

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	HOWARD TRIEBWASSER, 4713 B Parkway, Sacramento CA 95823				
OWNER	ST. LUKE'S LUTHERAN CHURCH, 7595 Center Parkway, Sacramento, CA 95823				
PLANS BY	David Kelly, 4600 Goyce Parkway, Sacramento, CA				
FILING DATE	6/4/87	ENVIR. DET.	NEG DEC 6.29/87	REPORT BY	JP/vf
ASSESSOR'S-PCL. NO.	050-0020-049				

- APPLICATION:**
- A. Negative Declaration
  - B. Special Permit to operate a private day care and elementary school for up to 120 children and add a 1,196+ sq. ft. restroom addition to an existing church in the R-1 zone.

**LOCATION:** 7595 Center Parkway

**PROPOSAL:** The applicant is requesting the necessary entitlements to expand an existing day care and elementary school for 54 children to 120 children at St. Luke's Lutheran Church.

**PROJECT INFORMATION:**

1974 General Plan Designation:	Residential
1986 South Sacramento Community Plan Designation:	Residential 4-8
Existing Zoning of Site:	R-1
Existing Land Use of Site:	St. Luke's Lutheran Church

**Surrounding Land use and Zoning:**

North: Single Family Residential; R-1  
South: Single Family Residential; R-1  
East : Single Family Residential and Church; County  
West : Park and School, R-1

Parking Required:	55 Spaces
Parking Provided:	90 Spaces
Property Dimensions:	Irregular
Square Footage of Building:	Existing Building: 17,800 sq. ft.
Square Footage of Proposed Addition:	1,196+ sq. ft.
Height of Proposed Addition:	17 ft. , one story
Exterior Building Materials:	Brick and cement plaster
Roof Material:	Composition Shingle

**PROJECT EVALUATION:** Staff has the following comments regarding this proposal:

**A. Land Use and Zoning**

The subject site consists of 4.5+ acres located in the Single Family (R-1) zone. The 17,800+ square foot St. Luke's Lutheran Church is located on the site (P1370). Surrounding land uses are single family residences to

the north, south and east, a church to the east, and Nielsen Park to the west. The site is designated for residential use by the 1974 General Plan and Residential 4-8 by the 1986 South Sacramento Community Plan.

B. Applicant's Proposal

A day care center has been operated at the church site for approximately 15 years. It appears that this use was established without Planning Commission review and approval. The facility's hours of operation are 6:30 a.m. to 6:00 p.m. Monday through Friday. Presently, the site is licensed by the State Department of Social Services Community Care Licensing for 54 children. The facility also offers first and second grade classes which are taught by an instructor with an elementary teaching credential from the State of California.

The applicant proposes to increase the number of children in the day care center to 100. This would allow the facility to offer extended day care for children who go to school at another location and then need a place to stay until their parents can pick them up and take them home. Presently, the facility has a waiting list of parents who wish to place their children in the extended day care program. The facility would also continue to operate an elementary school for first and second grades for approximately 20 children. In order to increase the number of children in the facility, the State requires additional restrooms. The applicant is requesting a special permit to increase the day care (pre-school and extended day care) and private elementary school use to accommodate a total of 120 children and to add 1,196± square feet to the existing church structure. The square footage addition would consist of a kitchen, office, storage room and two restrooms.

C. Site Plan Design

The submitted site plan indicates that the proposed restroom, kitchen, office and storage addition will be located off of the north side of the existing church fellowship hall, 25 feet east of the Center Parkway right-of-way. This location is proposed as the proposed restrooms will be convenient for both church members that use the fellowship hall and children in the adjacent classrooms.

The site plan also indicates a trash dumpster, storage area and chain link fence adjacent to the northern driveway and 25 feet from Center Parkway. Planning staff recommends that the trash enclosure and storage area be screened by a six foot high decorative masonry wall and that the masonry wall continue to north property line in lieu of a six foot high chain link fence. This wall will screen the view of the trash dumpster and the unimproved area of the church along the north property line from the Center Parkway public right-of-way. Staff also recommends that trees and/or shrubs be planted in this landscaped setback area.

On the eastern portion of the subject site, the church has fenced off approximately one half acre with a five foot high chain link fence. This area is landscaped and irrigated and is used for church functions, such as picnics, and as part of the children's play area for the day care center. The remaining three quarter acres of open area along the north and east property lines adjacent to single family residences is unimproved. The church has no plans to improve this area at this time. Planning staff has no objections if the half acre area is continued to be used as a play area for the day care center, as the area is not directly adjacent to any residential uses (Exhibit A). Staff wishes to note that any proposed improvements to the unimproved areas will require Planning Director review and approval, or Planning Commission review if major improvements are proposed. Planning staff would discourage locating any of the children's playground in this area due to its proximity to the single family residences.

D. Building Design

The existing church exterior materials are cement plaster, brick and a composition shingle roof. The proposed exterior for the 1,196<sup>±</sup> square foot addition is cement plaster and a composition shingle roof. Staff recommends that the plaster be painted the same color as the existing building. Staff also recommends that additional trees and/or shrubs be located in the setback area adjacent to the addition to replace the ones that will be removed due to the new construction and to enhance the appearance of the subject site. An air conditioning unit and gas meter are proposed for location in the setback area. These mechanical items are also required to be screened and/or landscaped.

E. Parking and Circulation

The proposed project has been reviewed by the City Traffic Engineering Division. They have indicated that the site is located on a major street and that the additional children will not result in a significant increase in trip generation.

Ninety parking spaces are located on the subject site. This number of parking spaces will more than adequately serve the needs of the day care facility.

F. Neighborhood Comments

An adjacent property owner has called Planning staff to express his concern regarding the increase in children at the subject site. He is concerned that 120 children will result in an increase in the noise level of the neighborhood. Additional testimony will be provided at the Planning Commission hearing.

The operator of the day care center, Mrs. Wiggins, has indicated to Planning staff that there should not be an increase in noise due to the increase in children at the facility. By State law they are required to separate the pre-school children from the school age children except for special events such as picnics and field trips. They are also limited as to the number of children they can have out on the playground at one time. They will continue to have a maximum of two classes, or 24 children out on the playground at one time, therefore, all 120 children would not be outside all at one time. What will increase is the number of times the children are out on the playground in the afternoon due to the arrival of the extended day care children at the facility.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the Negative Declaration.
- B. Approval of the special permit request, subject to conditions and based upon findings of fact which follow.

