

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	TDK/Holten Associates, 1491 River Park Dr., Sacramento, CA 95815				
OWNER	Jim Gately, 19 Rockhill Court, Sacramento, CA 95833				
PLANS BY	TDK/Holten Associates, 1491 River Park Dr., Sacramento, CA 95815				
FILING DATE	12-10-84	50 DAY CPC ACTION DATE		REPORT BY:	JP:bw
NEGATIVE DEC.	1-14-85	EIR		ASSESSOR'S PCL. NO.	006-266-15

APPLICATION:

- A. Negative Declaration
- B. Special Permit to develop a 42,500+ square foot office building in the C-4 zone (Sec. 2-E-34(b))
- C. Special Permit to waive nine required parking spaces per the Parking Reduction Ordinance (Sec. 6-F-1)

LOCATION: 1700-9th Street

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 42,500+ square foot office building with 95 on-site parking spaces in the Heavy Commercial (C-4) zone.

PROJECT INFORMATION:

1974 General Plan Designation:	Industrial
1980 Central City Community Plan Designation:	Heavy Commercial
Existing Zoning of Site:	C-4
Existing Land Use of Site:	Vacant, used illegally as a parking lot

Surrounding Land Use and Zoning:

North:	State Office Buildings: R-5
South:	Warehouse; C-4
East:	Multi-Family Residential (CADA); M-1
West:	Parking, Office; M-1

Parking Required:	104 spaces	
Parking Provided:	95 spaces	001489
Parking Ratio:	1:400	
Property Dimensions:	121+ ' x 160+ '	
Property Area:	.44+ acre	
Square Footage of Building:	42,500+	
Building Height:	65 feet (4 floors)	
Topography:	Flat	
Street Improvements:	Existing	
Utilities:	Available	
Exterior Building Colors:	Paule mauve, dark brown tile, dark tinted glazing	
Exterior Building Materials:	Dry vit wall panels, Greylite #14 glass, brick veneer	

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use: The subject site is a 19,360 square foot corner parcel located in the Heavy Commercial (C-4) zone. A service station was formerly located on the site; however, the gas tanks and building have been removed and it is now used as an informal parking lot. Surrounding land uses include State office buildings to the north, a warehouse to the south, a parking lot and office building to the west, and multiple family residential to the east. The General Plan and 1980 Central City Plan designate the site for heavy commercial and industrial uses.

The applicant proposes to construct a 42,500± square foot, 65-foot high office building on the subject site (Exhibits A-C). Two levels of parking, one ground level and one subgrade level, totaling 95 spaces, would be provided. As nine additional parking spaces are still required, the applicant proposes to provide for this requirement by using off-street vehicle parking reduction measures and is requesting a special permit. A special permit is also required to construct an office building in the Heavy Commercial (C-4) zone.

B. Parking: The subject site is located in an area with a high concentration of large State office buildings with few parking facilities provided for employees. It is difficult to find on-street parking in the area and, as noted above, the site is presently used as an informal parking lot. The purpose for requiring a special permit for office buildings in the heavy commercial zone is to give the Commission the opportunity to mitigate potentially severe traffic impacts that would not otherwise be associated with a heavy commercial or industrial use. The area in which the subject site is located has a severe parking problem and the required parking for any proposed building on the site should be provided, or an effective vehicle parking reduction program be implemented.

The applicant proposes a 9% parking reduction program by implementing the following reduction measures:

Required Parking:	104 stalls	
Reduction Measures		001490
1. Showers and Lockers	2 stalls	(2%)
2. Flexible Work Hours	2 stalls	(2%)
3. Employee/Tenant Parking Fees	<u>5 stalls</u>	<u>(5%)</u>
Parking Required After Reductions	95 stalls	9%

Staff has no objections to the installation of shower and locker facilities as a vehicle reduction measure as it encourages the use of bicycles as transportation; a probable occurrence for office buildings in the downtown area. The proposed shower/locker facilities are located in the second floor restrooms adjacent to the stairs leading to the bicycle parking facilities on the ground level. Under the bicycle parking ordinance, a minimum of seven parking spaces (minimum 50% Class I) are required. To encourage this form of transportation, staff recommends that a minimum of 10 bicycle parking spaces be provided and that a minimum of 10 lockers be located in each of the restrooms on the second floor.

Staff, however, finds the other two proposed parking reduction measures unacceptable. Office buildings in this area normally charge parking fees for the few off-street spaces provided and flexible work hours are difficult to enforce as the building will be occupied by tenants other than the developer/property owner. The site, however, is adjacent to several major bus lines along 9th and Q Streets and is within 1,320 feet of the proposed light rail station on 'O' Street between 8th and 9th Streets (Exhibit D). Staff recommends that the applicant either utilize 100% Transit Pass Subsidy or a combination of Transit Pass Subsidy and Light Rail Transit Station Subsidy for 7% of the parking reduction measures.

Staff Recommendation

Required Parking: 104 stalls

Required Parking: 104 stalls

Reduction Measures:

Reduction Measures:

- 1. Showers & Lockers
2 stalls (2%)
- 2. 100% Bus Transit or
Pass Subsidy 7 stalls(7%)
Parking After 95 stalls(9%)

- 1. Showers & Lockers (2 stalls (2%))
- 2. Combination of Bus Transit Pass and
Light Rail Station Subsidy 7 stalls(7%)
95 stalls(9%)

A written agreement between the property owner and the Sacramento Transit Development Agency and/or the Sacramento Regional Transit District shall be entered into to insure that these parking reduction measures are implemented. Staff also encourages the applicant to make available more than the minimum amount of bus passes required to help alleviate the parking problems in the area.

