

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNERS

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed Improvement (yes or no) YES
2. I (have/have not) have signed an application for A building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name _____ Address _____

City _____ Telephone _____

Contractors License No _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, Supervise, and provide the major work.


Name _____ Address _____

City _____ Telephone _____

Contractors License No _____

5. I will provide some of the work but I have contracted (hired) the following to provide the Work indicated:

Name	Address	Phone	Type of work

X Signed 

X Job Address 4490 MONTKIL WAY. X Date 5-25-00

Permit No: 0004156R

NOTE: DO NOT COVER OR CONCEAL ANY BUILDING, ELECTRICAL, PLUMBING OR MECHANICAL WORK WITHOUT INSPECTOR'S SIGNATURE IN PROPER PLACE.

INSPECTION	INSPECTOR	DATE
B10 FOUNDATION FORMS	<i>[Signature]</i>	5/27/00
E60/B11 UFER GROUND	<i>[Signature]</i>	5/27/00
B12 CONCRETE SLAB FORMS	<i>[Signature]</i>	5/27/00
P40 PLUMB UNDERFLOOR/SLAB	<i>[Signature]</i>	5/27/00
M30 MECH/UNDERFLOOR/SLAB	<i>[Signature]</i>	5/27/00
E61 ELECT. UNDERGROUND	<i>[Signature]</i>	
E62 ELECT. CONDUIT-SLAB	<i>[Signature]</i>	
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B13 FLOOR JOISTS OR GIRDERS	<i>[Signature]</i>	
DO NOT INSTALL SUB FLOOR UNTIL ABOVE HAS BEEN SIGNED		
B14/15 INSULATION/WALL/FLOOR	<i>[Signature]</i>	
P41 TOP PLUMBING	<i>[Signature]</i>	
M31 TOP MECHANICAL/WALL/CEIL.	<i>[Signature]</i>	
E63 ROUGH ELECTRICAL/WALL/CEIL.	<i>[Signature]</i>	
B19 FRAME	<i>[Signature]</i>	
B17 ROOF PLYWOOD/NAIL COMM. & APTS.	<i>[Signature]</i>	6-11-00
B18 EXTERIOR LATH/SIDING	<i>[Signature]</i>	8-1-00
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
B22 INT. LATH OR WALL BD. NAILING	<i>[Signature]</i>	
DO NOT TAPE PLASTER OR TOP UNTIL ABOVE HAS BEEN SIGNED		
E66 SERVICE UNDERGRD CONDUIT	<i>[Signature]</i>	
P43 SEWER SERVICE	<i>[Signature]</i>	
P42 WATER SERVICE	<i>[Signature]</i>	
P46 SPRINKLER SYSTEM	<i>[Signature]</i>	
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		
P42/M33 GAS TEST	<i>[Signature]</i>	
P48 TEMP GAS	<i>[Signature]</i>	
E68 POWER POLE	<i>[Signature]</i>	
E67 TEMP. POWER #	<i>[Signature]</i>	
SWIMMING POOLS ONLY		
P47 GAS TEST	<i>[Signature]</i>	
P51 PLUMBING PRE-GUNITE	<i>[Signature]</i>	
P52 PLUMBING PRE-DECK	<i>[Signature]</i>	
E70 ELECTRICAL PRE-GUNITE	<i>[Signature]</i>	
E71 ELECTRICAL PRE-DECK	<i>[Signature]</i>	
E72 ELECTRICAL UNDERGRD	<i>[Signature]</i>	
DO NOT COVER UNTIL INSTALLATION ABOVE HAS BEEN SIGNED		

FINAL APPROVALS

B29 BUILDING	<i>[Signature]</i>
E79 ELECTRICAL	<i>[Signature]</i>
P59 PLUMBING	<i>[Signature]</i>
M39 MECHANICAL	<i>[Signature]</i>
E94 FIRE	<i>[Signature]</i>
S92 SITE	<i>[Signature]</i>

DO NOT OCCUPY BUILDING UNTIL ALL OF THE ABOVE HAVE BEEN SIGNED AND CERTIFICATE OF OCCUPANCY ISSUED
THIS CARD TO BE POSTED ON JOB AT ALL

BUILDING SITE ADDRESS: 4490 MONTREIL SUITE 4490 MONTREIL 4490 MONTREIL WY

ASSESSOR PARCEL NO. 119-0216-013 ADDRESS: 4490 MONTREIL WY

PROPERTY OWNER: ARS HAD 4490 MONTREIL WY

ARCH. ENGR. [Signature]