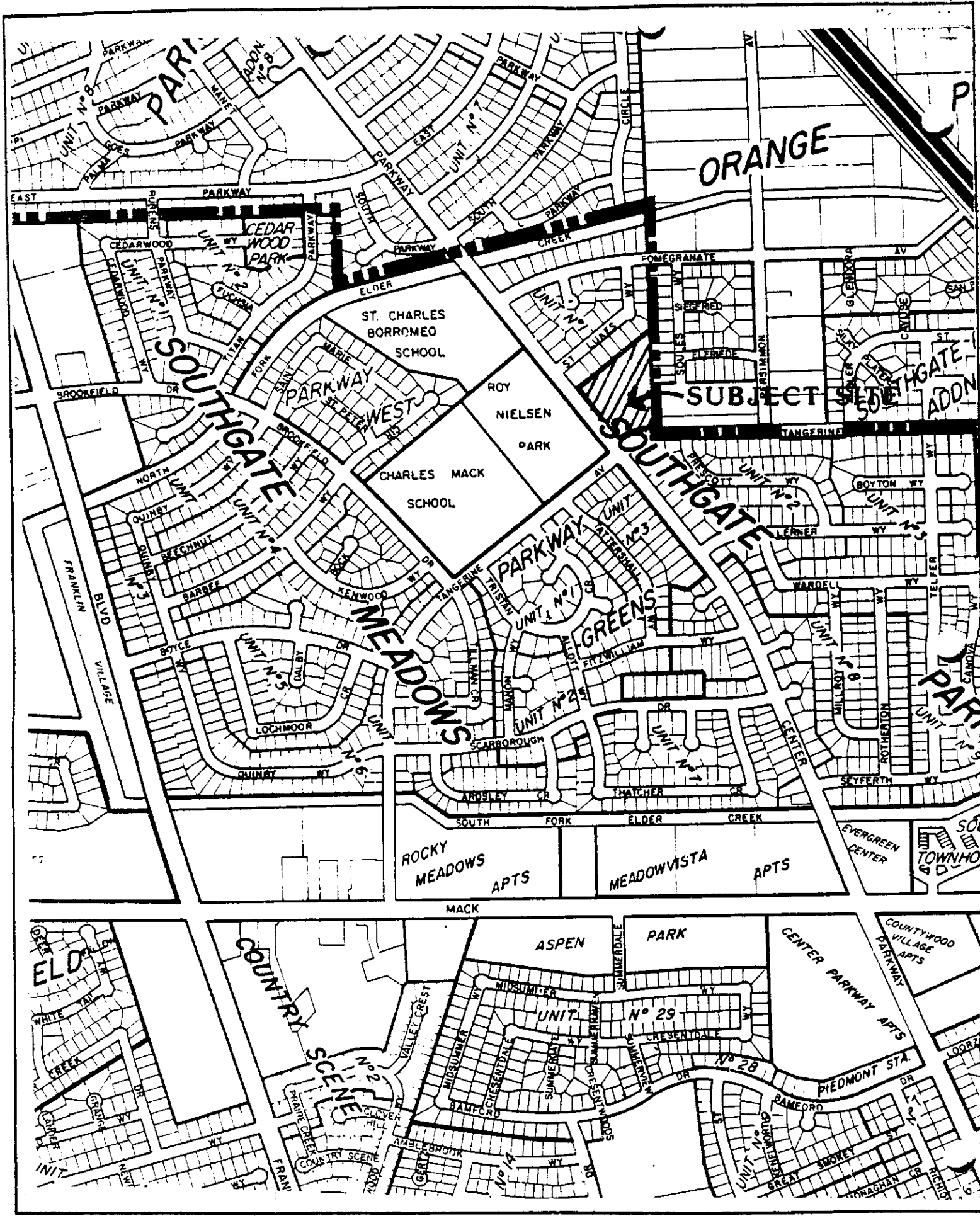
Conditions

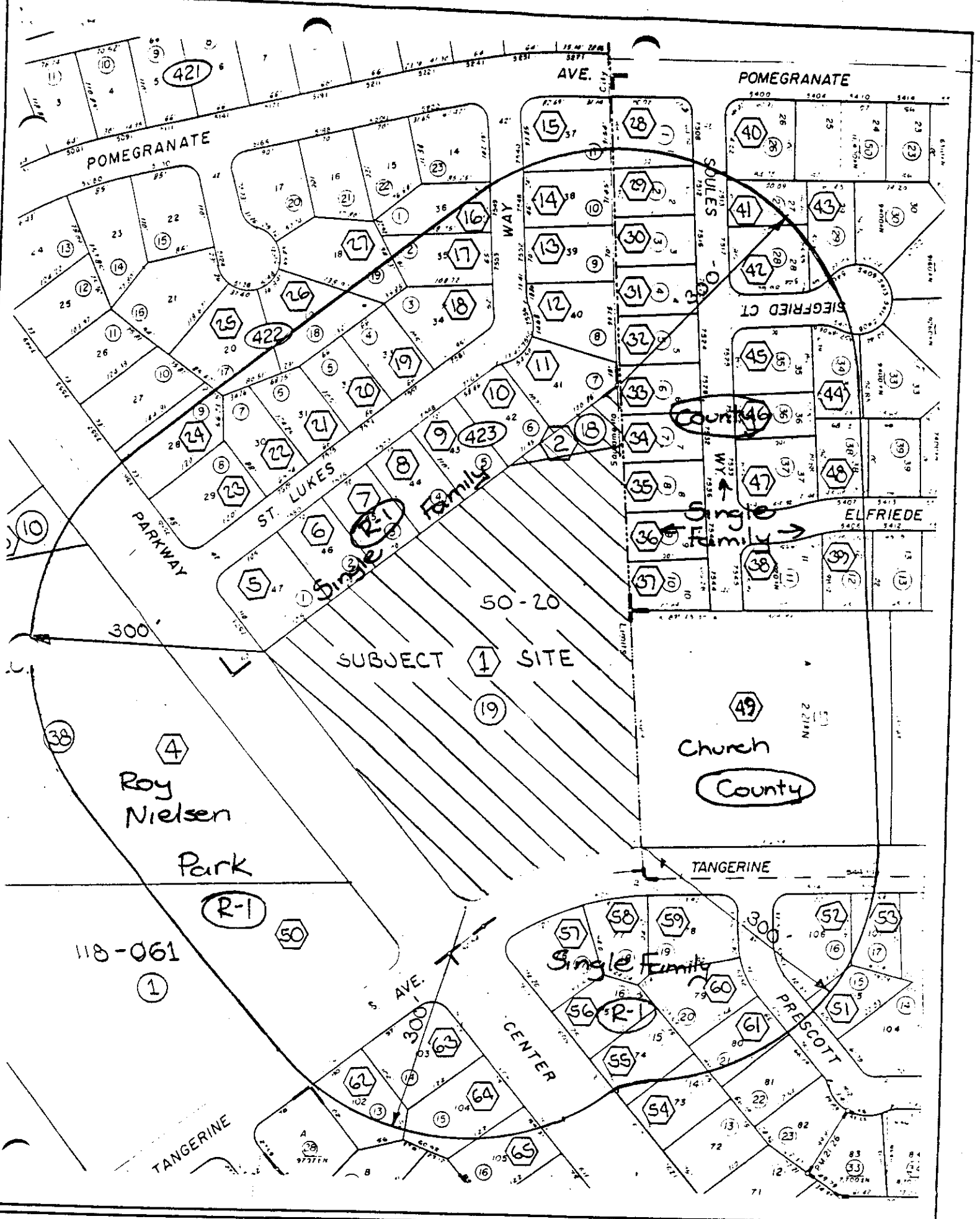
1. The day care center and elementary school is permitted for a maximum of 120 children. Hours of operation shall be 6:30 a.m. to 6:00 p.m. Monday through Friday.
2. Landscape plans shall be submitted for Planning Director review and approval prior to issuance of building permits. The landscape plans shall indicate trees and/or shrubs in the 25 foot landscape setback adjacent to the required masonry wall and the new building addition.
3. The applicant shall provide screening of all mechanical and utility equipment in the 25 foot landscaped setback area subject to Planning Director review and approval.
4. A six foot high decorative masonry wall shall be provided behind the 25 foot landscaped setback between the north driveway and the north property line. The proposed design, materials and color of the wall shall be subject to Planning Director review and approval prior to issuance of building permits.
5. The proposed trash enclosure and storage area shall be incorporated into the east side of the required masonry wall. The trash enclosure shall meet Zoning Ordinance requirements and revised plans submitted for review and approval prior to issuance of building permits.