- C. Building and Parking Design: On November 19, 1984 the Design Review/Preservation Board approved the proposed building design, subject to conditions. Planning staff has no objections to the Board's recommendations.

The Traffic Engineering Division has reviewed the applicant's request and has concerns regarding the slope and width of the traffic ramps. A potential visibility problem may also occur for the three parking spaces between the entrance to the ramp and the proposed trash area. Any proposed walls in this area should be reviewed and approved by the Traffic Engineering Division and the Planning Director prior to issuance of building permits. Minor modifications to the proposed parking stall locations for these three spaces, as well as several other spaces, will have to be made to provide the required 26 feet of maneuvering area for standard sized stalls (Exhibit C).

- D. Capitol Area Plan Committee Review: The subject site is within the jurisdictional boundaries of the State Capitol Area Plan. At their December 12, 1984 meeting, the Capitol Area Plan Committee reviewed the proposed project. They recommended that "the City Planning Commission carefully consider the impact of approving the project without adequate parking, and suggesting that the Commission require additional parking as a condition of approval."

STAFF RECOMMENDATION: Staff recommends the following actions:

001491

- A. Ratification of the Negative Declaration.

- B. Approval of the Special Permit to develop a 42,500+ square foot office building in the C-4 zone, subject to conditions, and based upon Findings of Fact which follow.
- C. Approval of the Special Permit to waive nine required parking spaces per the Parking Reduction Ordinance, subject to conditions and based upon Findings of Fact which follow:

Conditions

1. The applicant shall provide the following measures to reduce the minimum parking requirement by nine spaces:
 - a. Install men's and women's shower rooms with a minimum of 10 lockers in each facility. Final shower/locker facility plans are subject to Planning staff review and approval prior to issuance of building permits;
 - b. A minimum of 10 bicycle parking spaces shall be provided;
 - c. Provide written agreement with the Sacramento Transit Development Agency and/or the Sacramento Regional Transit District regarding the light rail station subsidy and/or the transit pass subsidy to the City Attorney and Planning Director for review and approval prior to issuance of building permits.
2. A revised parking plan, indicating the required maneuvering area for parking stalls and the location of any proposed walls adjacent to parking stalls 1, 2 and 3 shall be submitted for the review and approval of Planning and Traffic Engineering Divisions staff prior to issuance of building permits.
3. The proposed slope of the driveway ramp will meet the requirements of the Building and Traffic Engineering Divisions.
4. Subject to complying with conditions of the Design Review/Preservation Board.

001492

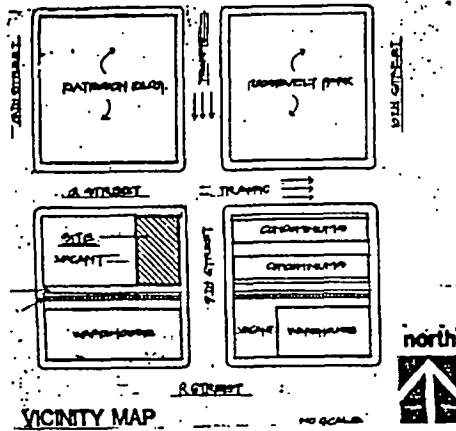
Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use, in that the proposed office building is compatible with surrounding office building, residential and warehouse uses.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance, in that the proposed office building will provide adequate on-site parking, bicycle parking and in-lieu parking measures.
3. The proposed project is compatible with the 1974 General Plan and 1980 Central City Plan which designate the site for industrial and heavy commercial uses.

P85-017

1-24-85

No.



General Statistics

AP#	008-288-15
Total Ac	0.44 Ac
Total Gross SF	41,700 SF
Net SF	38,700 SF

Parking

Req 104 Stalls

Parking Reductions:

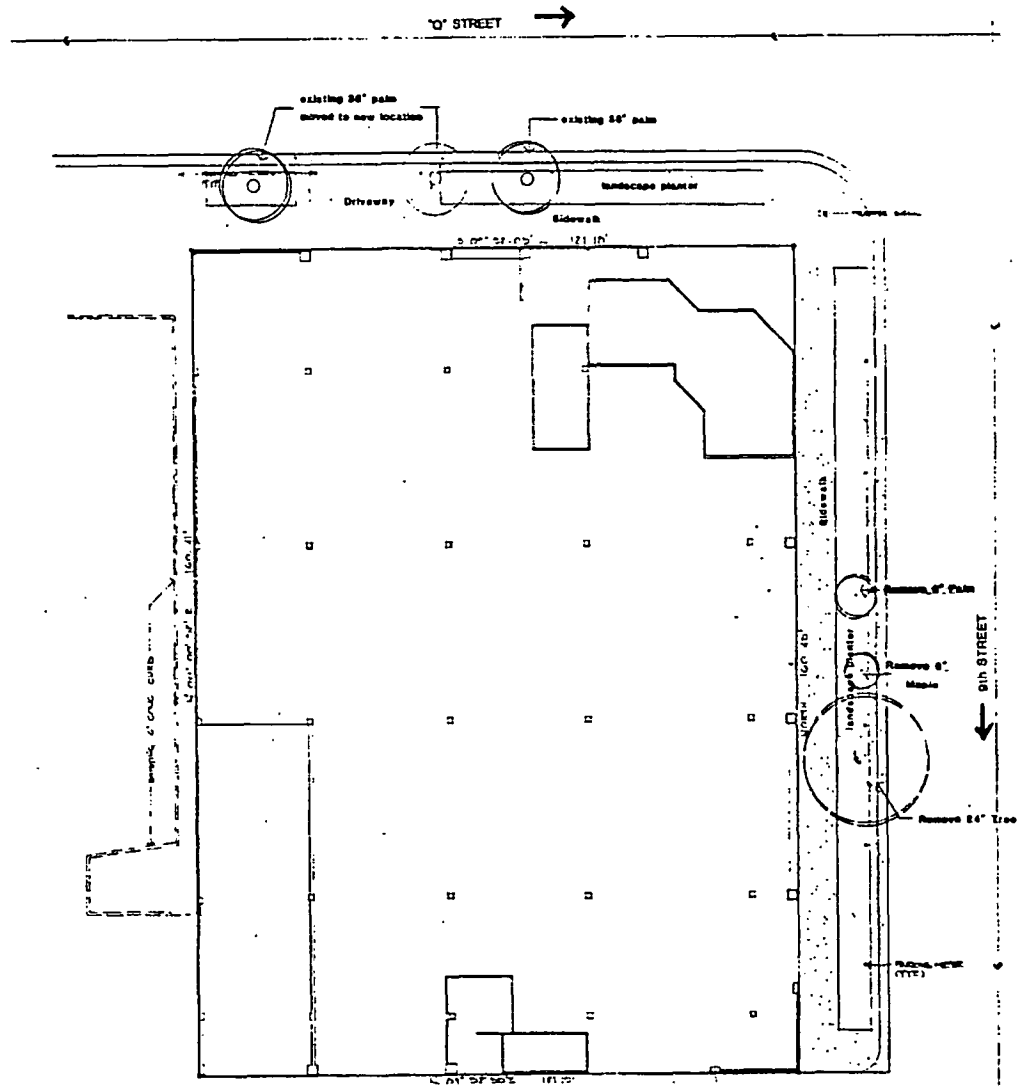
Showers & Lockers (2%)	2 Stalls
Flexible Work Hours (2%)	2 Stalls
Employee/Tenant Parking Fees (5%)	5 Stalls

Req. after Reductions 95 Stalls

Show:

Conventional	54 Stalls
Handicap (29%)	3 Stalls
Vanpool	8 Stalls
Compact	28 Stalls
Total	95 Stalls

001496



SITE PLAN

SCALE: 1" = 10'-0"