NO. OF STORIES	NO. OF ROOMS	ROOF COVERING	AREA 1ST FLOOR	TOTAL AREA	GARAGE AREA	PATIO AREA	USE ZONE	STREET WIDTH

THIS PERMIT IS FOR: BUILDING MECHANICAL PLUMBING ELECTRICAL SITE FIRE

NATURE OF WORK IN DETAIL: 415 5017 100120

FLOOD STATUS: () SPECIAL CONDITIONS ATTACHMENTS:

CITY OF SACRAMENTO INSPECTIONS DIVISION 264-5191

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____

Policy Number: _____

This section need not be completed if the permit is for one hundred dollars (one hundred dollars) worth of work for which this permit is issued. I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code. I shall hereby comply with those provisions.

Date: 4-13-00 Applicant: [Signature]

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE. INTEREST AND ATTORNEY'S FEES.

VALUATION	ISSUED BY	DATE ISSUED	BUILDING PERMIT FEE	PLAN CHECK/PROC. FEE	S.M.I. FEE	CONST. EXCISE TAX	CITY BUS LICENSE	TECH. FEE	WATER DEV. FEE	CITY SEWER DEV. FEE	REG. FEE	SEWER FEE	RESIDENTIAL CONST. TAX	TOTAL FEES
\$ 29,161.50	7/3	5/25/00	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$

NEIGHBORHOODS, PLANNING AND DEVELOPMENT SERVICES

24 2001

Date of Request: 04-19-00
By: DJ

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 4400 Monticil Way

Assessor's Parcel Number: 031-0316-013

Previous Use: Existing use SF

Description of Request/Proposed Use: add on to rear of house for additional living area.

Is This a Change of Use? NO

Prior Applications for Project Site(P#, Z#, DRPB#): none Zoning Designation: (R1)

Comments: Rear yard substitution of 1/2 acre. Setbacks and lot coverage OK. (Lot coverage based on MetroScan info plus the addition, 490sq)

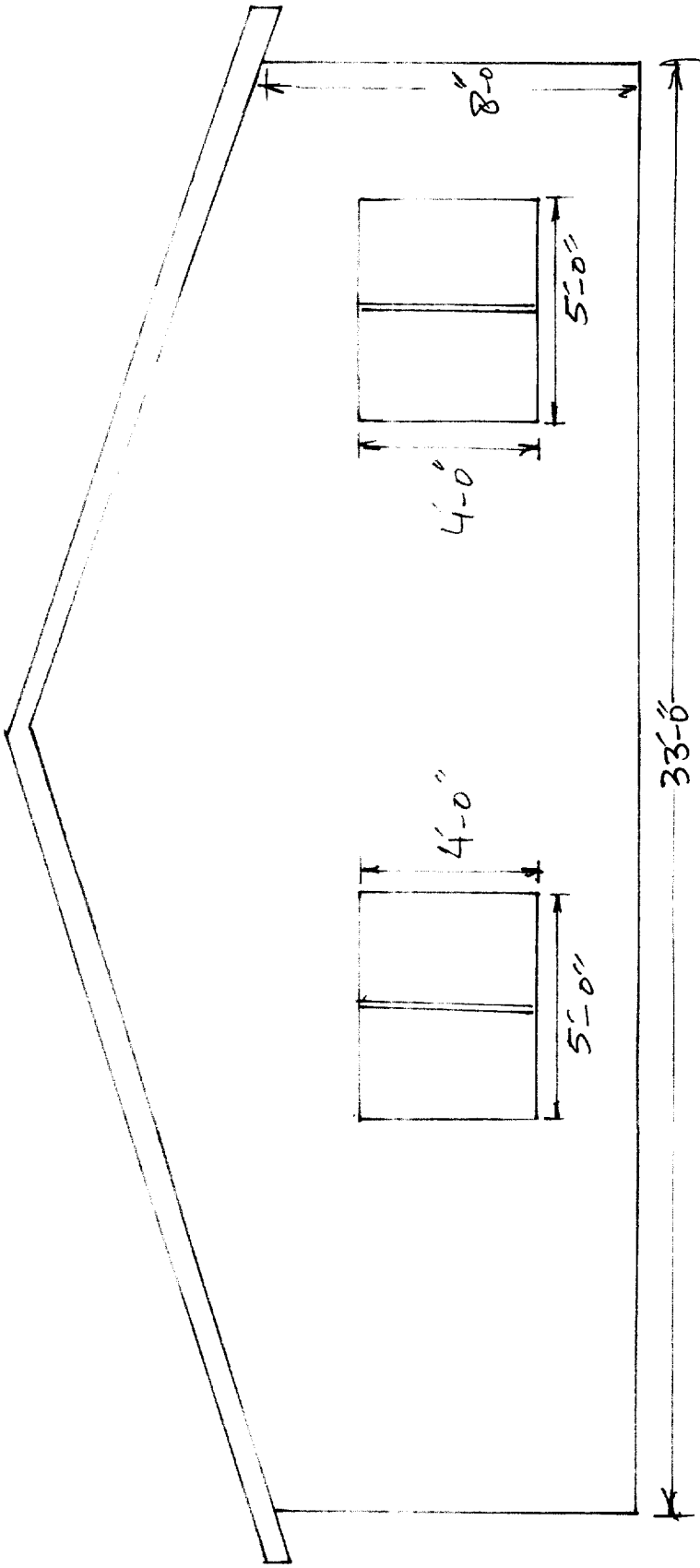
Are There Any Planning Issues?: (circle one) YES (NO)