6. Any proposed improvements, (including landscaping) to the improved areas adjacent to the north property line and shown on the submitted site plan, shall be subject to Planning Director review and approval. The Planning Director shall determine whether or not any proposals are major modifications and require Planning Commission review and approval.
7. The building addition shall be painted the same color as the existing church structure.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the church and day care center is compatible with adjacent single family, church and neighborhood park uses.
2. The project, as conditioned, is not detrimental to the public health, safety or welfare, nor will it result in the creation of a nuisance in that:
  - a. the proposed use will not significantly alter the characteristics of the area;
  - b. the outdoor play area is not directly adjacent to any single family residential uses;
  - c. adequate landscaping and parking are provided.
3. The proposed project, is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for residential use by the 1986 South Sacramento Community Plan and proposed church and day care use conforms with the plan designation.

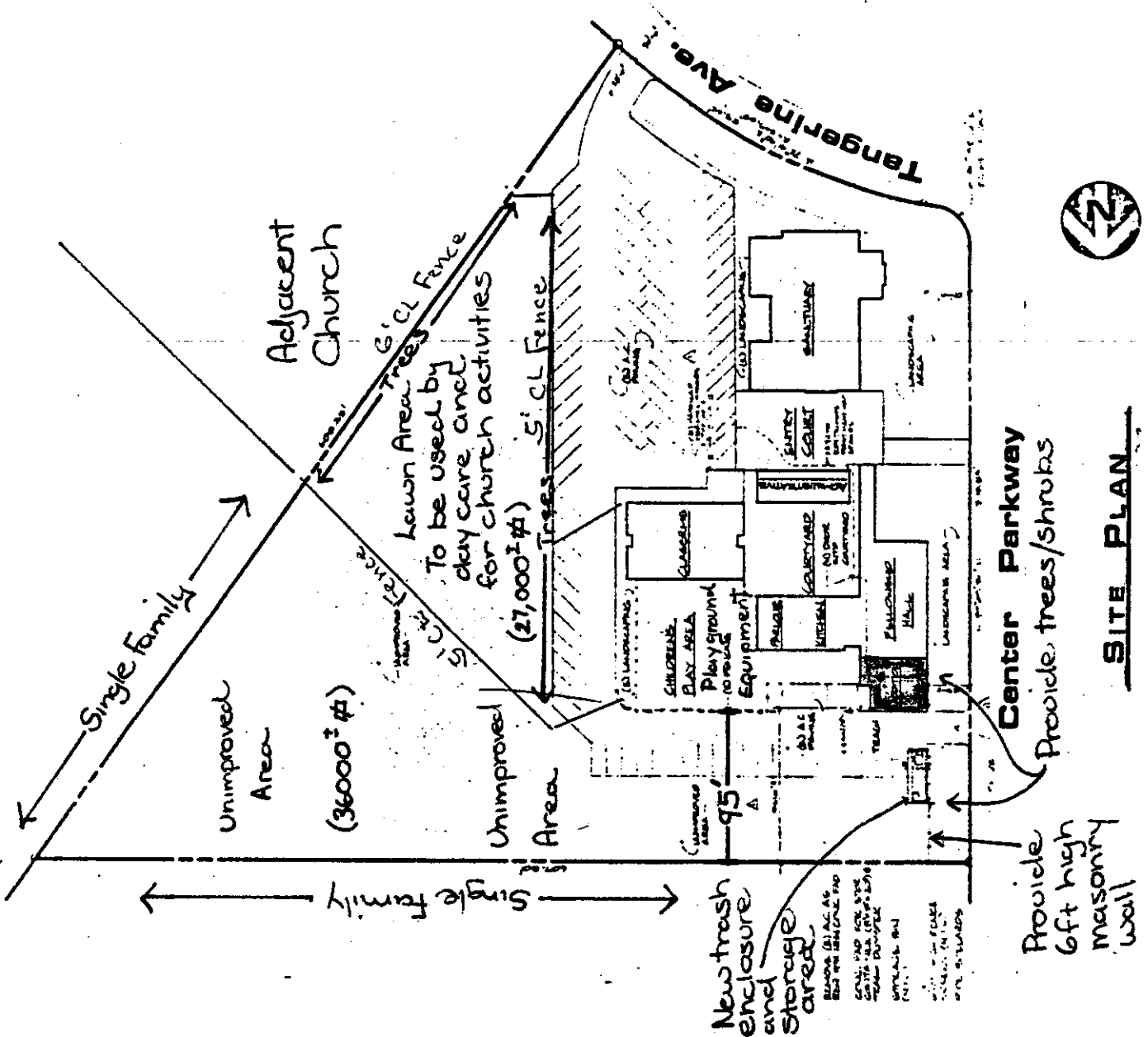




Sheet	Index
Architectural DESIGN	
A1	Site Plan & Utility
A2	Site Plan & Utility
A3	Site Plan & Utility
Structural DESIGN	
S1	Foundation Plan & Beam
S2	Column Section
S3	Structural Details
Mechanical DESIGN	
M1	Mechanical Plan
M2	Mechanical Details
Electrical DESIGN	
E1	Electrical Plan
E2	Electrical Details
Plumbing DESIGN	
P1	Plumbing Plan
P2	Plumbing Details
Energy DESIGN	
EN1	Energy Calculations

