

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT The Spink Corporation, 2590 Venture Oaks Way, Sacramento, CA 95833
OWNER Southland Racquet & Swim Club, 6000 South Land Park Drive, Sacramento, CA
MWM & Assoc., 2333 Harrison Street, Oakland, CA 94612
PLANS BY The Spink Corporation, 2590 Venture Oaks Way, Sacramento, CA 95833
FILING DATE 8-21-87 ENVIR. DET. Neg. Dec. 9-14-87 REPORT BY JR-sc
ASSESSOR'S-PCL. NO. 024-430-008.011

APPLICATION: A. Negative Declaration

- B. Special Permit to develop a 117 unit apartment complex for senior citizens in the Limited Commercial (C-1) Zone.
- C. Variance to reduce the required parking from 184 spaces to 90 spaces.
- D. Lot Line Adjustment to merge two lots.

LOCATION: 6000 South Land Park Drive

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 117 unit apartment complex for senior citizens (Retirement Inns of America) on 4.04+ acres.

PROJECT INFORMATION:

1974 General Plan Designation: Multi-Family/Commercial
1979 Pocket Community Plan Designation: Multi-Family Residential
Existing Zoning of Site: C-1
Existing Land Use of Site: Southland Racquet and Swim Club

Surrounding Land Use and Zoning:	Setbacks:	Provided
North: Shopping Center; C-1	Front	25 feet
South: Multiple Family; R-3	Side(Int):	8 feet
East: Single Family; R-2		
West: Multiple Family; R-3, R-1A	Rear:	37 feet

Parking Required: 184 spaces
Parking Provided: 90 spaces
Property Dimensions: Irregular
Property Area: 4.04+ acres
Density of Development: 29 d.u. per acre
Square Footage of Units: Studio (10) 440 sq. ft.
1 Bedroom (77) 601 sq. ft.
2 Bedroom (30) 795 - 1015 sq. ft.
Height of Building: 35 feet (1 to 3 stories)
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Cement plaster, wood trim, aluminum windows
Roof Material: Clay or concrete tile
Exterior Building Colors: Earth tones

APPLC. NO. P87-371 MEETING DATE September 24, 1987 ITEM NO 19

PROJECT EVALUATION: Staff has the following comments regarding this proposal:

A. Land Use and Zoning

The subject site consists of two lots totaling 4.04+ acres in the Limited Commercial (C-1) Zone. The site is developed with the South Land Racquet and Swim Club. Surrounding land uses are a shopping center zoned C-1 to the north, apartments to the south zoned R-3, apartments and single family residential zoned R-3 and R-2 to the east and apartments and a condominium development zoned R-3 and R-1A to the west. The site is designated for Multi-Family Residential uses by the 1979 Pocket Community Plan. The site is also located in the Executive Airport EA-4 overlay zone. The applicant proposes to merge the two lots and construct a 117 unit apartment complex on the subject site. The project, known as Retirement Inns of America, is proposed to provide independent living for senior citizens. Studio, one bedroom and two bedroom units ranging in size from 465 to 1148 square feet are proposed. Each unit would have its own kitchen facilities with group dining facilities offered to residents if desired. Recreational amenities proposed include a swimming pool, community garden, fitness walk, exercise room, central court for outdoor activities and a multipurpose room. Each unit will also have a private balcony or patio.

Planning staff finds that the proposed senior citizen apartment project is an appropriate land use for the subject site. The project meets many of the locational requirements proposed by the Planning Division in its draft Senior Citizen Housing Design Criteria (Exhibit L). The site is located on a bus line and adjacent to a neighborhood shopping center. Two parks, Belle Coledge Community Center to the north and Reichmuth Park to the south, are within walking distance of the apartment site. A dentist office is located south of the site and medical offices are located two miles away on Florin Road. A multiple family development is permitted in the C-1 zone at a maximum density of 29 units per acre with special permit approval. The 117 unit complex is at this maximum density. As noted above, the site is also located in the EA-4 overlay zone. Multiple Family uses are allowed by right in the zone.

B. Site Plan and Building Design

The applicant has designed the apartment complex so that the communal facilities are at the center of the project. Building heights range in size from one story to three stories with a two story structure along the South Land Park Drive frontage and one story structures in the center of the site. Overall, adequate building and landscaped setbacks have been provided; however, along a portion of the south property line an eight foot setback is proposed for one of the three story buildings. To insure greater privacy for both the residents of the existing apartment complex to the south and those of the future senior apartment complex, Planning staff recommends that this building setback be increased to 13 feet by moving the eastern three story building five feet to the north and reducing the height of the building to two stories at the end of the structure. (Exhibit C)

A six foot high screen fence is indicated along the north, south and west property lines. Staff recommends that the proposed fence be a solid barrier with the fence design and materials subject to Planning Director's review and approval. Fencing is not indicated behind the 25 foot landscaped setback along South Land Park Drive. If

fencing is proposed along the South Land Park Drive frontage, Planning staff recommends that it also be subject to Planning Director's review and approval.

Trash enclosure facilities are not indicated on the site plan as the applicant proposes to provide maid service for residents and locate the trash dumpsters in the service dock and enclosure area. This enclosure area will be required to meet Zoning Ordinance requirements for trash enclosures.

Proposed building materials for the apartment complex are, stucco with wood trim, including wood lattice work, aluminum windows, and a clay or concrete tile roof. Proposed building colors are earth tones. Planning staff finds the proposed building elevations be attractive and compatible with surrounding residential and commercial uses. For the interior of the individual dwelling units, Planning staff recommends that the applicant refer to the attached Senior Citizen Housing Design Criteria. (Exhibit L)

Signage has not been indicated on the submitted plans. Staff recommends that sign program for the project be submitted for Planning Director's review and approval prior to issuance of sign permits.

C. Parking and Circulation

The required parking for a 117 unit apartment complex is 184 spaces (176 tenant spaces and 8 guest spaces). The applicant proposes to provide 90 parking spaces on-site and is requesting a variance to reduce the required parking for the proposed senior complex. The variance is requested as many seniors do not own or drive a car. The proposed parking ratio is 0.76 spaces per unit. The applicant has provided information regarding parking ratios at other Retirement Inn facilities in California. (Exhibit K)

Planning staff has no objections to this request. As previously noted, the subject site is located on a major bus line, adjacent to a neighborhood shopping center and within walking distance of a park and community center. To assist in the transportation of residents the apartment complex will also have a shuttle bus. Proposed senior apartment projects with similar parking ratios in the City have requested and received parking variance. Staff, therefore, recommends approval of the variance with conditions.

The submitted site plan indicates 13 covered parking spaces. Planning staff recommends that a minimum of 45 parking spaces be covered for the convenience of apartment residents.

The proposed circulation pattern has been reviewed by the City Fire Department. They recommended that the turn-around indicated on the site plan be able to accommodate an emergency vehicle with a 40 foot inside and 56 foot outside turning radii.

D. Lot Line Adjustment

The applicant is requesting a lot line adjustment to merge the existing two lots into one in order to construct the 117 unit apartment complex. The proposed merger has been reviewed by the City Engineering, Traffic Engineering, Water and Sewer, Real Estate and Planning Divisions. There were no objections to the proposed merger.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant impact on the environment and has filed a Negative Declaration.

RECOMMENDATION: Staff recommends that the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Special Permit request, subject to conditions and based upon findings of fact which follow.
- C. Approve the Variance request, subject to conditions, and based upon findings of fact which follow.
- D. Approve the Lot Line Adjustment by adopting the attached resolution.

Conditions - Special Permit

1. Revised plans indicating the relocation of one three story structure five feet to the north and the relocation of the end unit on the third story of the structure shall be submitted for Planning Director's review and approval prior to issuance of building permits. (See Exhibit C)
2. Revised landscape, shading and irrigation plans shall be submitted for Planning Director's review and approval prior to issuance of building permits. The applicant shall utilize evergreen trees along the north, south and west property lines, where possible, for screening purposes, excluding the area south and west of the community garden.
3. Proposed building colors and a sample of the proposed roofing material shall be submitted for Planning Director's review and approval prior to issuance of building permits. The revised plans shall continue to indicate the recreational amenities and gardens shown in Exhibit D.
4. The design and materials proposed for the fences along the north, south and west property lines shall be subject to Planning Director's review and approval prior to issuance of building permits. These fences shall be solid barriers. Any fencing proposed along the South Land Park Drive frontage shall be decorative wrought iron fencing and also subject to Planning Director's review and approval.
5. A sign program for the apartment complex shall be submitted for Planning Director's review and approval prior to issuance of sign permits.
6. A minimum of 45 parking spaces shall be covered. Carport elevations shall be submitted for the review and approval of the Planning Director prior to issuance of building permits. The carport roofs shall utilize a decorative trim compatible with the main structures.
7. Project shall conform to the Senior Citizen's Housing Design Criteria. (Exhibit L)

Conditions - Variance

1. Language shall be included in the deed restrictions and covenants, conditions and restrictions and/or in a separate document which assures that the 117 unit apartment development shall only be rented to or used by senior individuals. A senior means persons over the age of 62 years, provided that for each unit rented to, or used by, two or more persons, one of such persons may be under 62 years old. Such language shall be acceptable in form and content to the Planning Director and City Attorney and may conclude any measure for enforcement deemed appropriate by the Planning Director and City Attorney.
2. A shuttle bus shall be made available to residents of the apartment complex.