EXHIBIT A
SITE PLAN

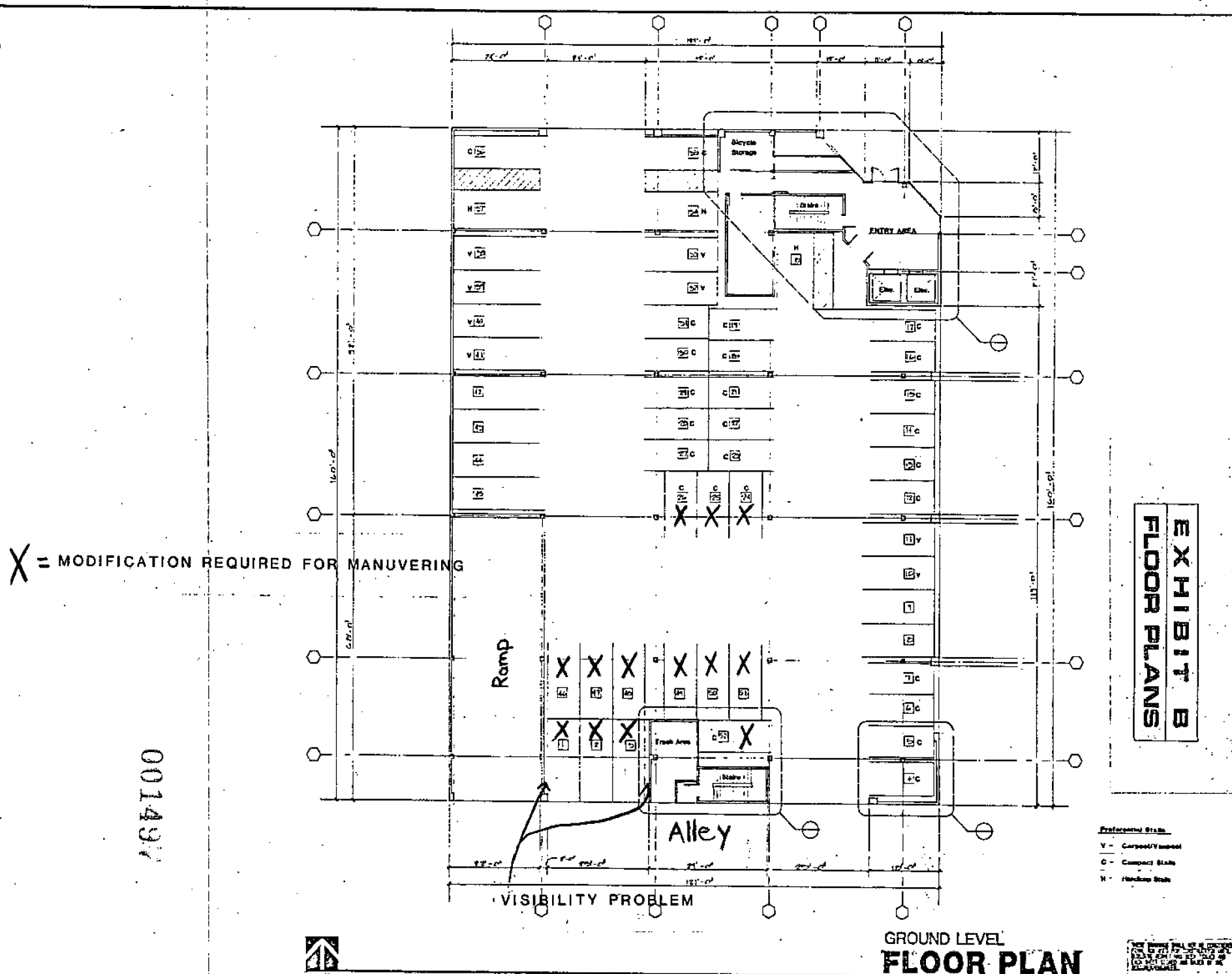
PLATE
ALPH
BOOK

TK/KN/EN
All work shall be in accordance with the City of Portland
118 N. W. 11th St. Portland, OR 97209

985-017

1-24-85

No. 21



X = MODIFICATION REQUIRED FOR MANUEVERING

001491

**EXHIBIT B
FLOOR PLANS**

- Professional Seal
- Y - Corridor/Vertical
 - C - Compact State
 - H - Hardware State

**GROUND LEVEL
FLOOR PLAN**
scale - 3/8" = 1'-0"

TRANQUILITY

1700 8th Street Building
Capital Land & Development Company
Sacramento, California

Sheet
A-2

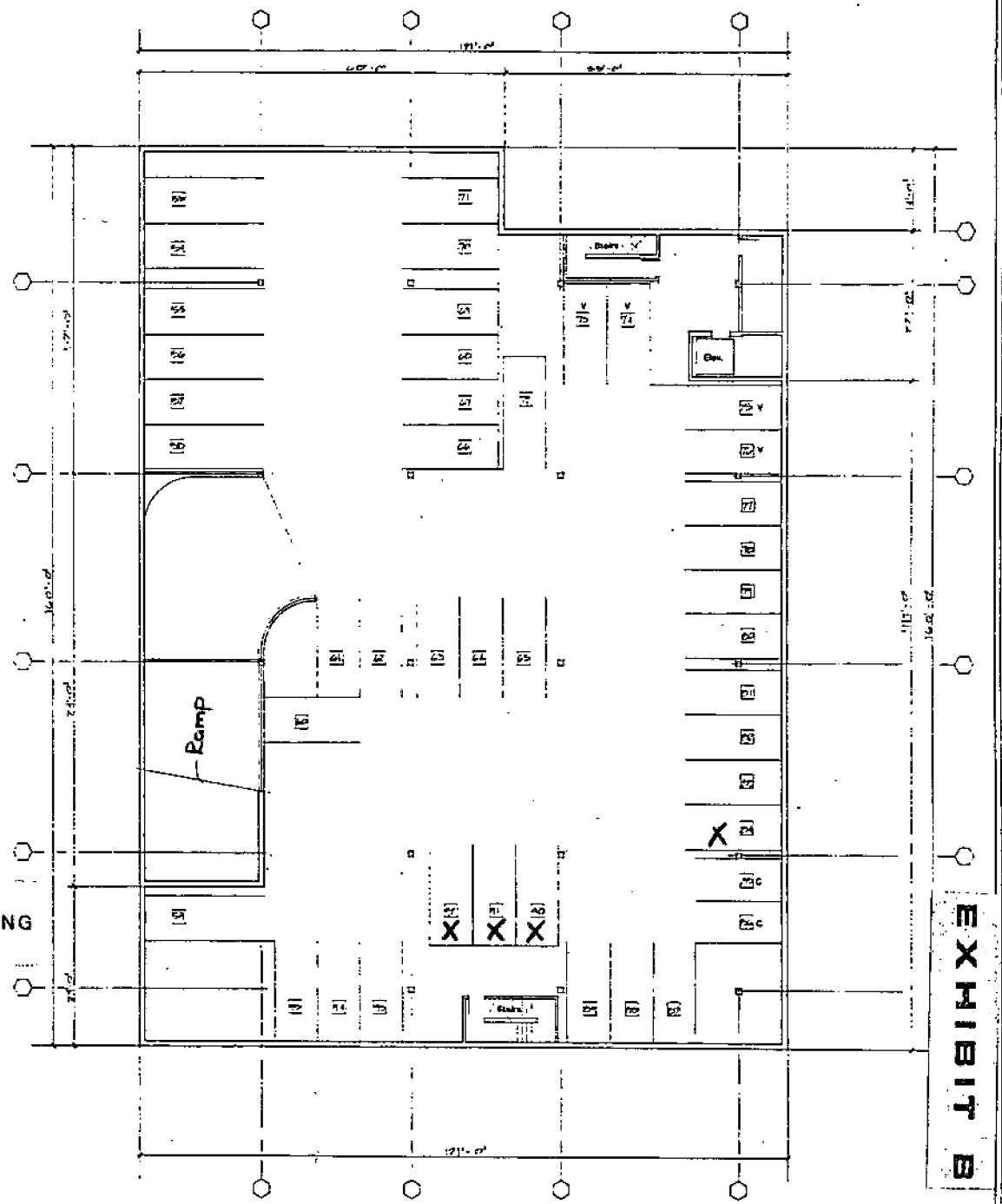
785-017

1-24-85

No. 21

001496

X= MODIFICATION REQUIRED FOR MANUVERING



SUBGRADE LEVEL
FLOOR PLAN
 scale 1/8" = 1'-0"