- * Staff Site Plan Check Required? (Circle one) (YES) NO
- * Field Inspection Required? (Circle one) (YES) NO
- * Design Review/Preservation Required? (Circle one) YES (NO)

Planning Review by/Date: M. May 4-19-00

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

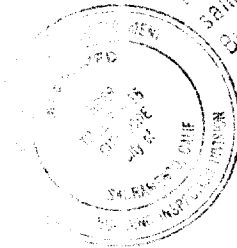
MICROFILM AFTER FINAL



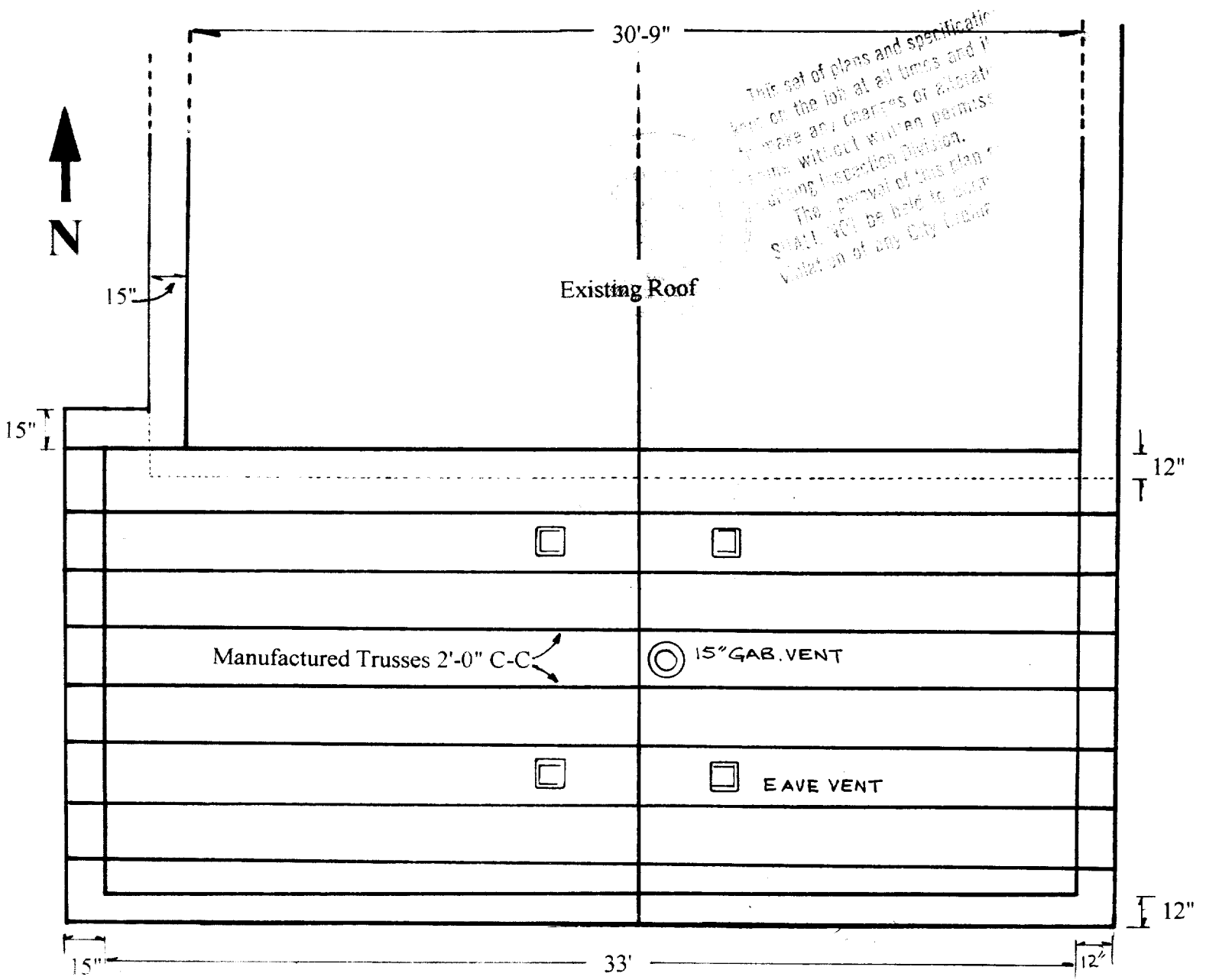
BACK ELEV.