Findings of Fact - Special Permit and Variance

1. The project, as conditioned, is based upon sound principles of land use in that the proposed senior apartment complex is:
 - a. located on a major bus line, within walking distance of parks, and adjacent to a neighborhood shopping center; and
 - b. compatible with existing single family, multiple family and commercial land uses in the area.
2. The granting of the variance would not be a special privilege extended to one property owner in that other senior housing projects have received a variance to waive a portion of the required parking.
3. The variance request does not constitute a use variance in that apartment projects are allowed in the C-1 zone with special permit review and approval.
4. The project, as conditioned, will not be injurious to the public health, safety, or welfare, nor result in the creation of a nuisance in that:
 - a. the on-site parking provided will adequately serve the residents, employees and visitors of the proposed senior apartment project;
 - b. alternative transportation will be available to residents of the proposed senior apartment project; and
 - c. adequate landscaping and building setbacks between the proposed project and adjacent uses have been provided.
5. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for Multi-Family Residential use by the 1979 Pocket Community Plan and the proposed senior apartment complex use conforms with the plan designation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION

ON DATE OF

**APPROVING A LOT LINE ADJUSTMENT TO
MERGE ALL THAT PORTION OF LOT G AS
SAID LOT IS SHOWN ON "SOUTHLAND
PARK HILLS UNIT NO. 4" (P87-371)**

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning that lot line adjustment for property located 6000 South Land Park Drive; and

WHEREAS, the lot line adjustment has been given a Negative Declaration by the Environmental Coordinator; and

WHEREAS, the lot line adjustment is consistent with the 1974 General Plan the 1979 Pocket Community Plan; the proposed project is found to be consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for Multi-family residential use by the 1979 Pocket Community Plan and the proposed Multi-family use conforms with the Plan Designation;

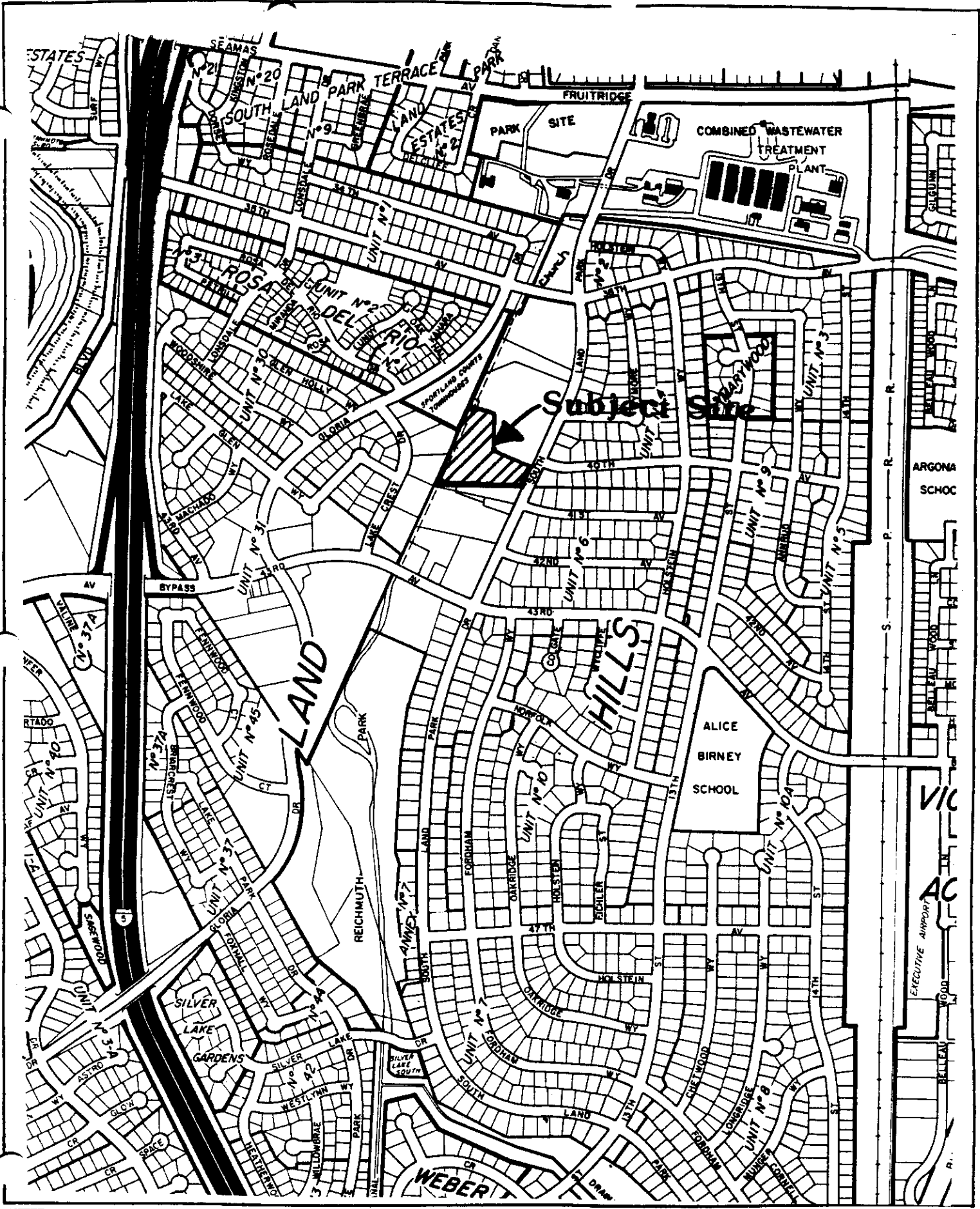
NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

that the lot line adjustment of property located 6000 South Land Park Drive, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto.

CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION



P87-371

VICINITY MAP

9-24-87

Item 19

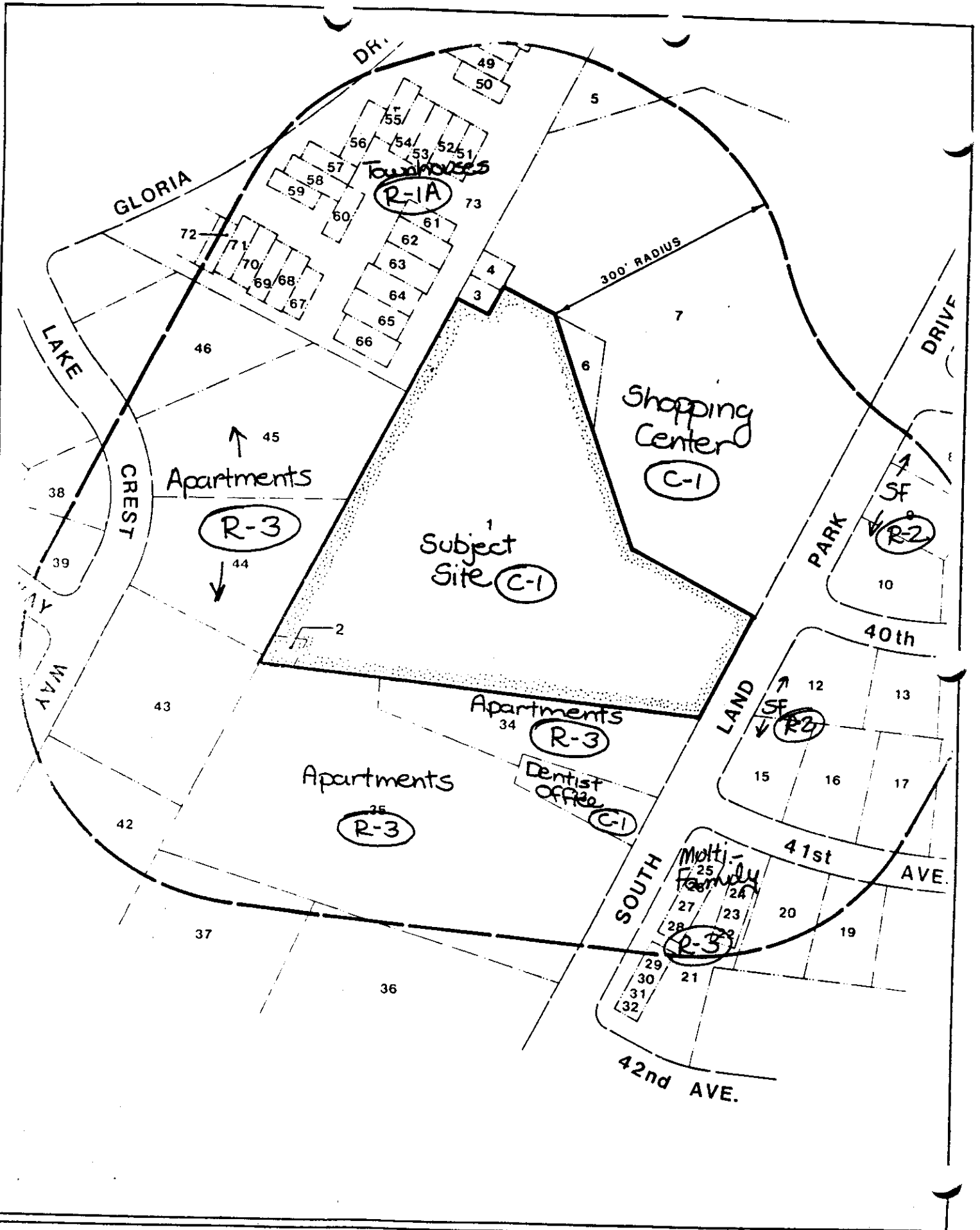
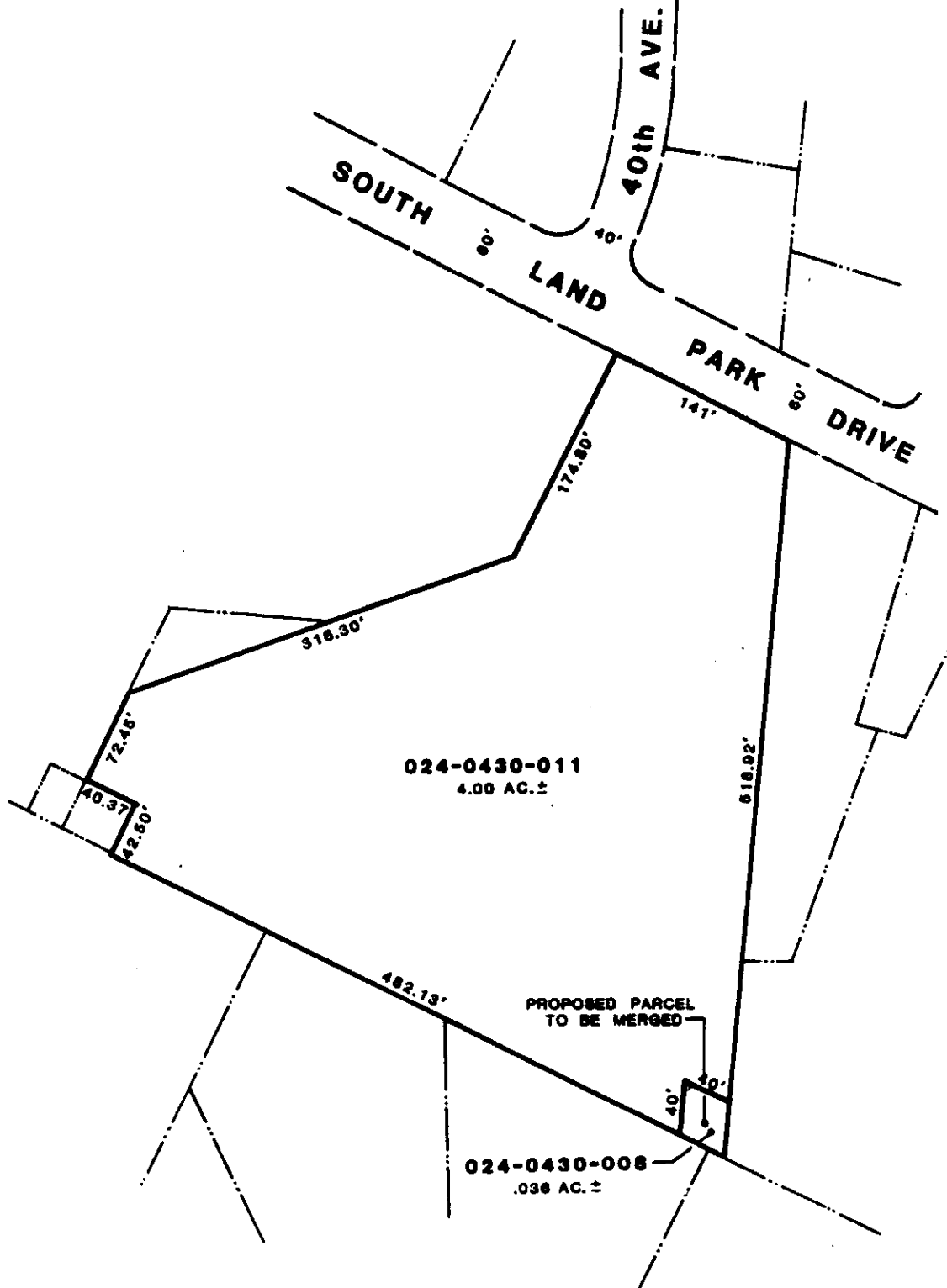