DATE: 1/24/85
 DRAWN BY: [illegible]
 CHECKED BY: [illegible]
 PROJECT NO: 001496

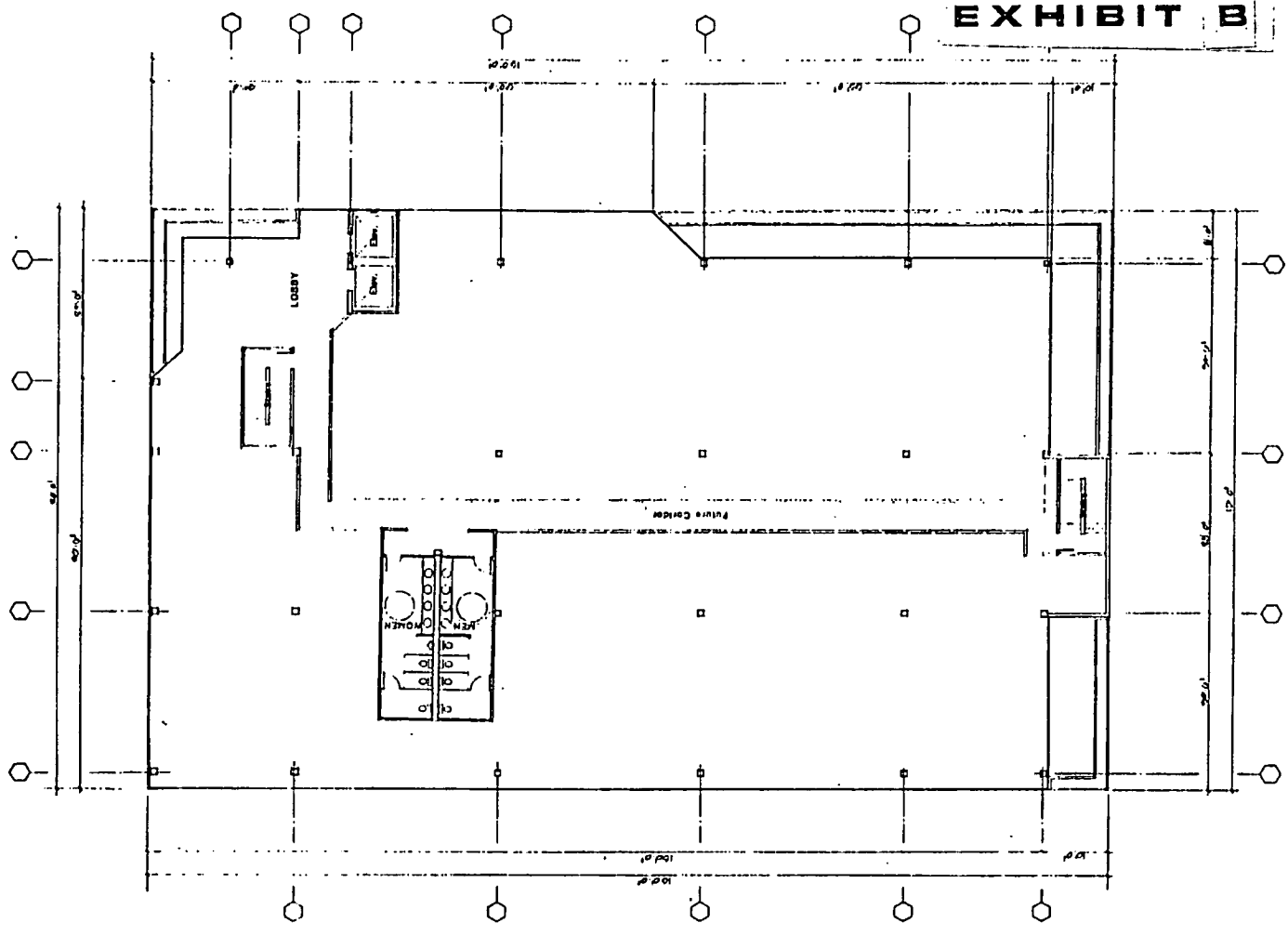
EXHIBIT B

1700 9th Street Building
 Capital Land & Development Company
 Sacramento, California