PLAN SHEET NOS.
 4490 MONTRIL WAY
 SACRAMENTO
 S-225-00

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
 The approval of this plan and specification SHALL NOT be held to prevent the violation of any City Ordinance.

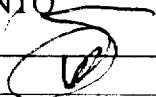


Sheet 5



ROOF FRAMING PLAN

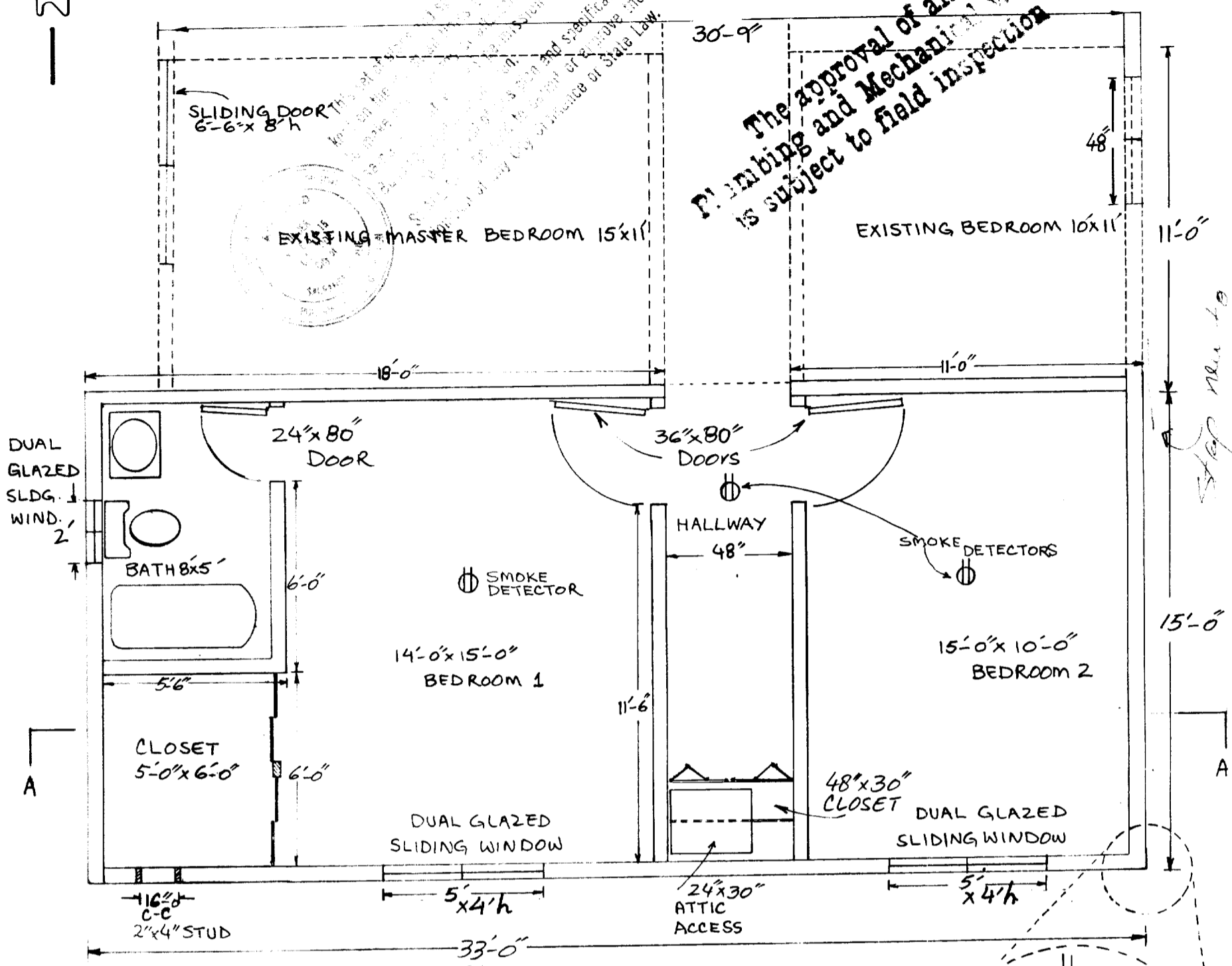
Plan Sheet No-3

4490 MONTRIL WAY SACRAMENTO	Property Owner: Mohammad Arshad	SCALE: 1:50
#747-4	916-392 4924	(1 inch=5 foot)
Drawn By: 	Checked By:	April 24, 2000

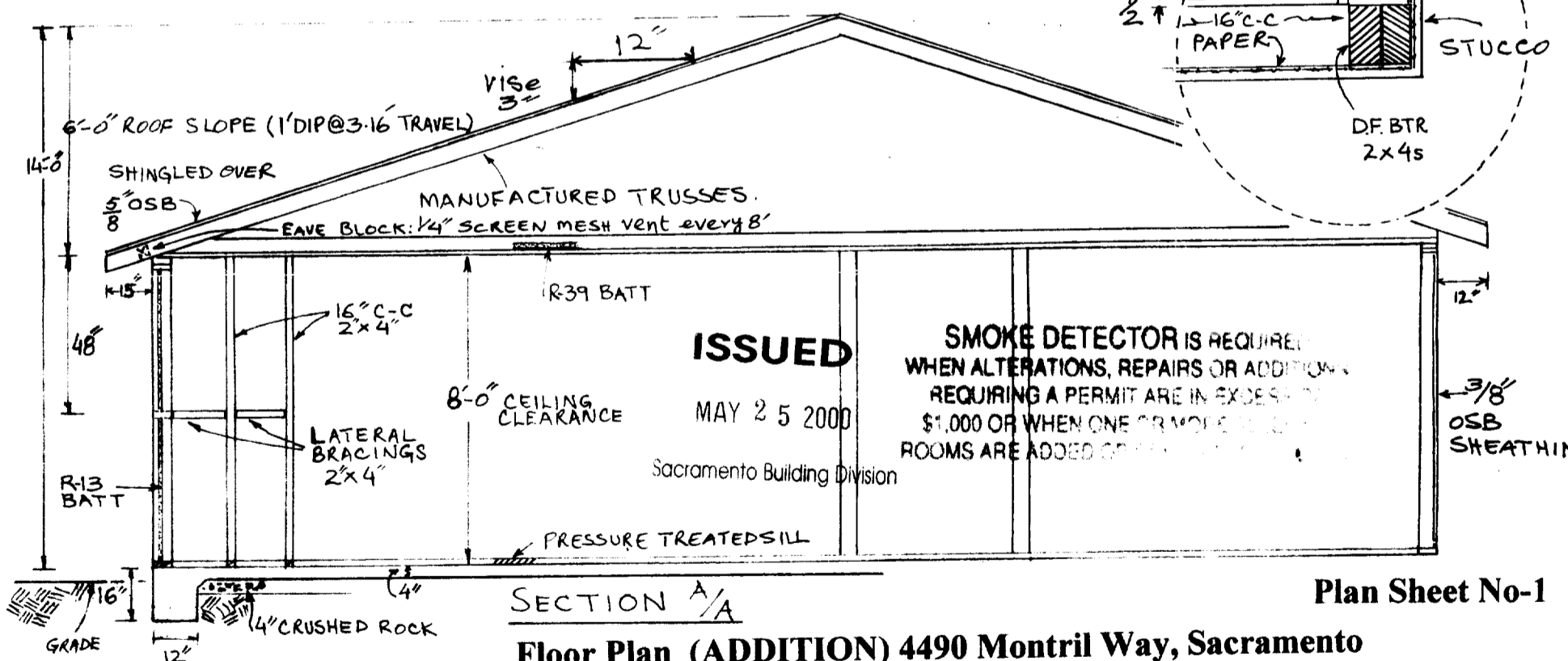
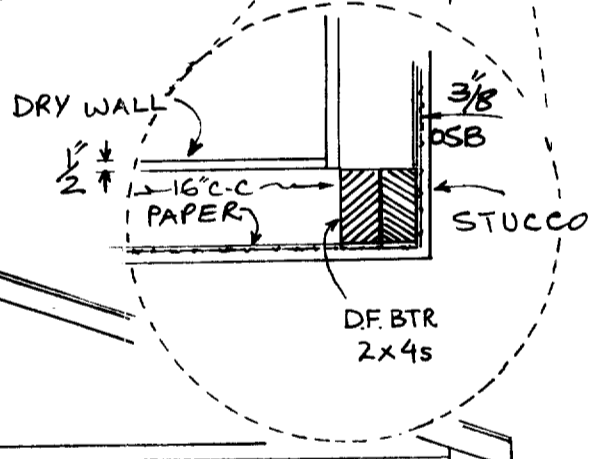