EXHIBIT A



1"=100'



P87-371
AUGUST, 1987

9-24-87


JOB NO. _____ DATE: _____ P. O. _____ SCALE: _____ DRAWN BY: _____ CHECKED BY: _____	TITLE: MERGER OF A.P.N.'S 024-0430-011 & 024-0430-008	 THE SPINK CORPORATION ENGINEERS - PLANNERS - SURVEYORS
	CLIENT: _____	
	SCALE IN INCHES _____	
	CODE: _____	
	OR NO _____	

EXHIBIT B

The land referred to in this Report is situated in the State of California, County of Sacramento, City of Sacramento and is described as follows:

All that portion of Lot G as said lot is shown on "South Land Park Hills Unit No. 4", the Official Plat of which is recorded in Book 37 of Maps, Map No. 31, County of Sacramento, more particularly described as follows:

Beginning at the Southwest corner of said Lot G, and running thence along the West line of said Lot G, North 25° 45' 00" East 520.13 feet; thence South 64° 59' 30" East 42.30 feet; thence North 25° 45' 00" East 29.82 feet; thence South 64° 15' 00" East 72.45 feet; thence South 22° 04' 36" East 141.32 feet; thence South 19° 19' 30" East 174.98 feet; thence South 64° 15' 00" East 174.80 feet to a point on the Easterly line of said Lot G; thence along the Easterly line of said Lot G South 25° 45' 00" West 141.00 feet to the Southeast corner thereof; thence North 85° 45' 20" West 558.92 feet to the point of beginning; containing 4.036 acres, more or less.

EXCEPTING AND RESERVING an undivided one-half interest in all minerals and mineral rights below the depth of 100 feet of the surface, as contained in the deed dated June 23, 1953, recorded June 24, 1953, in Book 2533 of Official Records at page 512, executed by Joseph Reichmuth and wife, to Theodore Holstein and wife, and as contained in Deed dated May 14, 1954, recorded May 21, 1954, in Book 2609 of Official Records, at page 388, executed by Joseph Reichmuth and Amelia Reichmuth, his wife, to Theodore Holstein and Blanche J. Holstein, his wife.

P87371

P87-371

9-24-87

SCHEDULE A
CLTA Preliminary Report
1-1-84

Item 19
STEWART TITLE
GUARANTY COMPANY

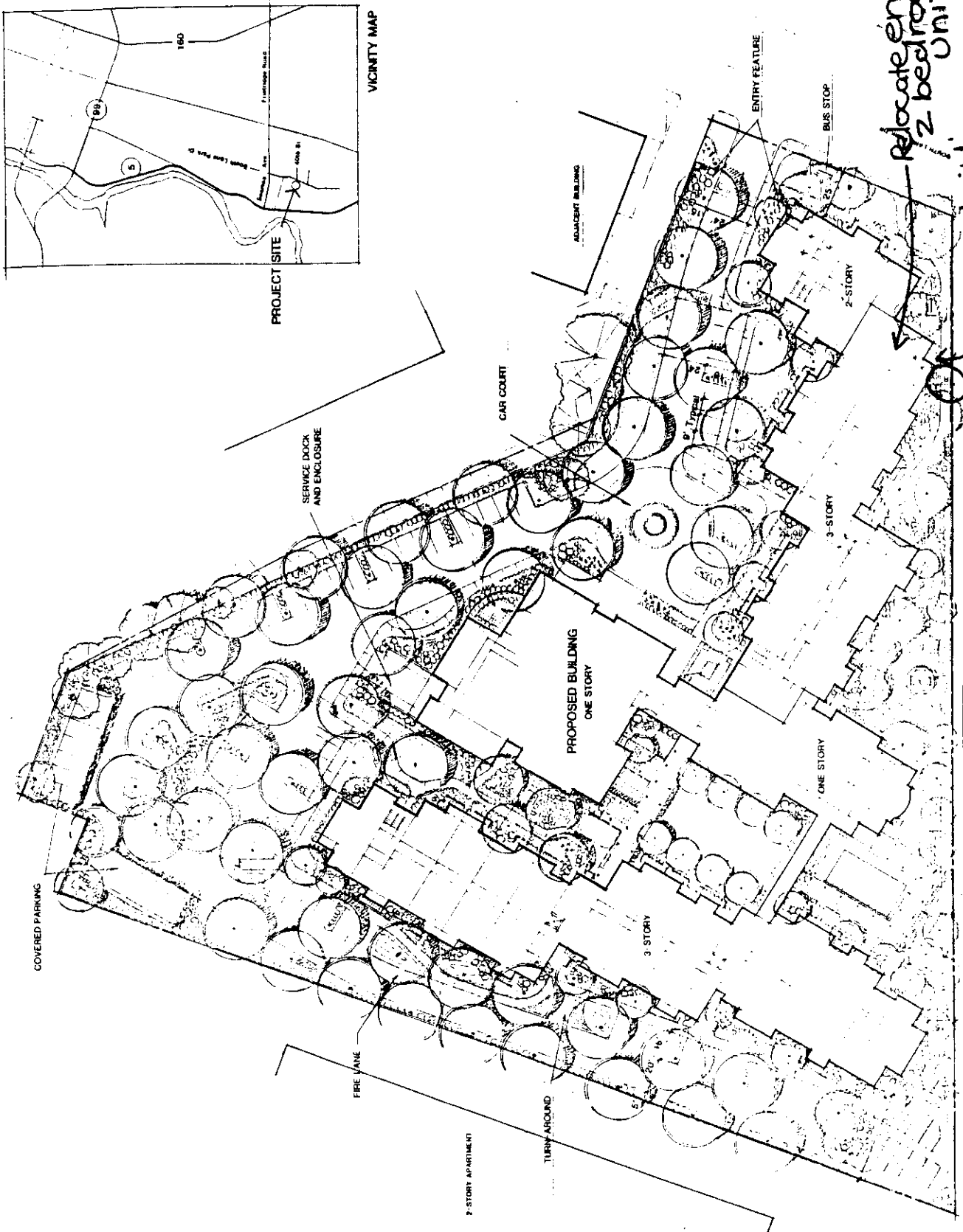
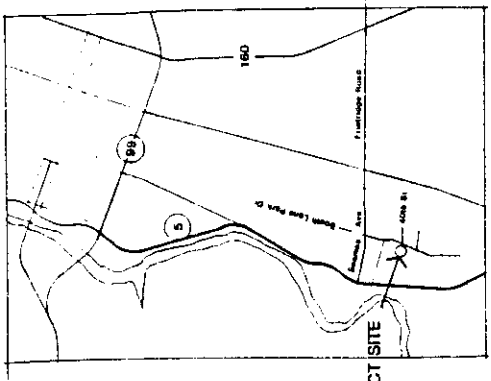
Date	21 AUG 1987
Project	1-1773 S
Client	HC
Checked	AG
Approved for the owner	
Approved for the architect	

EXHIBIT

PERMITS INNS
OF AMERICA
**INN AT
SOUTHLAND**

SITE PLAN

1



Relocate end of 2-bedroom unit

Move building

min: 5 ft. to north (13 ft. setback)

SEE LANDSCAPE PLAN FOR ADDITIONAL TREE SPECIFICATIONS

0 20 40 60 80 100 120
SCALE 1" = 20'-0"

172878
P87-371

9-24-87

Item 19

Date	21 AUG 87
Sheet	1-11
Location	A.C.
Checked	A.C.
Approved by the owner	
Approved by the architect	