APPROVED FOR RECORDING
 State of California
 Department of Public Safety

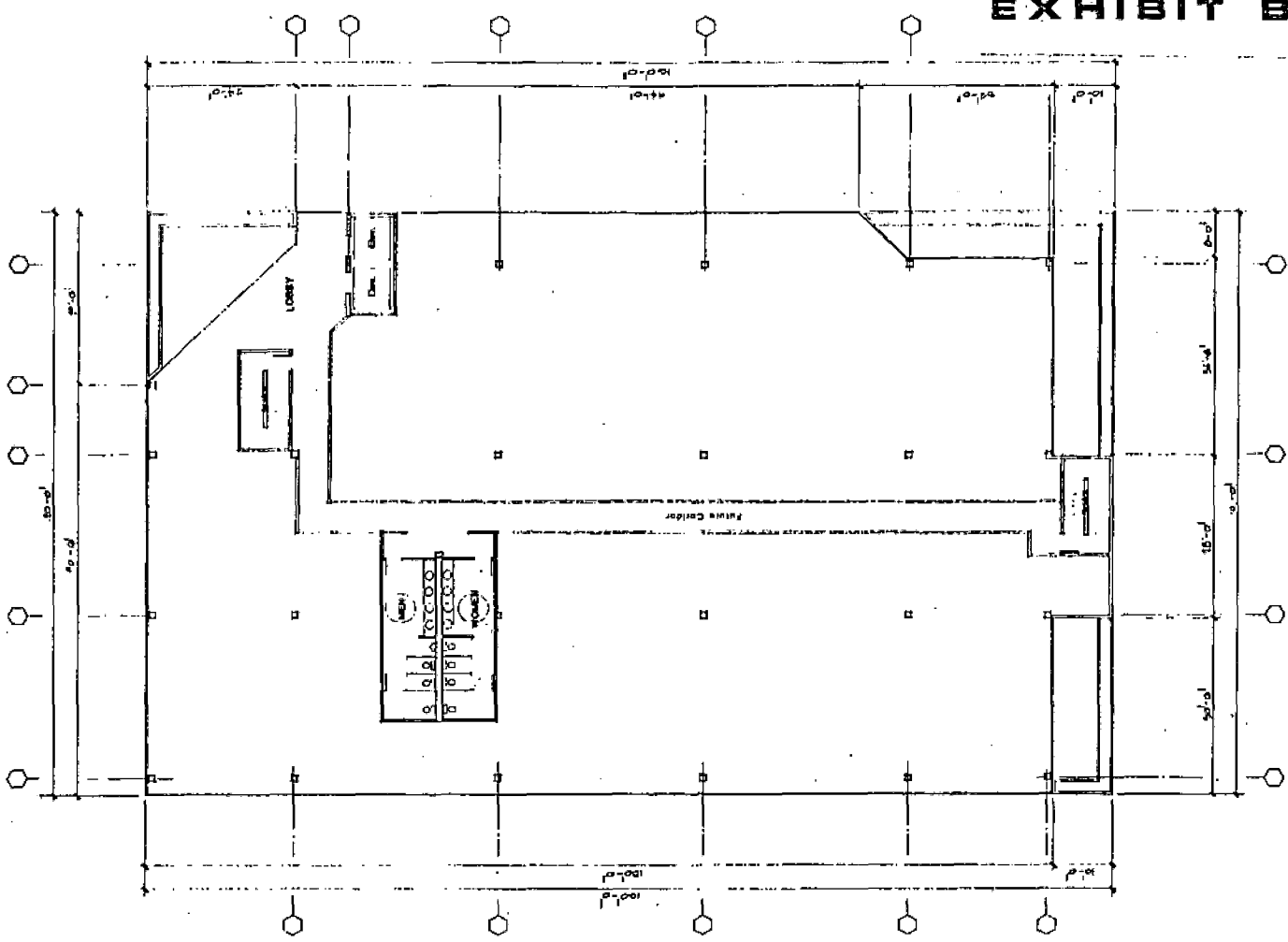
EXHIBIT B

THIRD FLOOR
FLOOR PLAN
scale 1/8" = 1'-0"



001500

EXHIBIT B



FOURTH FLOOR
FLOOR PLAN
 Scale: 1/8" = 1'-0"



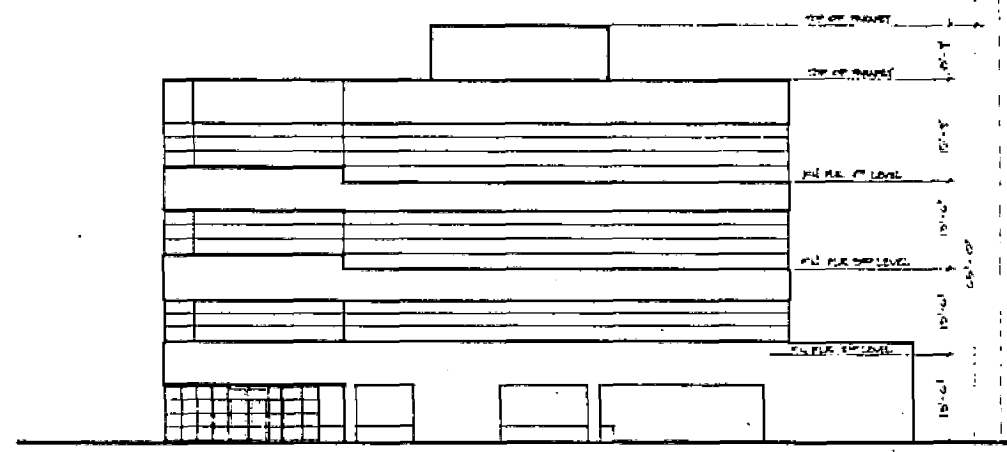
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085-017