This plan is subject to the provisions of the Building Code of the City of Sacramento, California, and shall be subject to the approval of the Building Department of the City of Sacramento, California.

The approval of all Plumbing and Mechanical work is subject to field inspection.



FLOOR PLAN PERSONAL SAFETY BUILDING CODE SEE ATTACHED INSTRUCTIONS



SECTION A/A Plan Sheet No-1 Floor Plan (ADDITION) 4490 Montril Way, Sacramento

ee: all headers are 2"x4"
 ff: addition will be heated using existing furnace.

Living Area: 495 sq.ft	Bedroom: 2	Bath: 1
Exterior Wall Framing: Doug. Fir./Btr 2"x4"	Interior Wall Framing: Doug. Fir Btr 2"x4"	Exterior: Stucco/Paper & Wire Interior: 1/2" Dry Wall
Property Owner: Mohammad Arshad 916-392 4924	Roof: 5/8" OSB Sheathing covered by paper & Shingles	Scale: 1 inch=4 foot
Drawn By: [Signature]	Checked By: [Signature]	May 09, 2000

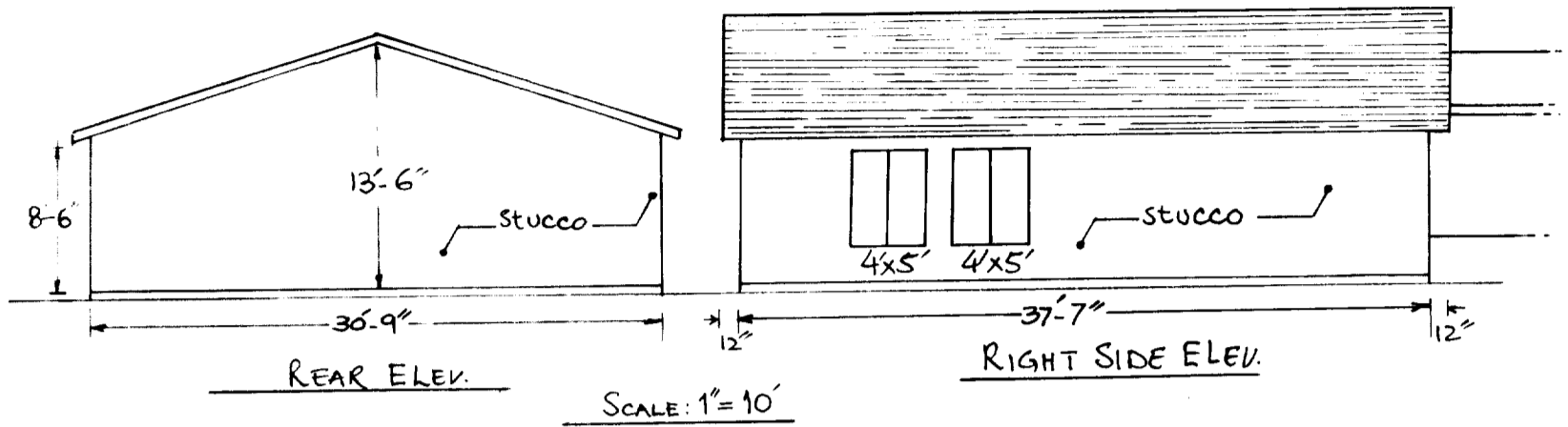
hh: Gable vent is provided in roof & shown in Plan Sheet No.3

cc: Roofing material = 5/8 OSB Covered by Shingle.