EXHIBIT D

RETIREMENT INNS
 OF AMERICA
**INN AT
 SOUTHLAND**

LANDSCAPE PLAN

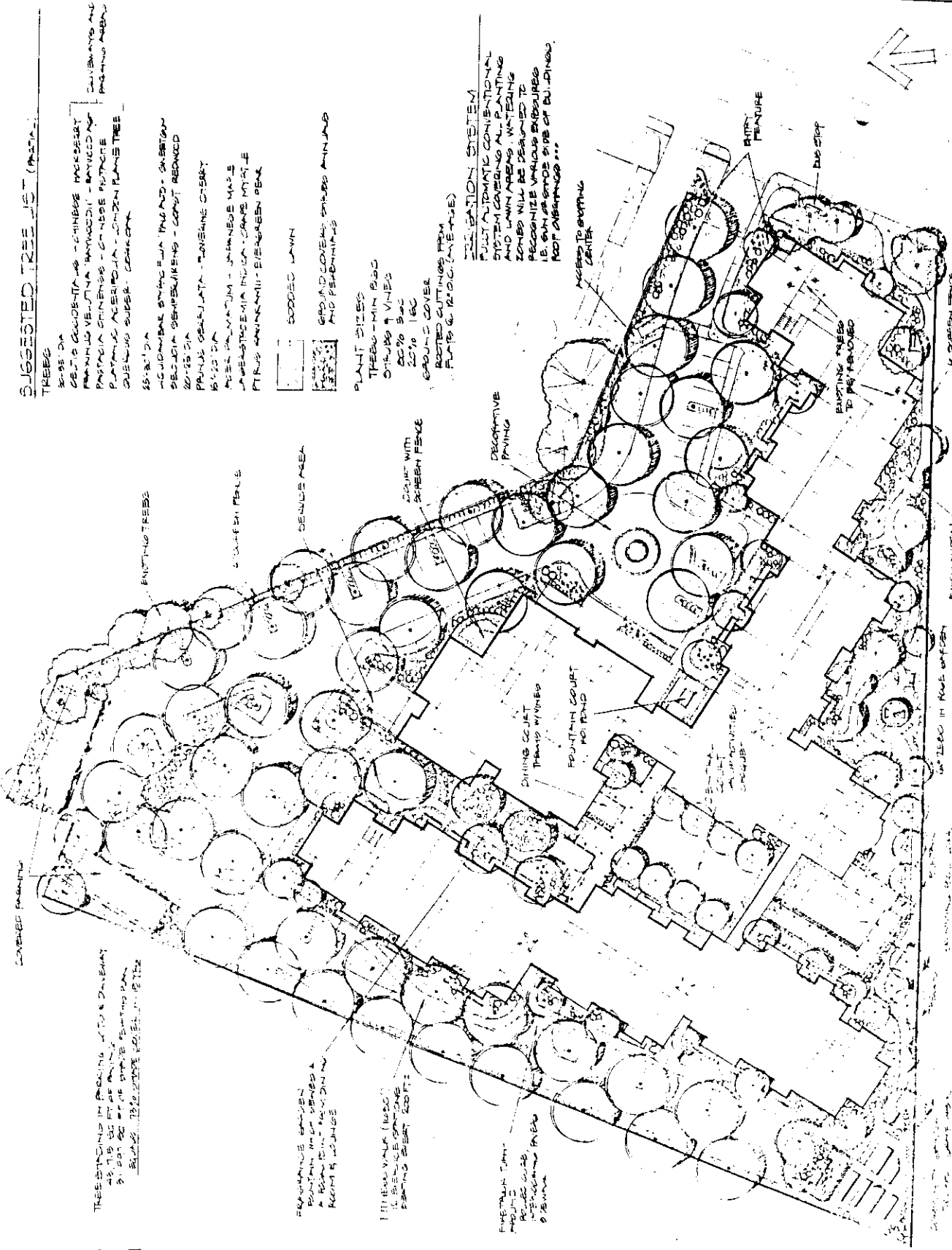
2

SUGGESTED TREE LIST (PARTIAL)

- TREES**
- 30' DB DIA
 - CESTROGARDIA - CHINESE HACKBERRY
 - FRAXINO VENTRINA - WATERSIDE
 - PASTORIA STIMMENSIS - CHERRY PLUM TREE
 - QUERCUS SUBER - COCKER
 - 35' DB DIA
 - ACQUADUKA SYRIACA - ITALIAN - ORNAMENTAL
 - SECOIA GIBBERIFOLIA - COAST REDWOOD
 - 20' DB DIA
 - FRAXUS GOMMATA - AMERICAN OAK
 - 30' DB DIA
 - MOE PAVATA - JAPANESE MAPLE
 - LABRUSTEMIA INULCA - CORAL MAPLE
 - PIRUS AMURICA - EVERGREEN OAK

- ROOVED LAWN
- GRASS AND PERENNIALS STRIPS ANNULAR
- PLANT BEDS
- THREO-MIN B&G
- STUBS & VINES
- 20% B&G
- 20% I&C
- GROUND COVER
- ROOTED CUTTINGS FROM PLANTS @ 12" O.C. (MIN. SIZE)

IRRIGATION SYSTEM
 FULL AUTOMATIC CONVENTIONAL SYSTEM INCLUDING ALL PIPING AND LAWN AREAS. WATERING ZONES WILL BE DESIGNED TO RECOGNIZE VARIOUS REQUIREMENTS I.E. SUN SHADOWS OF BUILDINGS, POOL OBSTRUCTIONS, ETC.



P87-371
 P87371

9-24-87

Item 19

Date: 21 AUG 1987
 Proj. No.: 1-1773-5
 Name: PK
 Checked: P
 Approved by the Owner:
 Approved by the Architect:

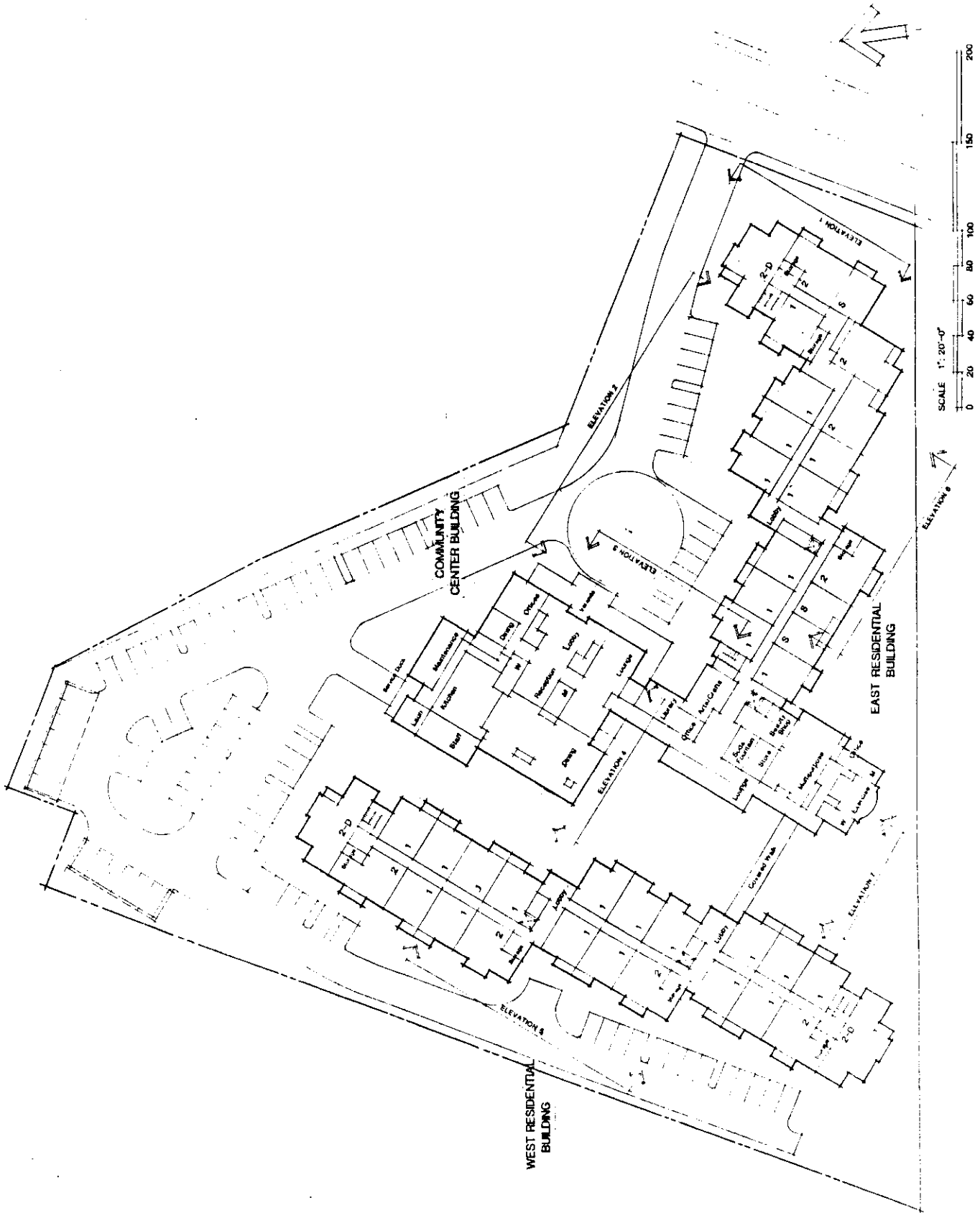
EXHIBIT E

RETIREMENT INNS
OF AMERICA

INN AT
SOUTHLAND

FIRST
FLOOR PLAN

3



P87371
 P87-371

9-24-87

Item 19

Date	21 AUG 87
Proj. No.	1-1
Client	RC
Checked	A-C
Approved for Issue	
Approved by the architect	