1-24-85

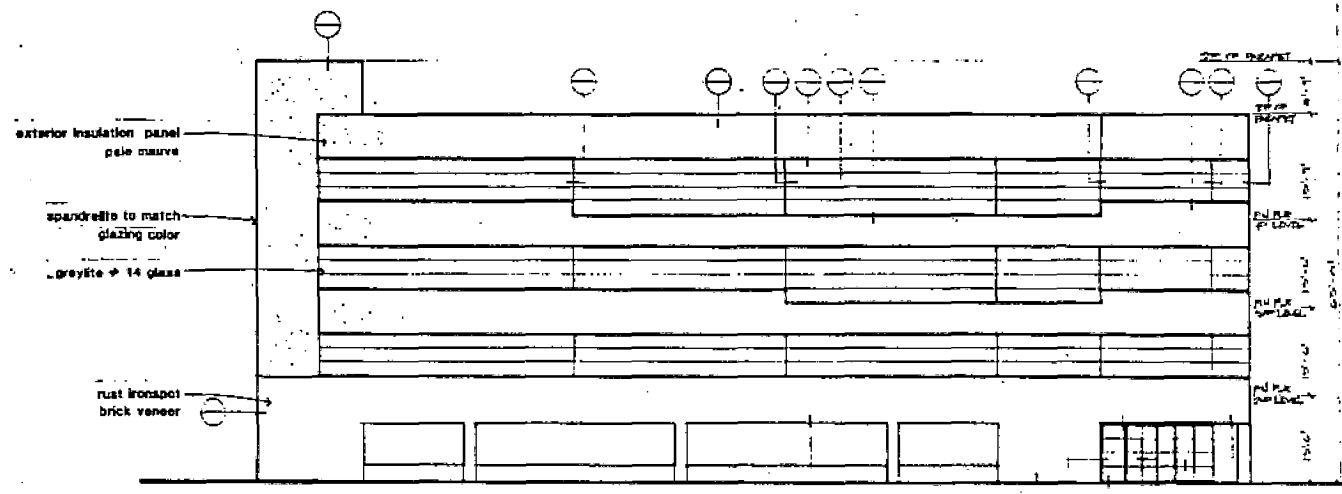
Hb. 21

001502



Q Street

North Elevation



9th Street

East Elevation

ELEVATIONS

scale: 1/8" = 1'-0"

EXHIBIT C
ELEVATIONS

DK/NOR

Architectural Firm

1851 West 10th Street, Seattle, WA 98119

THE ABOVE SHALL BE CONSIDERED APPROXIMATE UNLESS OTHERWISE SPECIFIED.

DATE: 1-24-85

BY: [Signature]

84-023

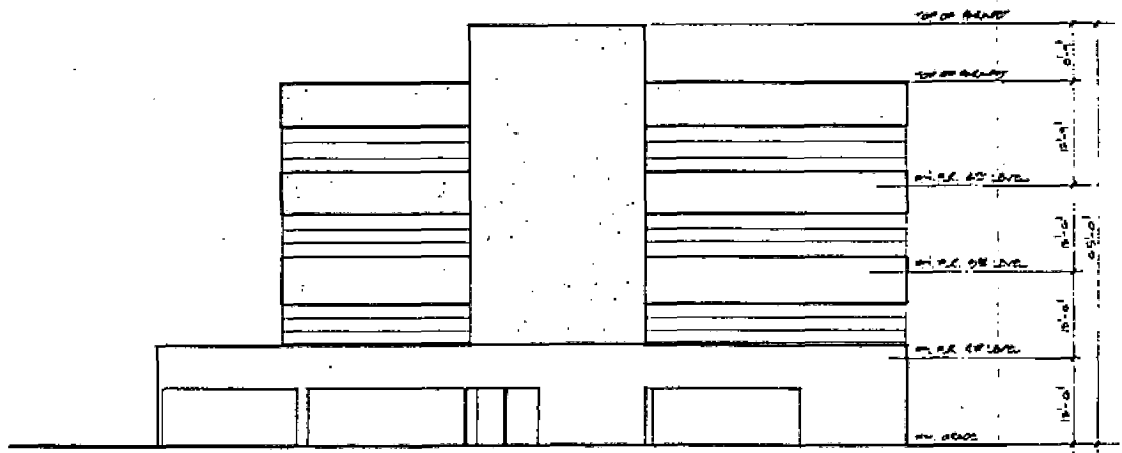
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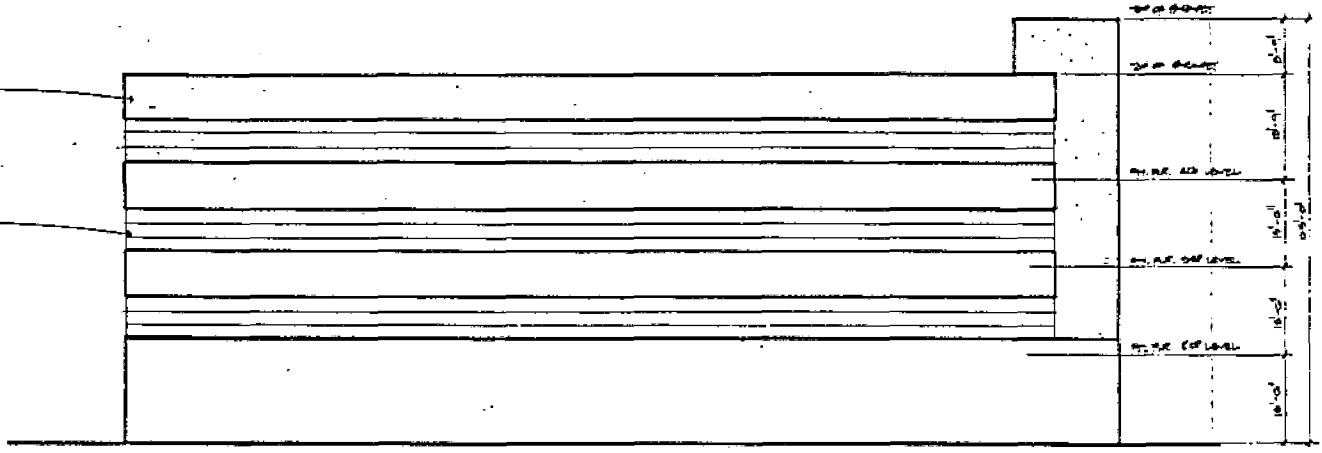
001503