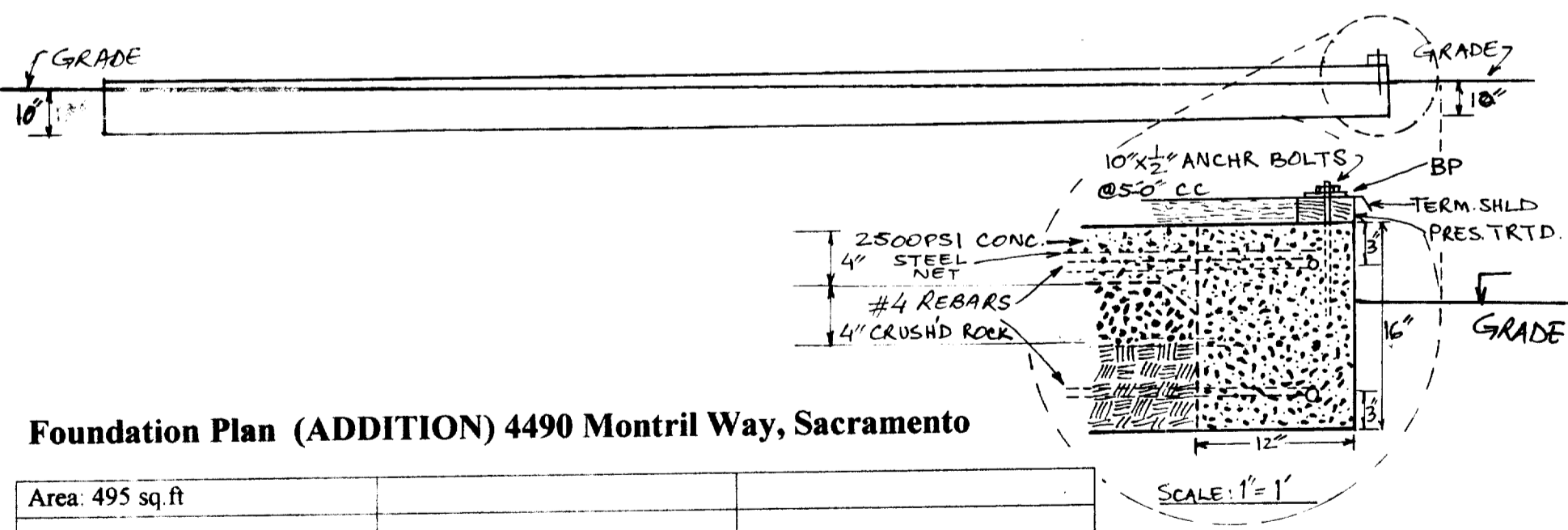
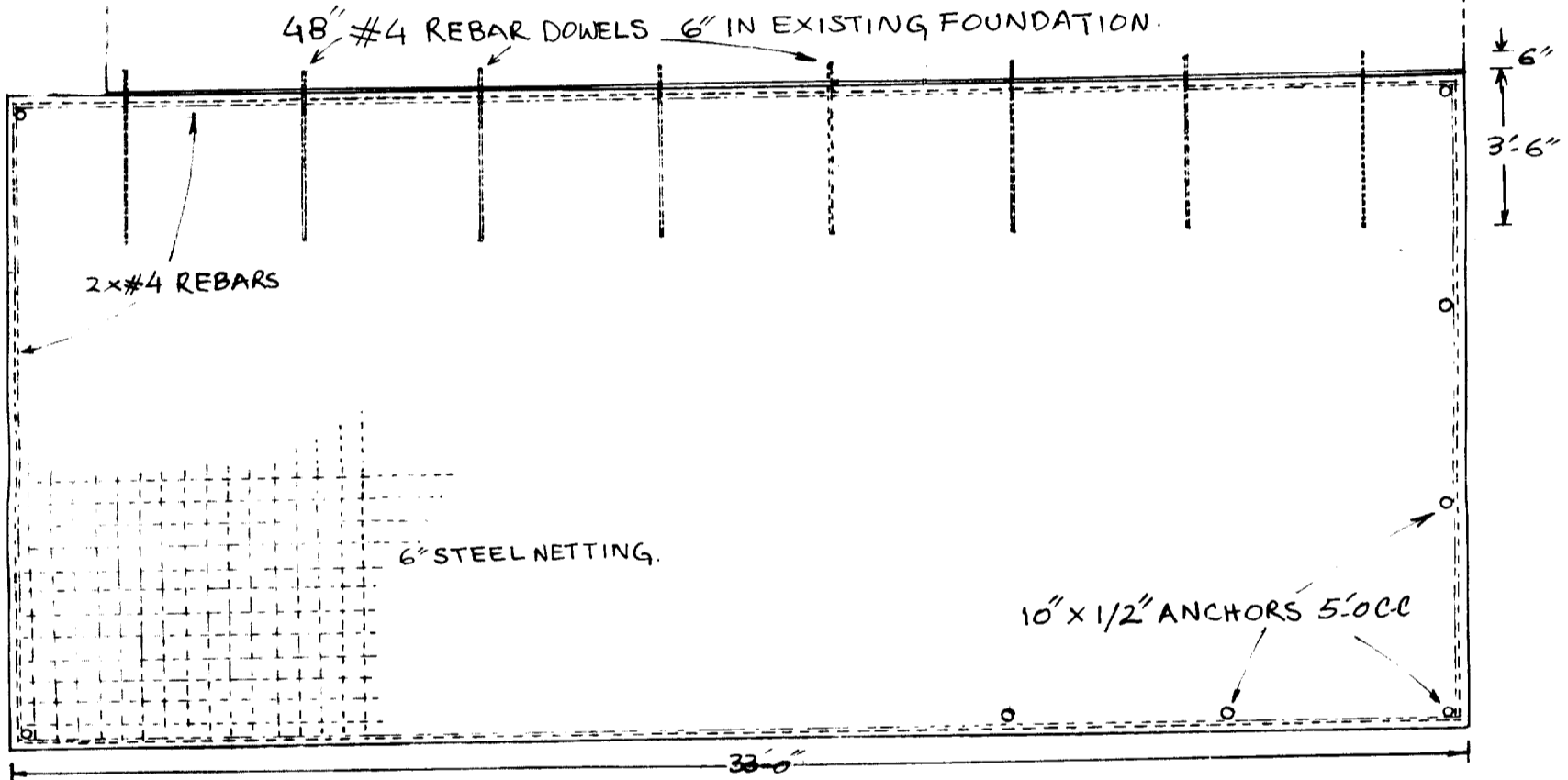
z: Metal strap PS418 to be used to connect top plates.