# EXHIBIT A

## Site Plan



**SITE PLAN**

David Kelly  
Civil Engineer  
4800 Oates Parkway  
Broomfield, CO 80020  
No. 19872

FR LUKAS  
LUTHERAN CHURCH  
7735 Center Drive  
Broomfield, CO 80020  
Phone 437-4028

DATE: 7/9/87  
SHEET: 0587  
TITLE: SITE PLAN

A1  
08 JUL 1987



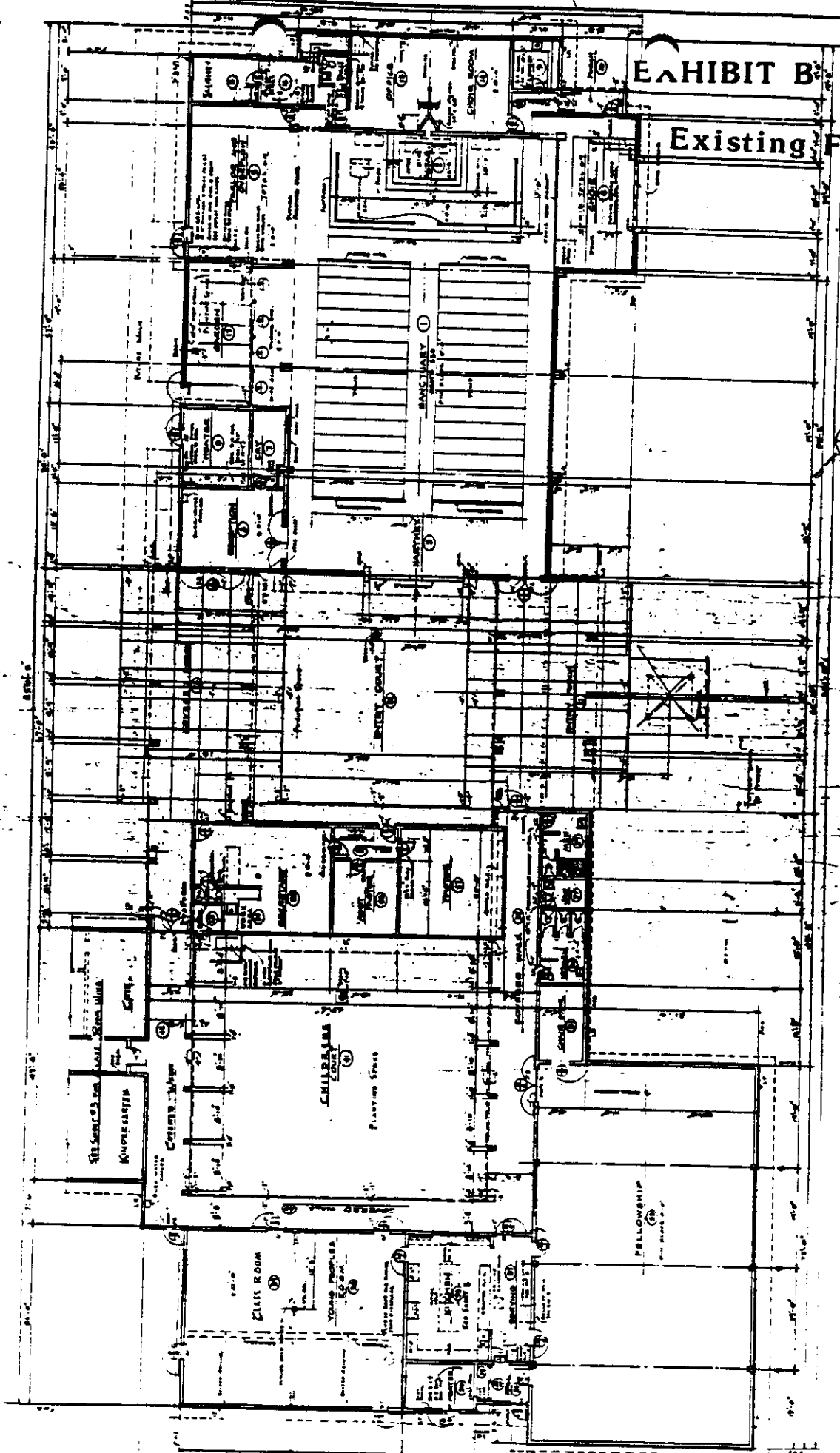


EXHIBIT B

Existing Floor Plan

PROJECT NO. 821
DRAWN BY
CHECKED BY
DATE

SAINT LUKE'S  
LUTHERAN CHURCH  
SACRAMENTO CALIFORNIA

SAITLER, LEE & TOMICH ARCHITECTS  
SAN FRANCISCO, CALIFORNIA  
SAN FRANCISCO, CALIFORNIA  
SAN FRANCISCO, CALIFORNIA

CONTRACT NO. 821

DATE OF PLAN: 7-9-87

SCALE: AS SHOWN

CONTRACTOR

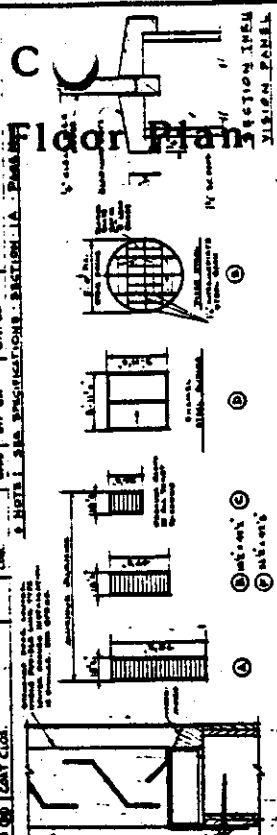
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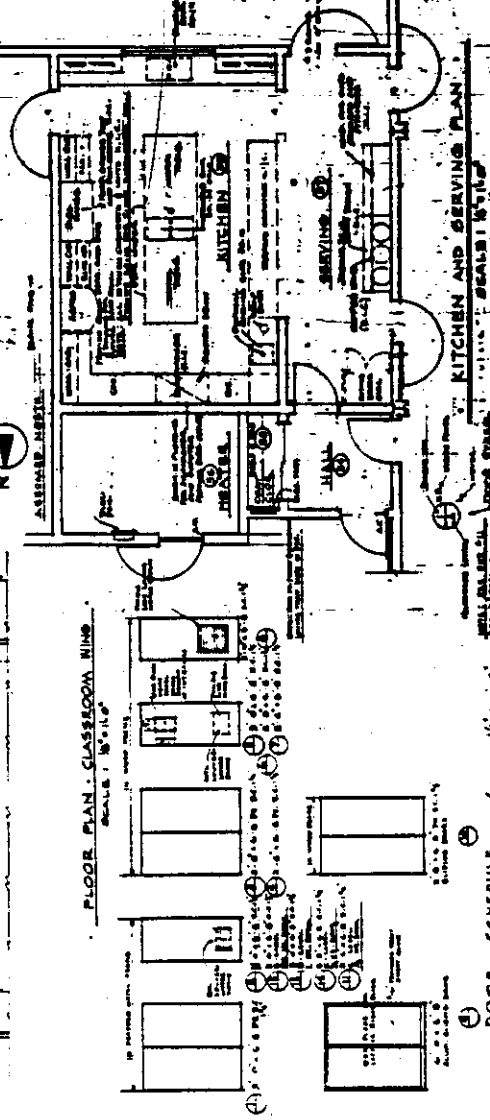
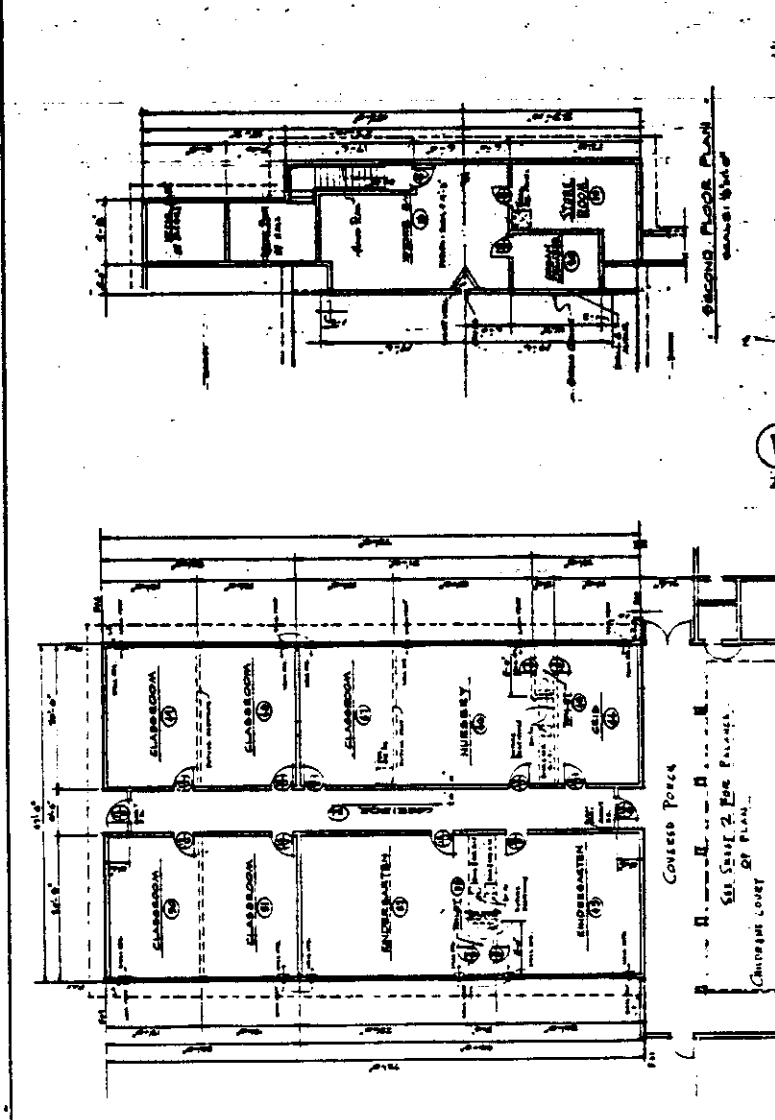
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# EXHIBIT C

## Existing Floor Plan



NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	PLASTER	100	SQ. YD.	
2	CEILING	100	SQ. YD.	
3	WALLS	100	SQ. YD.	
4	FLOOR	100	SQ. YD.	