No.	Revisions	Date
-----	-----------	------

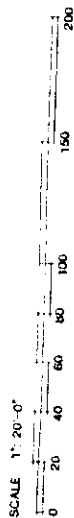
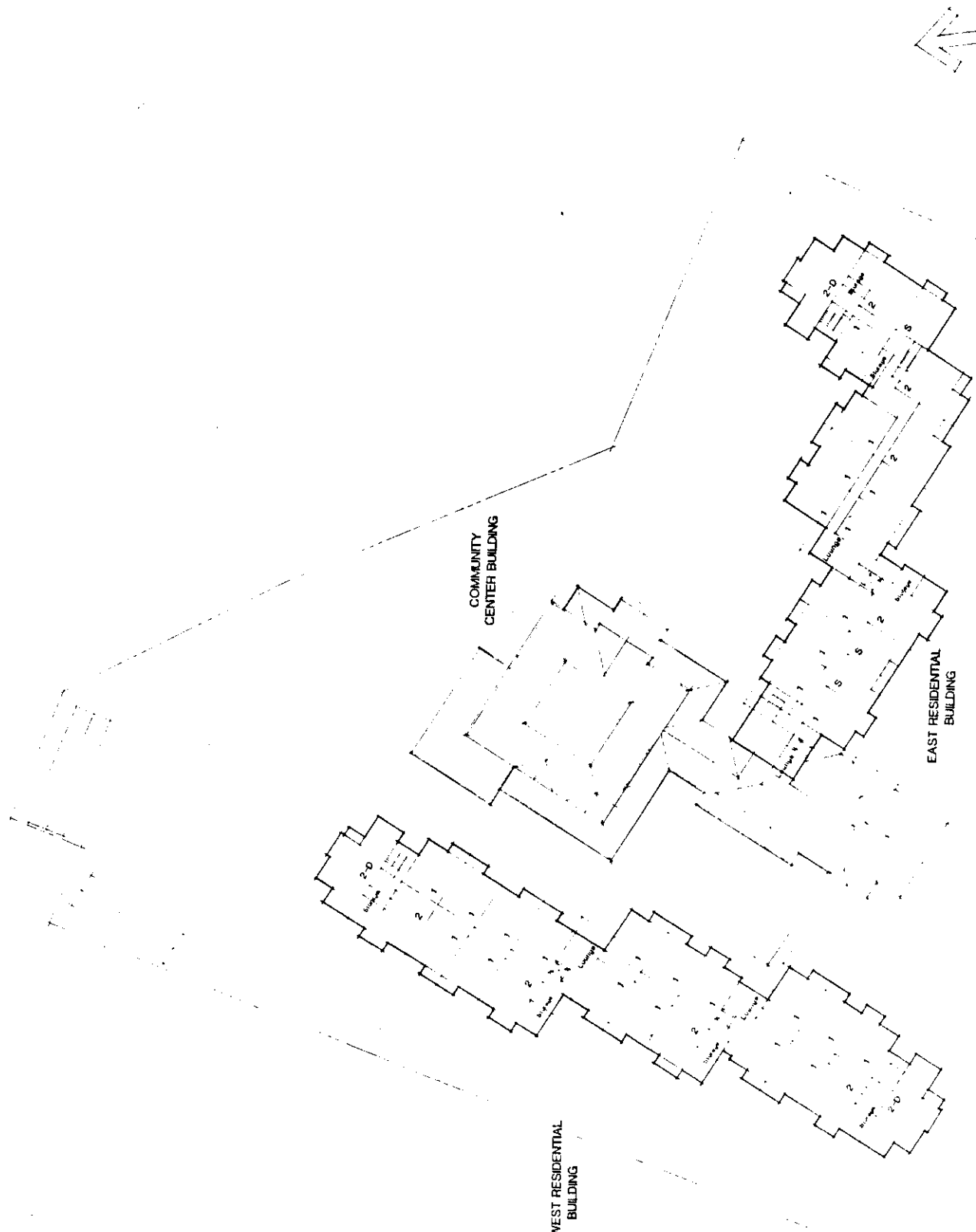
EXHIBIT F

RETIREMENT INNS
OF AMERICA

INN AT
SOUTHLAND

SECOND
FLOOR PLAN

Sheet No. **4**



P87-371

9-24-87

Item 19

DATE: 21 AUG 1987
 SET NO: 1-17735
 DRAWING: RC
 CHECKED: A.C.
 APPROVED: [Signature]

