or the applicant has proof to the satisfaction of the Planning Director that the median age of housing within 500 feet of the site was developed prior to 1965; and
- 2. The lot is surrounded on three sides by existing or approved development; and
- 3. The project is consistent with the General Plan or more specific plan designation; and
- 4. The site is no more than 5 acres in size for single family development or 2 acres for multiple family development; and
- 5. The site has City sewer, water and drainage services or is within proposed or existing assessment district for these services. The services provided are capable of serving the proposed development to the satisfaction of the Public Works Director.

Fee Waiver Denied By: \_\_\_\_\_ Date: \_\_\_\_\_

Fee Waiver Authorized By: [Signature] Date: 5/3/02

**COMMON WALL NOTES**

6A FILE NUMBER WP 3230  
 FROM 16TH EDITION FIRE RESISTANCE DESIGN MANUAL  
 1 HOUR FIRE  
 50 TO 54 STC SOUND  
 THICKNESS 5 5/8"  
 APPROXIMATE WEIGHT: 7 PSF  
 FIRE TEST: OSU T-3127, 10-4-65  
 SOUND TEST: RAL TL77-139, 5-5-77



**BASE LAYER:**  
 RESILIENT CHANNELS 24" OC ATTACHED AT RIGHT ANGLES TO ONE SIDE OF 2X4 WOOD STUDS 16" OC WITH 6d COATED NAILS, 1 7/8" LONG, 0.086" SHANK, 1/4" HEADS, 1/2" X 3" GYPSUM WALLBOARD FILLER STRIPS ATTACHED TO PLATE AT FLOOR LINE WITH 6d NAILS, ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD GYPSUM VENEER BASE APPLIED PARALLEL TO CHANNELS WITH 1" TYPE S DRYWALL SCREWS 6" OC AT HORIZONTAL JOINTS AND 12" OC AT INTERMEDIATE CHANNELS, 1 1/2" GLASS FIBER INSULATION, 0.8 PCF, STAPLED TO STUDS IN STUD SPACE.

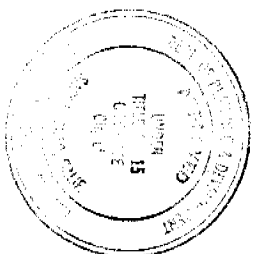
**OPPOSITE SIDE:**  
 ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO STUDS WITH 6d NAILS 8" OC.  
 HORIZONTAL BRACING REQUIRED AT MID-HEIGHT.  
 END JOINTS STAGGERED 48" ON OPPOSITE SIDES. SOUND TESTED WITH 3 1/2" GLASS FIBER INSULATION IN STUD SPACE.

**ISSUED**  
 DEC 04 2002

Sacramento Building Division

**REVISED COMMON WALL**

NO SCALE  
 NEW DUPLEX 2012-2014 26TH STREET  
 APN 010-0113-012  
 PERMIT #0205824R  
 NOVEMBER 29, 2002



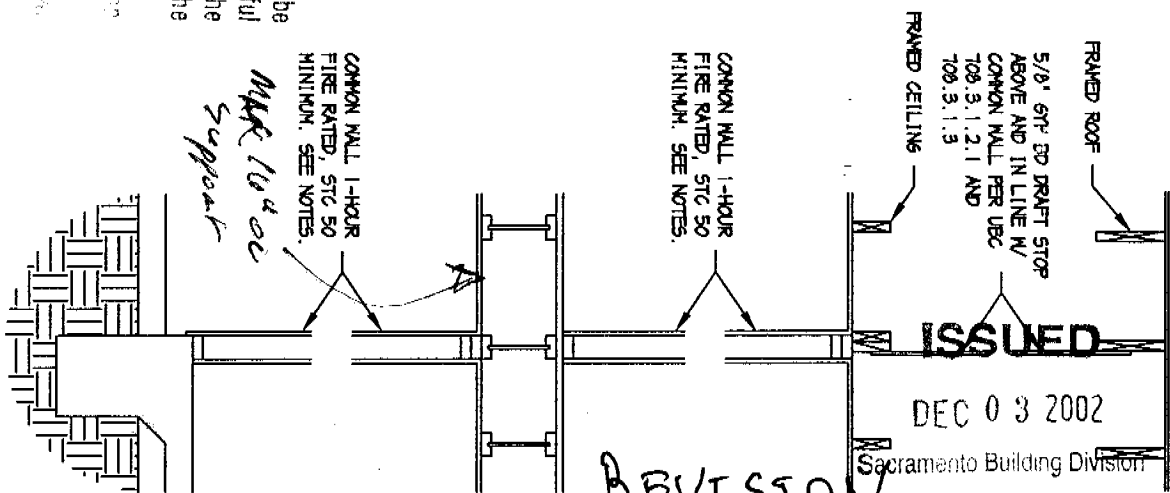
This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.  
 The approval of this plan and specification SHALL NOT be held to permit or excuse violation of any City Ordinance or State Law.

REVISION 02-05824

2012-26th st

Sheet 3/7

Typical Detail



**ISSUED**

DEC 03 2002

Sacramento Building Division

REVISION

2012 26th ST 0205824

COMMON WALL 1-HOUR FIRE RATED, STC 50 MINIMUM, SEE NOTES.

Mark 16" oc Support

**PLANNING AND ZONING REVIEW**

..... to be filled out by Planning staff .....

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~~2114~~ 20TH ST

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PREVIOUS FILES RELATED TO SITE: Z01-108, DRO1-085

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PROPOSED USE: MFR (DUPLX)

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DATE: 5/3/02 BY: D. WHEELER

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YES  NO  (If yes, circle applications needed below)

.....Staff.....ZA.....Planning Commission.....Design Review.....Preservation Review.....

CONCLUSION: \_\_\_\_\_

DATE: 5/3/02 BY: D. WHEELER