Reviewed by Matt P. 5/25/00
 S sheets

7 in. calcs req'd for frame inspection



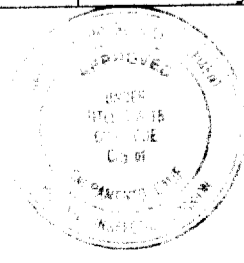
EXISTING HOUSE



Foundation Plan (ADDITION) 4490 Monril Way, Sacramento

Area: 495 sq. ft		
Property Owner: Mohammad Arshad 916-392 4924		Scale: 1 inch=4 foot (unless specified)
Drawn By: <i>[Signature]</i>	Checked By: <i>[Signature]</i>	May 09, 2000.

Plan Sheet No-2



This set of plans and specifications must be held in strict confidence and it is unlawful to make any drawings or specifications from the same without written permission from the originating profession.
The approval of this plan and specification shall not be held to constitute the violation of any City Ordinance or State Law.

MONTRIL WAY

Street Center Line



13'

7'

Side Walk

PROPERTY LINE

27'3"

Fence

20'5"

17'2"

10'

House @
4480
Montril

20'5"

25'2"

Side Walk

ORENZA

7'

13'

To Street
Center Line

43'

RESIDENCE

Rear yard
Substitution
Area

15'5"

SITE PLAN APPROVED - PLANNING DIVISION

DATE: 4-19-00 BY: *M. May*

The approval SHALL NOT be held to permit or approve the violation of any State law, City Ordinance, or private agreement, and assumes that property lines and other information submitted by the applicant are accurate and complete.

109'9"
10

18'4"

30'7"

ADDITION

15'

33'

82'

5'7"

5'7"

House @ 7944 Orenza

6'4"

Plan Sheet No-4

Plot Plan: 4490 MONTRIL WAY SACRAMENTO	Property Owner: Mohammad Arshad 916-392 4924	SCALE: 1:120 (1/10 inch=1 foot) (1"=10')
Drawn By: <i>[Signature]</i>	Checked By: <i>[Signature]</i>	April 17, 2000