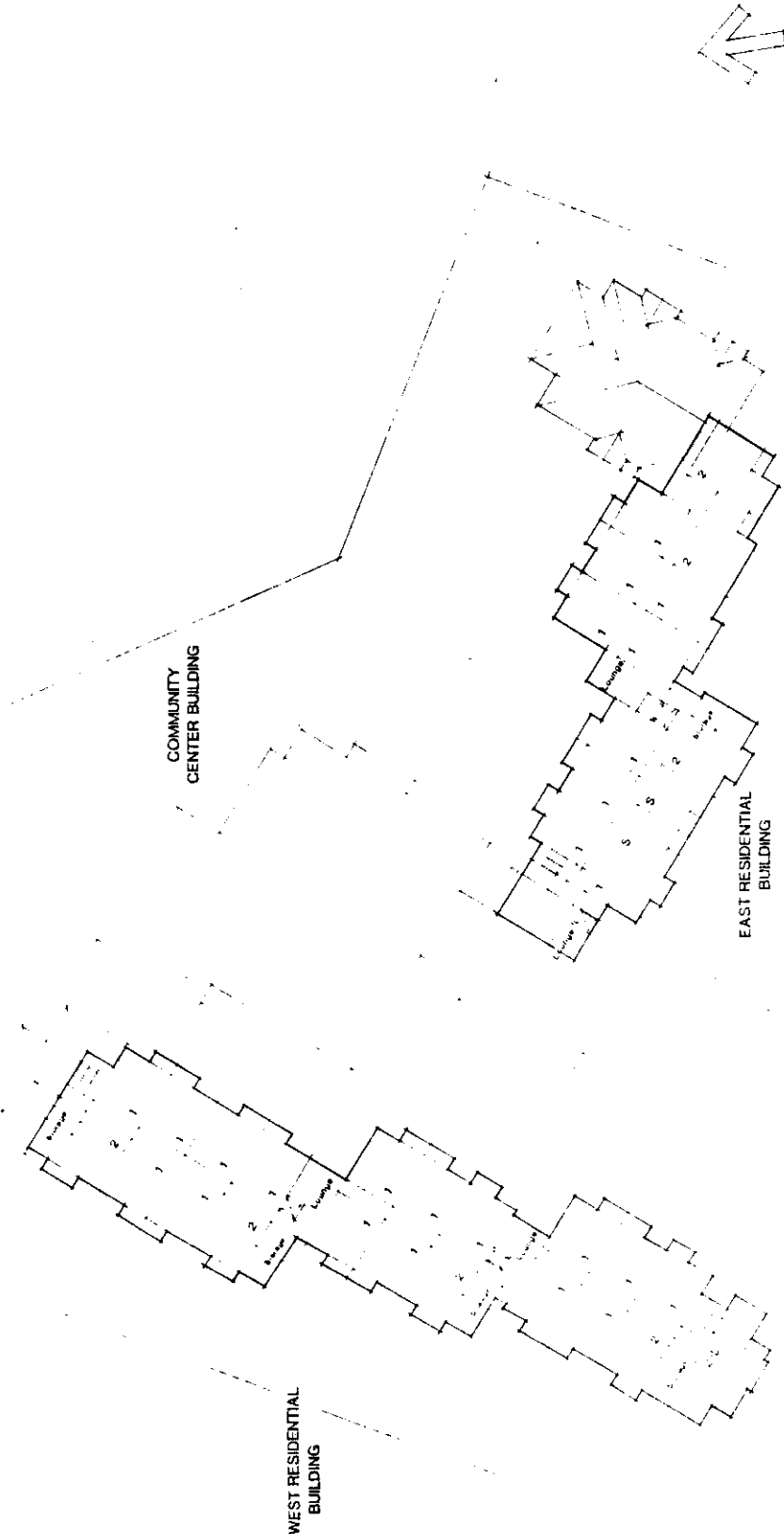
EXHIBIT G

RETIREMENT INNS
 OF AMERICA

INN AT
 SOUTHLAND

THIRD
 FLOOR PLAN

5



P87-371

9-24-87

Item 19

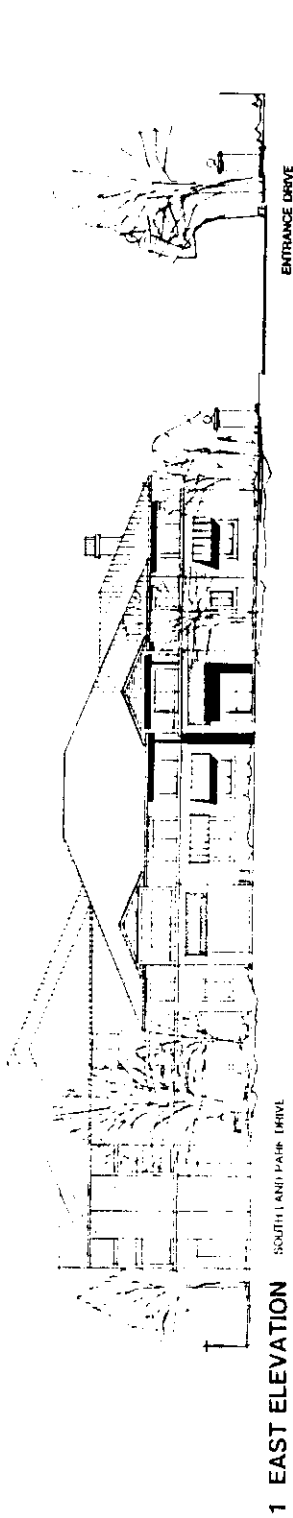
EXHIBIT H

RETIREMENT HOMES
 OF AMERICA

INN AT
 SOUTHLAND

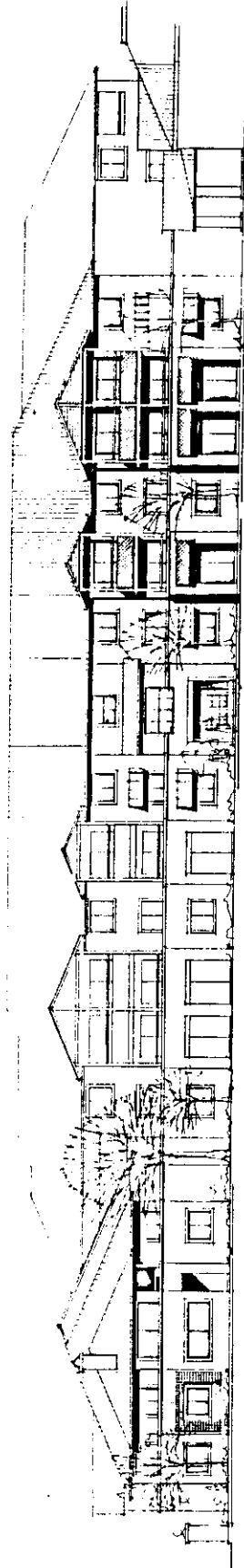
ELEVATIONS

6



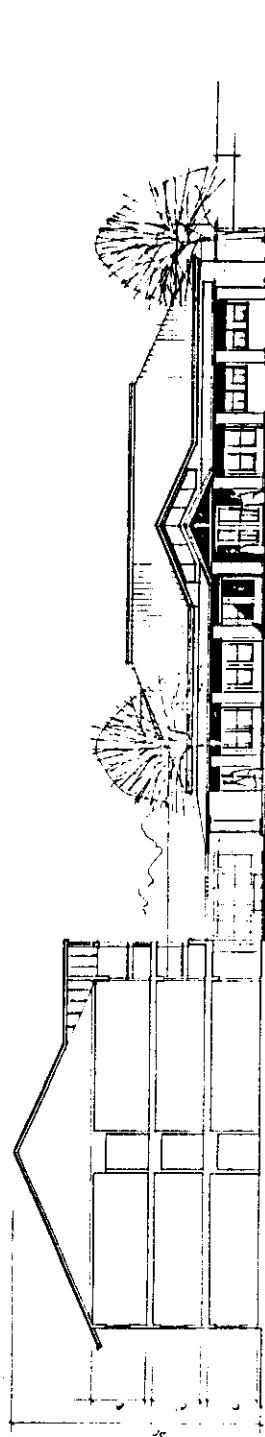
1 EAST ELEVATION

SOUTHLAND PARK DRIVE



2 NORTH ELEVATION

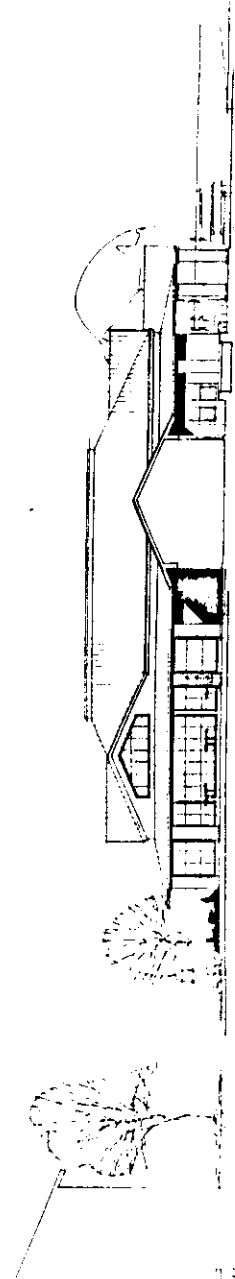
EAST RESIDENTIAL BUILDING



3 EAST ELEVATION

COMMUNITY CENTER

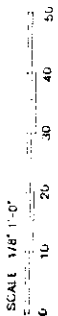
TYPICAL SECTION - RESIDENTIAL BUILDING



4 SOUTH ELEVATION

COMMUNITY CENTER

LIVING ROOM



P87-371

9-24-87

Item 19

Date	21 AUG 1987
By	1-17/3-D
Checked	BT/LL/RC
Approved	P.C.
Project Name	RETIREMENT HHS OF AMERICA
Project Address	INN AT SOUTHLAND

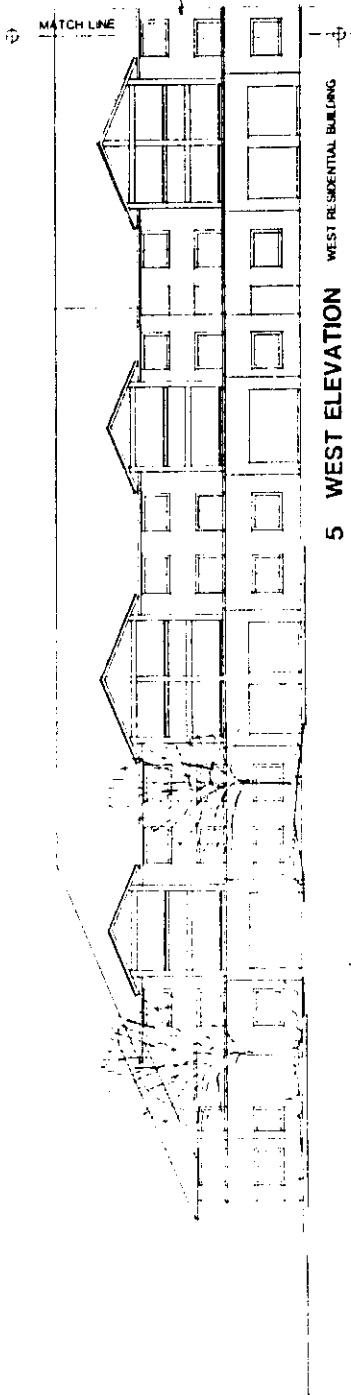
EXHIBIT I

RETIREMENT HHS
OF AMERICA

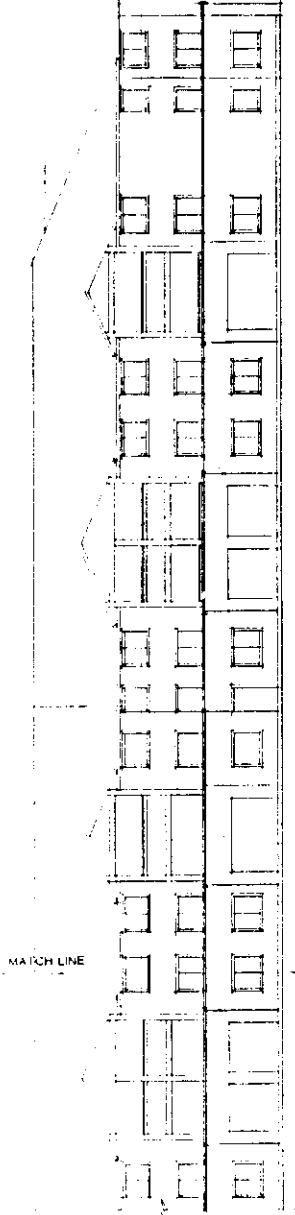
INN AT
SOUTHLAND

ELEVATIONS

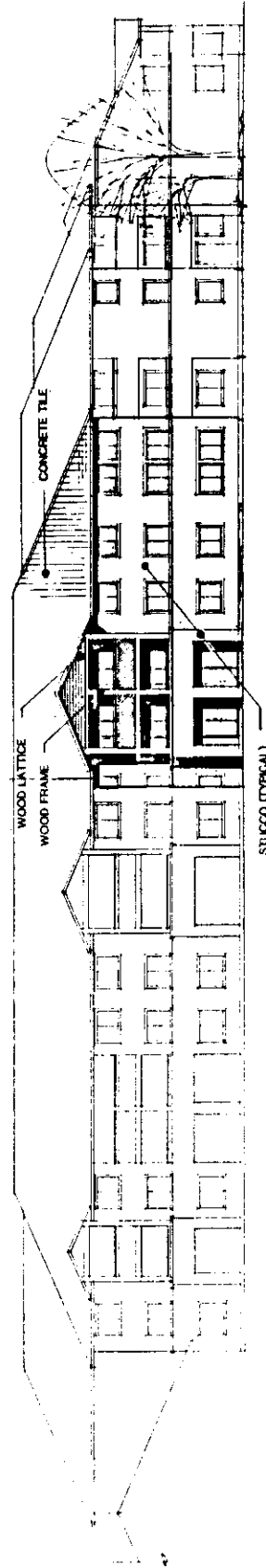
7



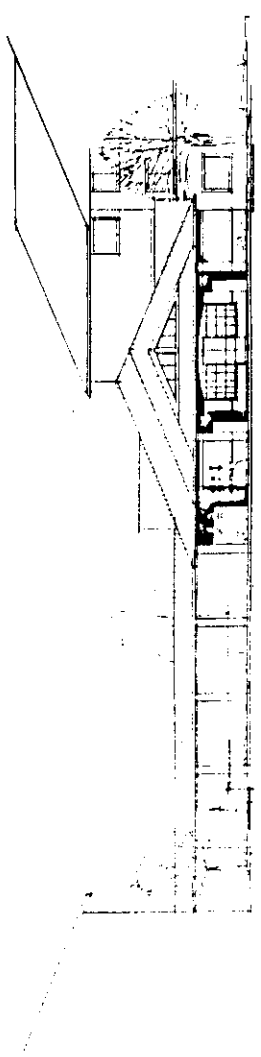
5 WEST ELEVATION WEST RESIDENTIAL BUILDING



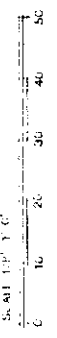
5 WEST ELEVATION WEST RESIDENTIAL BUILDING (CONTINUED)