5	DOORS	10	EA.	
6	WINDOWS	10	EA.	
7	STAIRS	1	EA.	
8	ROOF	100	SQ. YD.	
9	MECHANICAL	100	SQ. YD.	
10	ELECTRICAL	100	SQ. YD.	
11	PAINT	100	SQ. YD.	
12	GLASS	100	SQ. YD.	
13	IRONWORK	100	SQ. YD.	
14	BRICK	100	SQ. YD.	
15	CONCRETE	100	SQ. YD.	
16	CEMENT	100	SQ. YD.	
17	SAND	100	SQ. YD.	
18	GRAVEL	100	SQ. YD.	
19	ASPHALT	100	SQ. YD.	
20	WOOD	100	SQ. YD.	
21	ROOFING	100	SQ. YD.	
22	MECHANICAL	100	SQ. YD.	
23	ELECTRICAL	100	SQ. YD.	
24	PAINT	100	SQ. YD.	
25	GLASS	100	SQ. YD.	
26	IRONWORK	100	SQ. YD.	
27	BRICK	100	SQ. YD.	
28	CONCRETE	100	SQ. YD.	
29	CEMENT	100	SQ. YD.	
30	SAND	100	SQ. YD.	
31	GRAVEL	100	SQ. YD.	
32	ASPHALT	100	SQ. YD.	
33	WOOD	100	SQ. YD.	
34	ROOFING	100	SQ. YD.	
35	MECHANICAL	100	SQ. YD.	
36	ELECTRICAL	100	SQ. YD.	
37	PAINT	100	SQ. YD.	
38	GLASS	100	SQ. YD.	
39	IRONWORK	100	SQ. YD.	
40	BRICK	100	SQ. YD.	
41	CONCRETE	100	SQ. YD.	
42	CEMENT	100	SQ. YD.	
43	SAND	100	SQ. YD.	
44	GRAVEL	100	SQ. YD.	
45	ASPHALT	100	SQ. YD.	
46	WOOD	100	SQ. YD.	
47	ROOFING	100	SQ. YD.	
48	MECHANICAL	100	SQ. YD.	
49	ELECTRICAL	100	SQ. YD.	
50	PAINT	100	SQ. YD.	



NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	PLASTER	100	SQ. YD.	
2	CEILING	100	SQ. YD.	
3	WALLS	100	SQ. YD.	
4	FLOOR	100	SQ. YD.	
5	DOORS	10	EA.	
6	WINDOWS	10	EA.	
7	STAIRS	1	EA.	
8	ROOF	100	SQ. YD.	
9	MECHANICAL	100	SQ. YD.	
10	ELECTRICAL	100	SQ. YD.	
11	PAINT	100	SQ. YD.	
12	GLASS	100	SQ. YD.	
13	IRONWORK	100	SQ. YD.	
14	BRICK	100	SQ. YD.	
15	CONCRETE	100	SQ. YD.	
16	CEMENT	100	SQ. YD.	
17	SAND	100	SQ. YD.	
18	GRAVEL	100	SQ. YD.	
19	ASPHALT	100	SQ. YD.	
20	WOOD	100	SQ. YD.	
21	ROOFING	100	SQ. YD.	
22	MECHANICAL	100	SQ. YD.	
23	ELECTRICAL	100	SQ. YD.	
24	PAINT	100	SQ. YD.	
25	GLASS	100	SQ. YD.	
26	IRONWORK	100	SQ. YD.	
27	BRICK	100	SQ. YD.	
28	CONCRETE	100	SQ. YD.	
29	CEMENT	100	SQ. YD.	
30	SAND	100	SQ. YD.	
31	GRAVEL	100	SQ. YD.	
32	ASPHALT	100	SQ. YD.	
33	WOOD	100	SQ. YD.	
34	ROOFING	100	SQ. YD.	
35	MECHANICAL	100	SQ. YD.	
36	ELECTRICAL	100	SQ. YD.	
37	PAINT	100	SQ. YD.	
38	GLASS	100	SQ. YD.	
39	IRONWORK	100	SQ. YD.	
40	BRICK	100	SQ. YD.	
41	CONCRETE	100	SQ. YD.	
42	CEMENT	100	SQ. YD.	
43	SAND	100	SQ. YD.	
44	GRAVEL	100	SQ. YD.	
45	ASPHALT	100	SQ. YD.	
46	WOOD	100	SQ. YD.	
47	ROOFING	100	SQ. YD.	
48	MECHANICAL	100	SQ. YD.	
49	ELECTRICAL	100	SQ. YD.	
50	PAINT	100	SQ. YD.	

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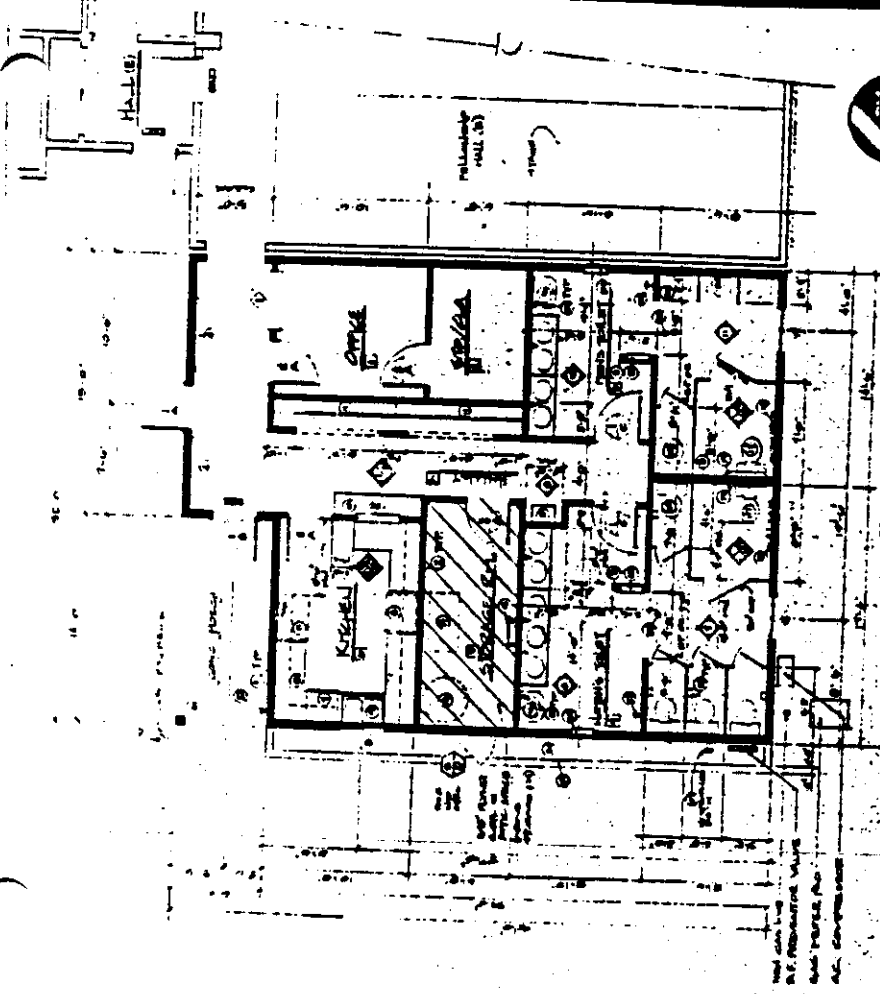
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EXHIBIT D