South
East Elevation

exterior insulation panel
pale mauve

greyite # 14 glass



West Elevation

ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: 1-24-85
DRAWN BY: [illegible]
CHECKED BY: [illegible]

1700 8th Street Building
Capital Land & Development Company
Sacramento, California

TK/Noten
Architectural Engineering & Land Planning
1811 17th Street, Suite 100, Sacramento, California

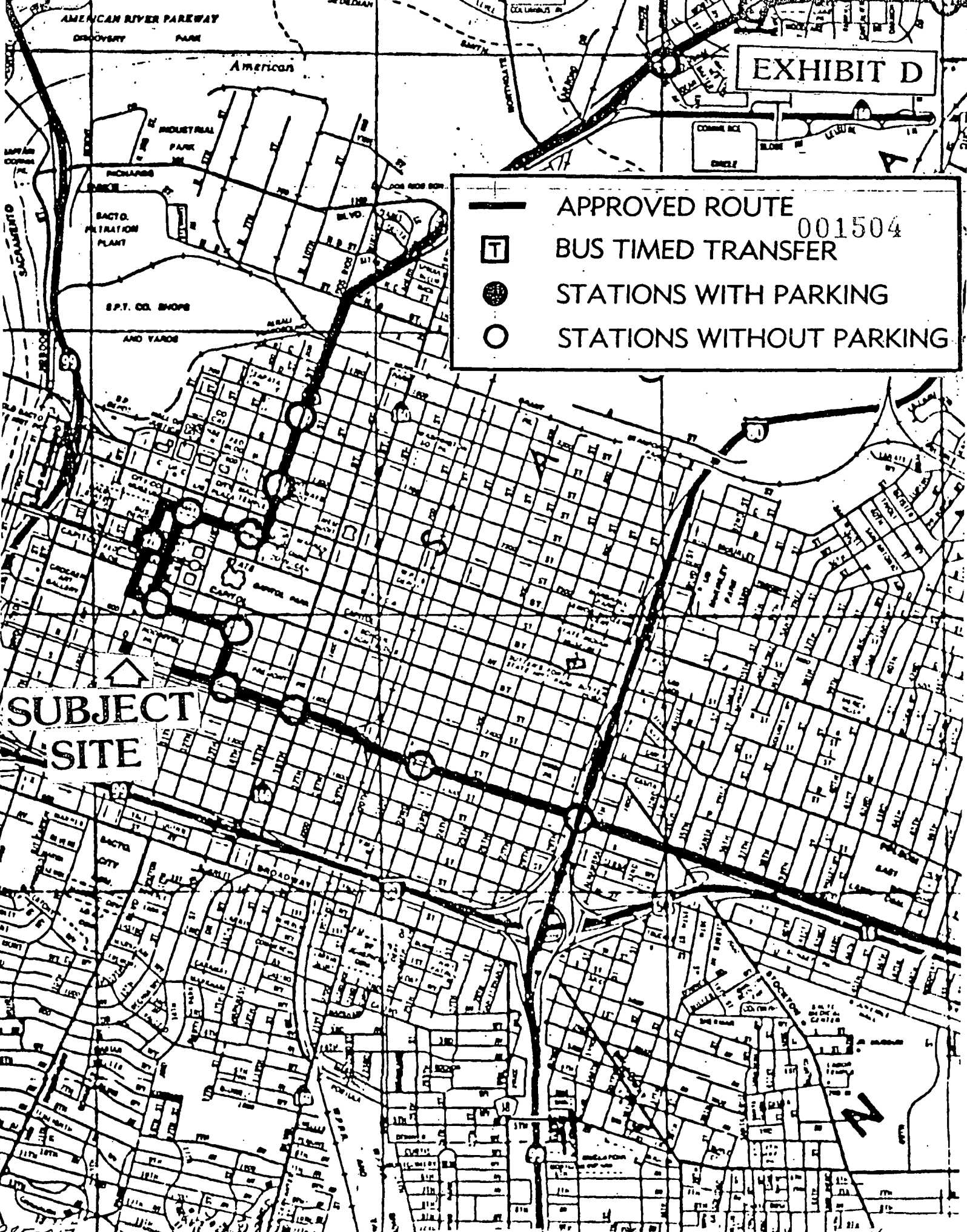
EXHIBIT C

04-023
A-B

EXHIBIT D

001504

- APPROVED ROUTE
- T BUS TIMED TRANSFER
- STATIONS WITH PARKING
- STATIONS WITHOUT PARKING



SUBJECT SITE

001503