6 SOUTH ELEVATION EAST RESIDENTIAL BUILDING



7 SOUTH ELEVATION EXERCISE ROOM



P87-371

9-24-87

Item 19

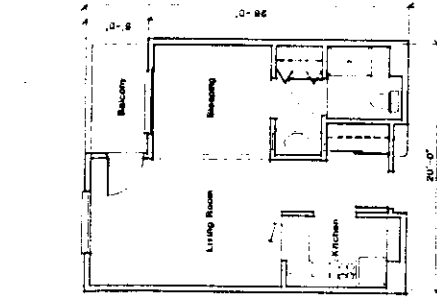
EXHIBIT J

RETIREMENT HOUSING
 OF AMERICA

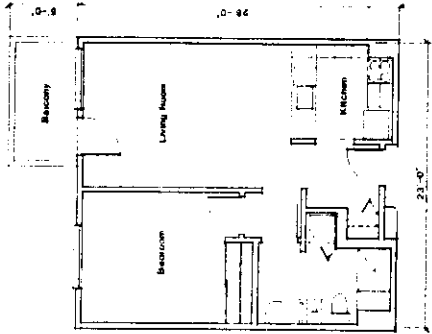
INN AT
 SOUTHLAND

UNIT PLANS

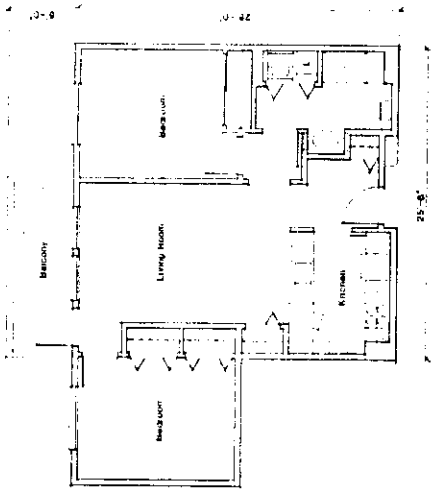
8



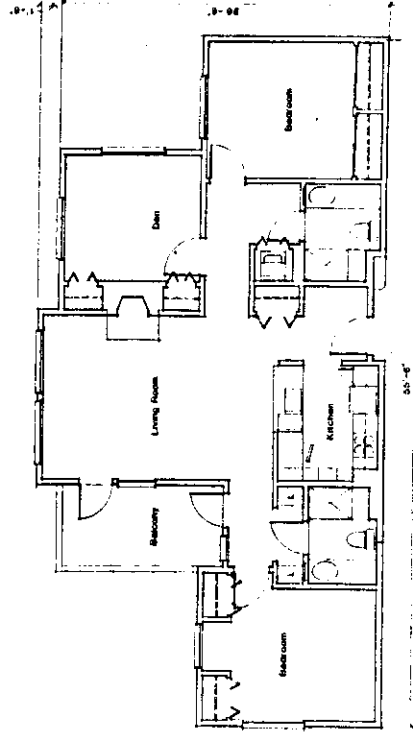
STUDIO 465 SF



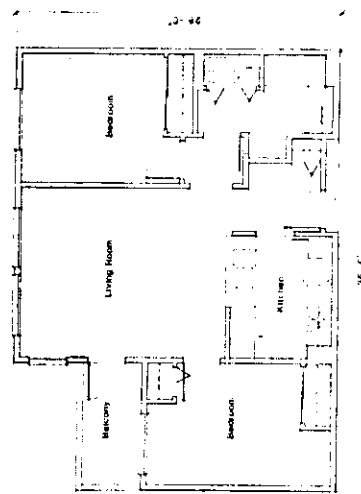
1 BEDROOM 590 SF



2 BEDROOM/1 BATH 800 SF



2 BEDROOM/2 BATH/DEN 1148 SF



2 BEDROOM/1 BATH (VARIATION) 800 SF



EXHIBIT K

RETIREMENT INNS OF AMERICA

Parking Space Ratios in Existing Retirement Inn Facilities

Facility Name	# Units	# of Parking Spaces	Parking Ratio (# spaces/unit)	Residents with cars (#)	Residents with cars (%)	Staff Spaces Used (incl. vans)	Extra (Visitor) Spaces
Licensed Facilities							
Daly City	95	25	.26	6	6.3%	9	10
Fullerton	69	25	.36	8	11.6%	9	8
Campbell	72	19	.26	4	5.6%	8	7
Average Licensed Facilities			.30		7.8%		
Proposed Inn at Mission Viejo (Licensed Facility)							
	180	78	.43	27	15%	25	26
Residential Facilities							
Burlingame	74	27	.36	2	2.7%	7	18
Fremont	72	19	.26	6	8.3%	8	5
Sunnyvale	139	40	.29	28	20.1%	8	4
San Jose	91	33	.36	3	3.3%	7	23
Valley View	125	72	.58	27	21.6%	20	25
Average Residential Facilities			.37		11.2%		

SENIOR CITIZEN HOUSING DESIGN CRITERIA

Included in the Senior Citizen Housing Design Criteria is the Multifamily Residential Design Criteria and parts 2, 3 and 5 (handicapped standards) of the Title 24 requirements.

LOCATION

1. Freedom from excessive noise and disturbances such as airplane noise and industrial activity.
2. Proximity to parks or other outdoor areas suitable for passive recreation.
3. Views of nearby activity such as baseball diamonds, preschool playground, pedestrian traffic and auto traffic.
4. Spaces which encourage users conflict by either their placement or their scarcity should be modified. (For example, conflict between teenagers and elderly persons, each seeking to use a public outdoor area for musical entertainment activities illustrates a sort of competition which can promote criminal harassment.)
5. Absence of steep grades in and around the general circulation area of the proposed site.
6. Compatibility with the surrounding neighborhood (height, building type).
7. within 2 blocks of a bus stop.
8. within 1/2 mile of a clinic and hospital.
9. within 1/2 mile of library.
10. within 1/2 mile of neighborhood services and shopping.
11. Allow for small detached housing units in single family neighborhoods.
12. Juxtapose Senior Housing to single and multifamily developments.

PROJECT SECURITY

1. Public entries to the area should be limited in terms of their number, location, and the possibilities of surveillance by residents.
2. Outdoor areas should have distinct boundaries which encourage resident supervision of their use.
3. Placement of dwelling units and public activity nodes should enhance the opportunities for surveillance.

4. "Unassigned space" for which no one feels or assumes responsibility should be avoided.

LANDSCAPING AND OUTDOOR ACTIVITIES

1. Deciduous ivy over trellise covering outdoor sitting areas where the ivy will screen the sun out in the summer and let it in in the winter.
2. No thorny or sharp leaved shrubs.
3. Barrier type walls should be of plantings, not brick, rock, etc.
4. Create landscaping so that it encourages residents to go outside.
5. Grades should not be more than 5 degrees.
6. Sitting areas in sun and shade, secluded or in groups.
7. Outdoor benches with backs facing each other or at 90 degree angle to facilitate conversation.
8. Light and sturdy outdoor furniture.
9. well defined outdoor spaces and patios.
10. Outdoor activities such as barbecues, gardens, shuffleboard.
11. well illuminated walkways without barriers.
12. Designed structures which function as security around recreational areas to keep out intruders.
13. Sheltered galleries for lounging, etc.

ENTRY, LOBBY, CORRIDORS AND OTHER CONGREGATE FACILITIES

1. A porte cochere at the entrance with nonslip walking surface.
2. No abrupt changes in ground and floor levels.
3. Separate service entrance behind building and screened from view.
4. All areas should be well lit.
5. Avoid elongated buildings to minimize "institutional" look.
6. Lobby should be large and very well lighted.

7. within the lobby area are the following: administrative offices, lounge, 24 hour switch board and receptionist desk, or intercom entrance control system, public restrooms, mail boxes (opened with apartment door key).
8. Corridor length should not be any more than 150 feet long and need not be any more than 6 feet wide (elderly people lose their perception so that long corridors look even longer than they actually are).
9. Put handrails in corridors. Exclude handrails in public areas (e.g., lobby).
10. Put windows at the end of corridors.
11. Corridors should promote easy orientation and not be confusing. Distinct identification of floors.
12. No sharp curves in corridors.
13. Elevators should have handrails and be big enough for wheelchairs.
14. Congregate facilities should consider including the following: dining area, large kitchen, small chapel, beauty salon, barber shop, gift shop with tenants arts and crafts for sale, pool table, card tables, manager's office, office space for social workers and psychiatrists, small conference room, library, small commissary, craft/hobby, small kitchen room, laundry room, greenhouse, first aid/medical examination room, multipurpose room with moveable room dividers, overnight guest room.
15. Separate the less formal congregate care facilities from the more formal ones.

PARKING FACILITIES

1. Parking facilities should be provided for tenants, guests and employees.
2. Stalls and driving aisles should be at least 9 feet wide.
3. Stalls for the tenants should not be more than 150 feet from the front entrance, or in the case of enclosed parking, from the elevator.
4. Tenant parking should be no less than 25 percent nor more than 50 percent of the number of units.

INDIVIDUAL UNITS

1. Kitchen windows should be low.
2. Overall illumination and strong light over kitchen sink.
3. Provision of knee space under the sink.

4. Full length pantry with bi-folding doors.
5. Minimum kitchen facilities would be a 2 burner stove, bar sink, and small refrigerator.
6. Beds in bedrooms should be accessible from three sides.
7. Emergency signaling device with cord to floor.
8. Telephone jacks.
9. Television outlets.
10. Bedroom size should provide sufficient space for double size bed night tables, chest of drawers, desk and desk chair.
11. A minimum of five to six percent of the units should have 2 bedrooms.
12. There should be a direct route to the bathroom from the bedroom.
13. Bathrooms should contain adequate space to transfer from a wheelchair to the toilet.
14. Walls adjacent to the toilet should have side bars.
15. Fifty percent of the bathrooms should have lower stalls and 50 percent have bathtubs.
16. There should be an emergency signaling device with a cord to the floor in the bathroom.
17. Units with showers should have a shower seat and a removeable shower nose.
18. Studio units are often not marketable to seniors and should not be required or encouraged by staff.
19. Other safety devices should be intercoms, smoke alarms, "open door" warning indicators, dome light above hall door which flashes when bedroom or bath alarm is activated.
20. There should be a panel at the receptionists desk which contains all central control systems, intercoms, smoke alarm monitors, tenant bedroom and bath emergency call monitors and "open door" warning indicators.
21. Flooring should be ceramic mosaic and or concrete pavers. No corrugated tiles or exposed aggregate should be used. Carpeting should not be thick.
22. All units should have a lot of storage such as a guest closet, utility closet, linen closet, wardrobe closet and a storage closet. These storage spaces may be combined.

P87-371

4-24-87

Item 19

MANAGEMENT

1. The key to a successful Senior Citizen housing facility is good professional management which assumes responsibility for service coordination, as well as preventive maintenance.
2. The management should provide a safe and secure environment for residents, which incorporate needs for personal control and privacy, as well as social interaction.

DH:lr

P87-371

9-24-87

Item 19.

Outside The Apartment Unit



Walks and Sidewalks

- 2-3323(a) An abrupt change in elevation, or an obstacle protruding into a walk or sidewalk can be an insurmountable barrier for the disabled. Accessible walks and sidewalks must have a continuous common surface, uninterrupted by steps or abrupt changes in level over 1/2 inch. The walks must be at least 48 inches wide. But if right-of-way restrictions, natural barriers, or other existing conditions make compliance with the 48 inch requirement an unreasonable hardship, the enforcement agency may reduce the walk's width to a minimum of 36 inches.
- 2-3323(a) 3
Exception
- 2-3323(a) 1
2-3323(a) 2 If the slope of a sidewalk is less than 6%, the surface must be at least as slip-resistant as a medium salted finish. When the slope is 6% or greater, the surface shall be slip-resistant.
- 2-3323(a) 3 Surface cross slopes (slopes in a direction other than the direction of travel) are not to exceed 1/4 inch per foot except when the enforcing agency finds that local conditions make the requirement an unreasonable hardship. In that case, the cross slope may be increased to a maximum of 1/2 inch per foot for distances not over 20 feet.
- 2-3323(b) Walks, sidewalks and pedestrian ways shall be free of gratings, whenever possible. If there are gratings, grid openings are to be no more than 1/2 inch in the direction of traffic flow. If the enforcing agency determines compliance with this section of the regulations creates an unreasonable hardship, exceptions may be granted if equivalent facilitation is provided. If legal or physical constraints on the project site inhibit compliance or equivalent facilitation without unreasonable hardship, an exception is also granted.
- 2-3323(b)
Exception 2
- 2-3323(b) Exception 2
- 2-3323(c) When the slope in the direction of travel of any walk exceeds 6%, it must comply with the provisions of pedestrian ramps.
- 2-3323(d) Level changes not exceeding 1/4 inch can be vertical. Greater level changes are to be beveled with a slope of no more than 5%.
- 2-3323(e) Walks to an apartment building must have a level area not less than 60 inches by 60 inches where a door or gate swings toward the walk, and not less than 48 inches wide by 44 inches deep where a door or gate swings away from the walk. These areas must extend 24 inches from the side of the strike edge of a door or gate that swings toward the walk. (See page 9)
- 2-3323(f) All walks with continuous slopes need level areas five feet long every 400 feet or less.