Proposed Floor Plan

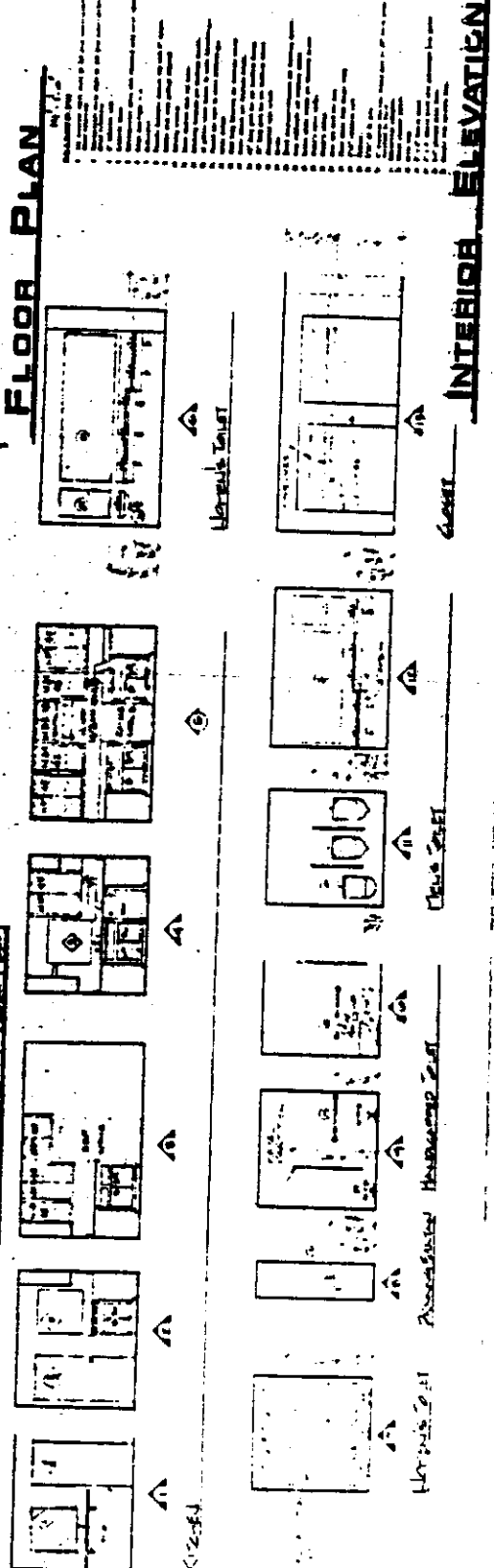


<p>David Kelly Civil Engineer 4800 Bay Boulevard, S.E. Washington, D.C. No. 19278</p>	<p>St. Lukes Episcopal Church 1000 14th St. N.W. Washington, D.C.</p>	<p>DATE: 7/9/87 BY: [Signature] PROJECT: [Signature]</p>	<p><b>A 2</b> SHEET NO.</p>
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FLOOR PLAN

INTERIOR ELEVATIONS



**Room Finish Schedule**

Room	Finish	Notes
Living Room	Wallpaper	
Dining Room	Wallpaper	
Kitchen	Wallpaper	
Bath	Wallpaper	
Hall	Wallpaper	
Stair	Wallpaper	

**Door Schedule**

Room	Door Type	Notes
Living Room	6'0" x 2'0" Solid Core	
Dining Room	6'0" x 2'0" Solid Core	
Kitchen	6'0" x 2'0" Solid Core	
Bath	6'0" x 2'0" Solid Core	
Hall	6'0" x 2'0" Solid Core	
Stair	6'0" x 2'0" Solid Core	

**Hardware Schedule**

Room	Hardware	Notes
Living Room	Doorknob	
Dining Room	Doorknob	
Kitchen	Doorknob	
Bath	Doorknob	
Hall	Doorknob	
Stair	Doorknob	

**Window Schedule**

Room	Window Type	Notes
Living Room	6'0" x 4'0" Double Hung	
Dining Room	6'0" x 4'0" Double Hung	
Kitchen	6'0" x 4'0" Double Hung	
Bath	6'0" x 4'0" Double Hung	
Hall	6'0" x 4'0" Double Hung	
Stair	6'0" x 4'0" Double Hung	

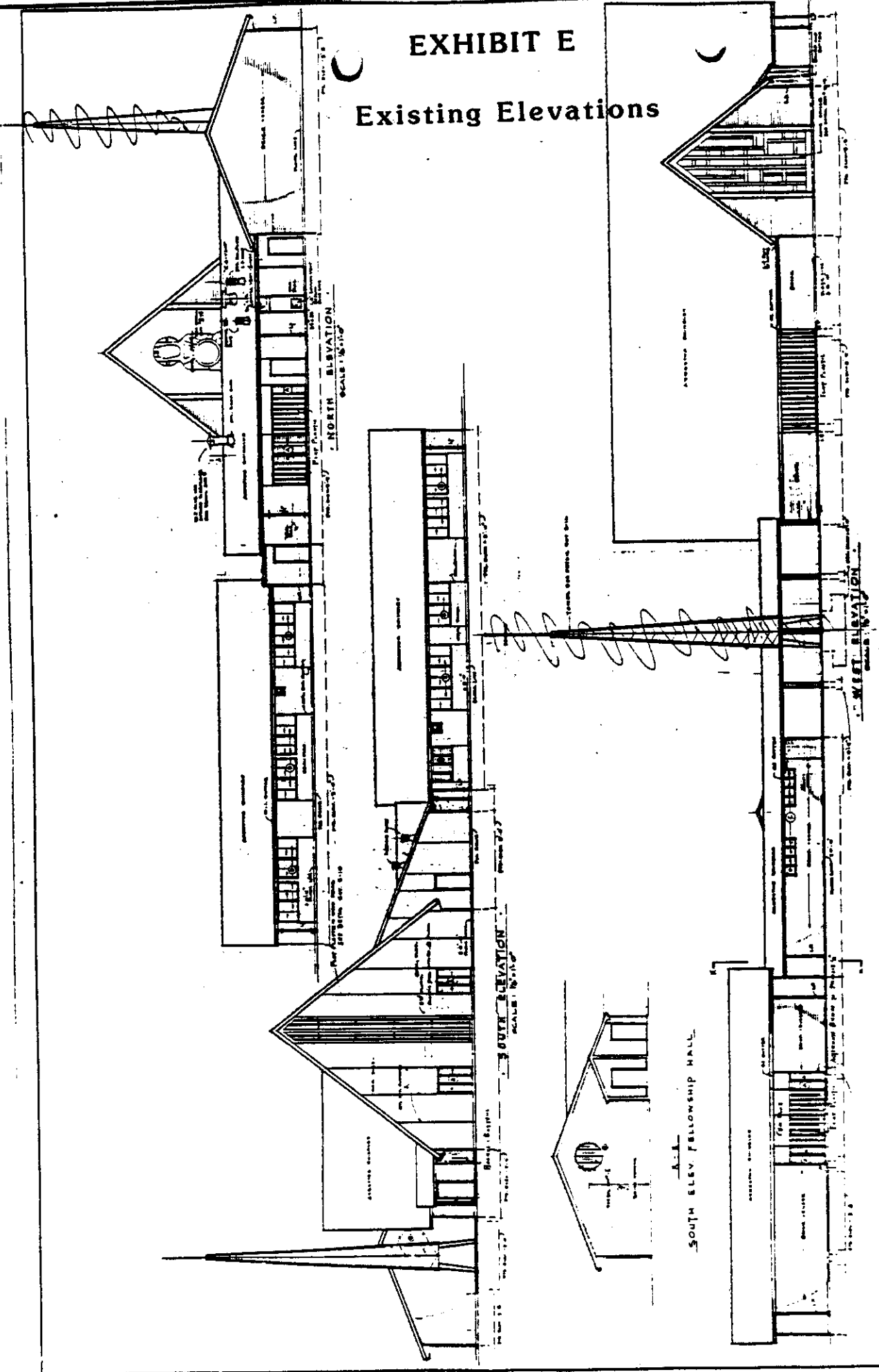
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# EXHIBIT E

## Existing Elevations



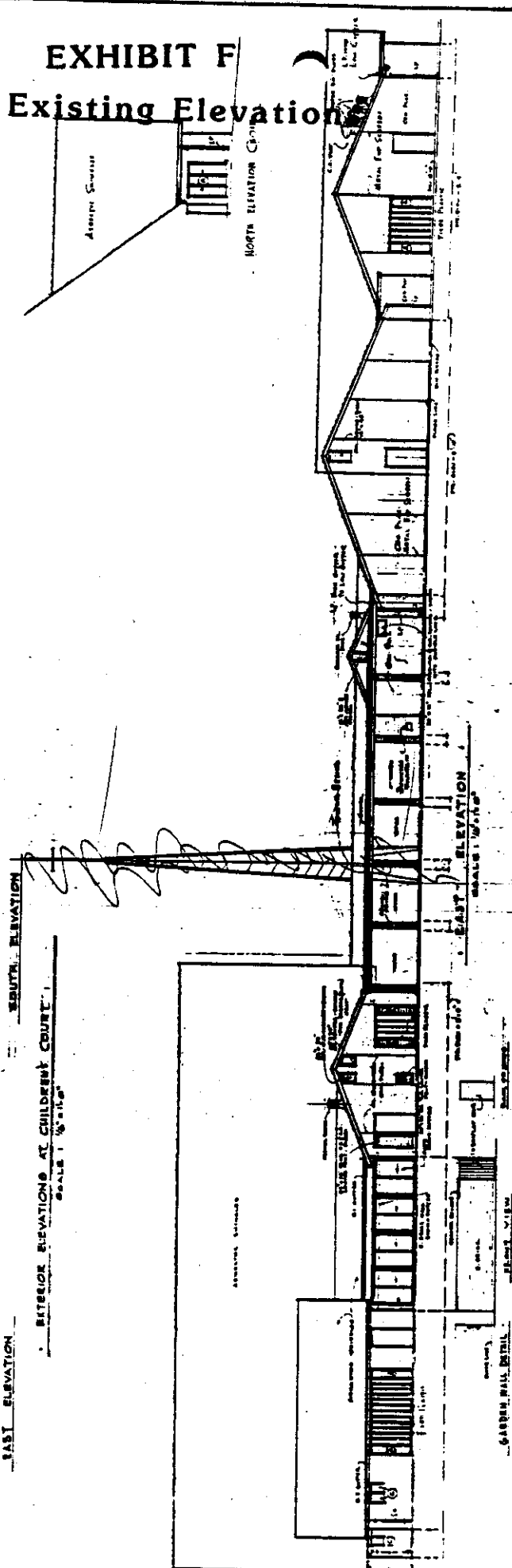
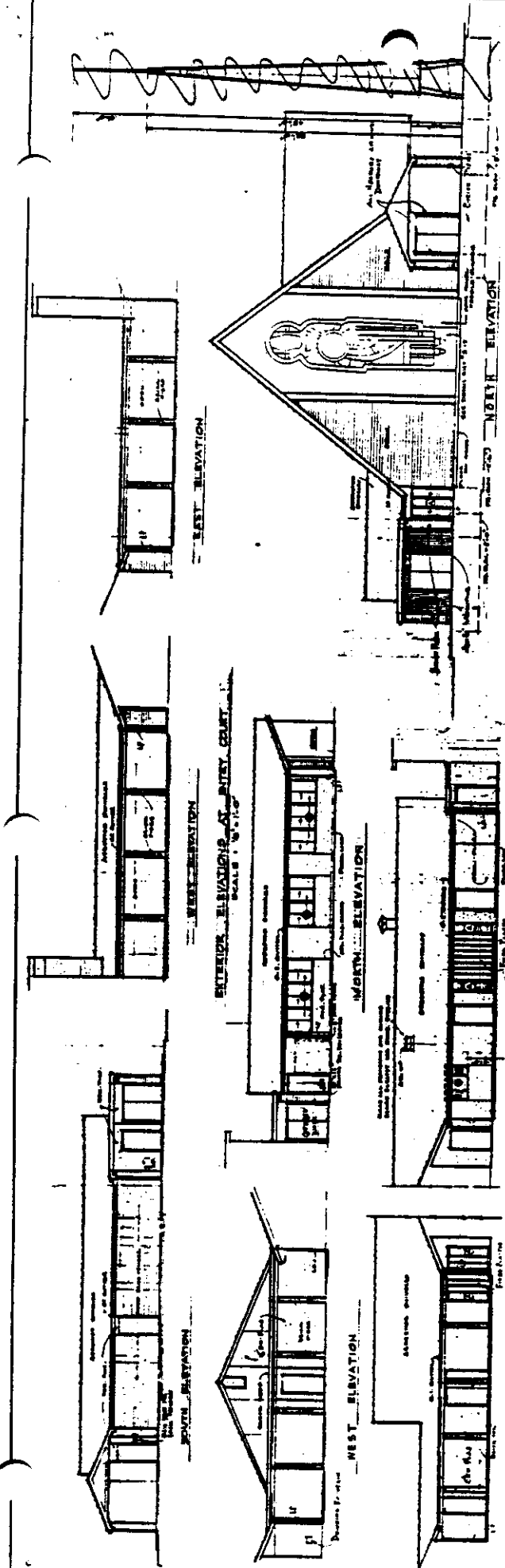
S A T T E R L E E & T O M I C H A R C H I T E C T S <small>1000 MARKET STREET SAN FRANCISCO, CALIFORNIA</small>	I V A N C. B A I N B R I D G E A. I. A. N I C H O L A S A. T O M I C H A. I. A. <small>1000 MARKET STREET SAN FRANCISCO, CALIFORNIA</small>	S A I N T A M E R I C A N L U T H E R A N C H U R C H S A C R A M E N T O C A L I F O R N I A	P R O J E C T N O . 5 1 1 S I T E P L A N S E C T I O N S E E P L A N
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# EXHIBIT F Existing Elevation



S A T T E R L E E & T O M I C H A R C H I T E C T S		PROJECT No. 071	
Ivan C. Sattelle A.I.A. MICHAEL A. TOMICH A.I.A. SACRAMENTO CALIFORNIA		DATE UNIT 5-10-87	
CONTRACTOR		SAINT LUKES LUTHERAN CHURCH SACRAMENTO CALIFORNIA	
GARDNER BROS. DETAIL		5	

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