2-3324(a)

Warning Curbs: Except between a walk or sidewalk and an adjacent street or driveway, abrupt changes in level (such as at planters or fountains located in or adjacent to walks, sidewalks, or other pedestrian ways) are to be identified by warning curbs projecting a least 6 inches above the walk or sidewalk.

No curb is required if: 1) the slope of the walk is 5% or less; 2) a handrail is provided; or 3) no adjacent hazard exists such as a drop-off. (See below)

2-3324(b)

Overhanging Obstructions: The bottom of an obstruction overhanging a pedestrian way must be at least 90 inches above the walkway.

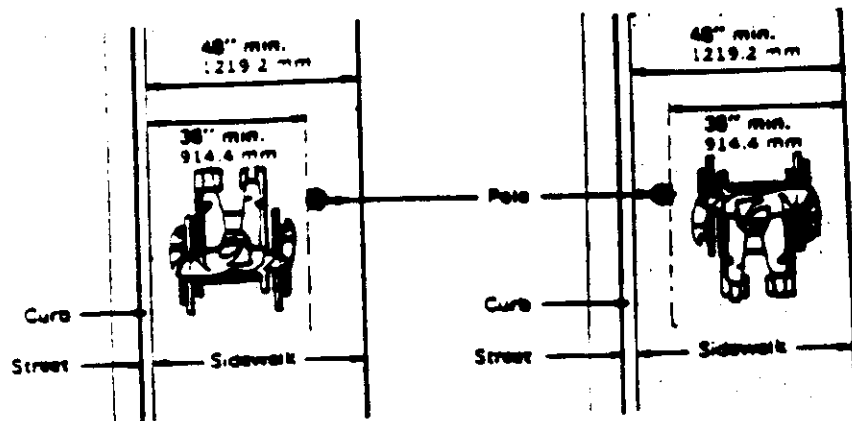


Figure 33-3A

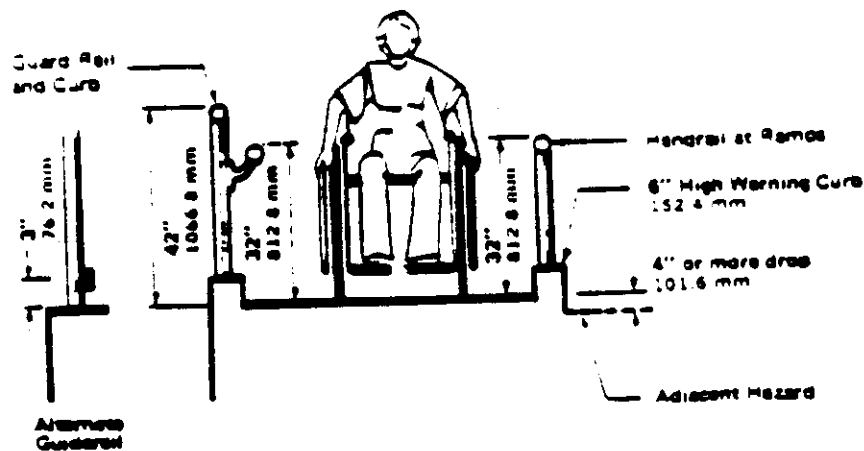


Figure 33-3B

Walkway Width

Figure 33-3

p87-371

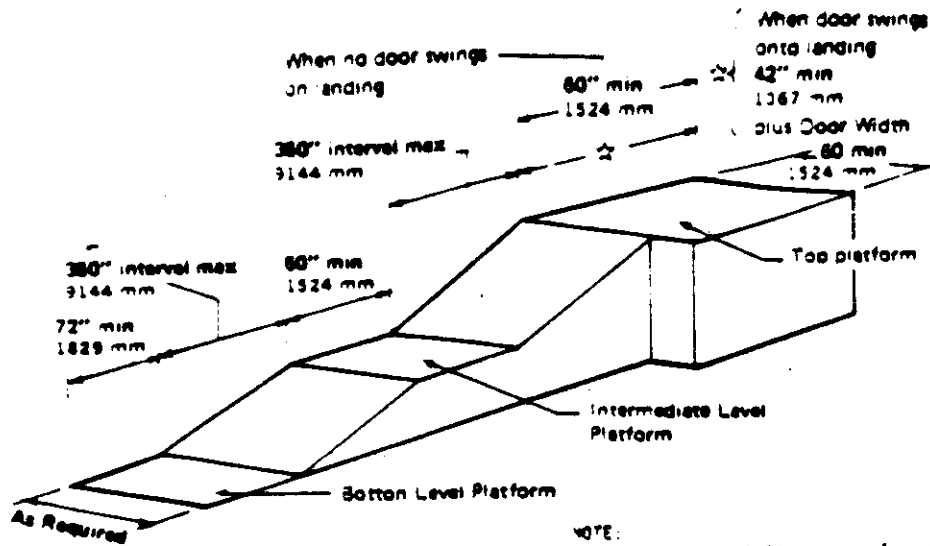
9-24-87

Item 19



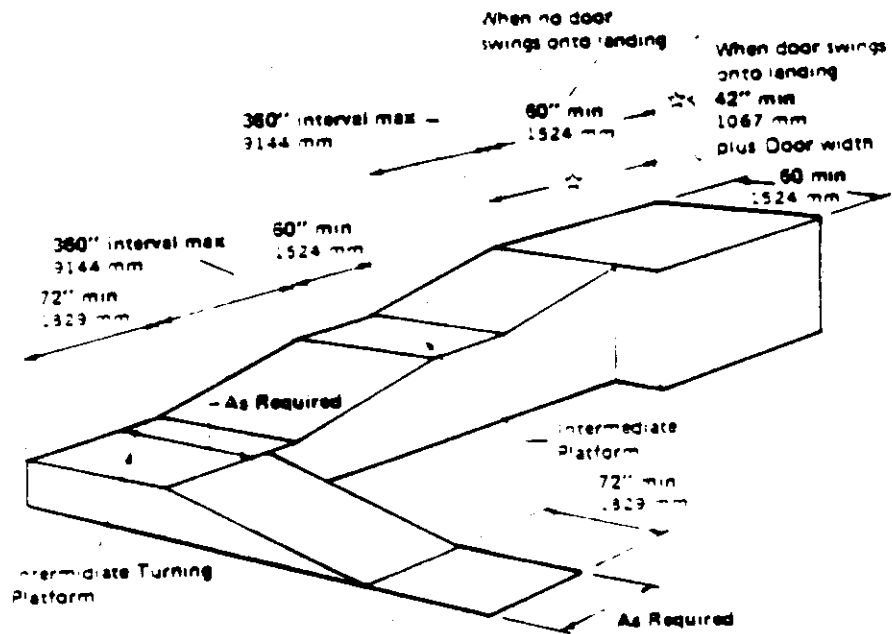
Ramps

- 2-3306(a)
2-3306(c) Any path of travel is considered a ramp if its slope is greater than 5% (1:20). The slope of a ramp can not exceed 9.33% (1:12).
- 2-3306(g) Surfaces of ramps with a slope of less than 6% shall be at least as slip-resistant as a medium salted finish. Surfaces with a slope of 6% or greater must be slip-resistant.
- 2-3306(e) Continuous, full-length handrails are to be placed on each side of the ramp. The handrails are to extend at least 12 inches beyond the top and bottom of the ramp, and the ends are to be returned. The handrails must be 30 to 34 inches above the ramp surface. The size and spacing requirements for ramp handrails are the same as for stairway handrails.
- 2-3306(e)
Exception 2 Ramps that require handrails and that serve one individual dwelling unit may have one handrail on the open side if the ramp is open on one side only. If the ramp surface is not bounded by a wall or fence, and the ramp is longer than 10 feet, there shall be a curb at least 2 inches high, or a wheel guide rail 2 to 4 inches high on each side of the ramp.
- 2-3306(b) 3 Ramp width must be at least as wide as stairways (See "Stairways" page 7). Pedestrian ramps leading to primary apartment entrances serving 300 or more occupants need a minimum clear width of 60 inches. If the building serves 50 to 300 occupants the minimum clear width is 44 inches. If the building serves 50 occupants or less, ramps serving the primary occupancy are to have a minimum clear width of 36 inches.
- 2-3306(c) Landings are to be provided at the top and bottom of each ramp. Intermediate landings are to be provided at intervals not exceeding 30 inches of vertical rise, and at each change of direction. Landings are not considered in determining the maximum horizontal distance of each ramp.
- 2-3306(d) 2 The top landing dimension measured in the direction of the ramp shall be at least 60 inches wide and 60 inches in length in the direction the ramp runs when no door or gate swings onto the landing.
- 2-3306(d) 3 If a door or gate does swing onto a landing, it can not reduce the length of the landing in the direction the ramp runs to less than 42 inches. When doors are fully opened, the required width of the landing must extend 24 inches past the strike edge of the door or gate for exterior ramps and 18 inches for interior ramps. (See pages 5 and 6)
- 2-3306(d) 6 & 7 Intermediate landings are to be at least 60 inches, measured in the direction of the ramp. Bottom landings and landings at a change of direction above 30 degrees must be at least 72 inches as measured in the direction of the ramp.



NOTE:
Maximum horizontal distances of each ramp and run varies. See table under 2-1106

Straight Ramp Run



NOTE:
Maximum horizontal distances of each ramp and run varies. See table under 2-1106

Ramp With Turning Platform

This figure is illustrative only of the applicable Building Standards and does not delineate the only means of complying with such standards.

Ramp Dimensions

9-24-87
Figure 33-11A

P87-371

Item 19



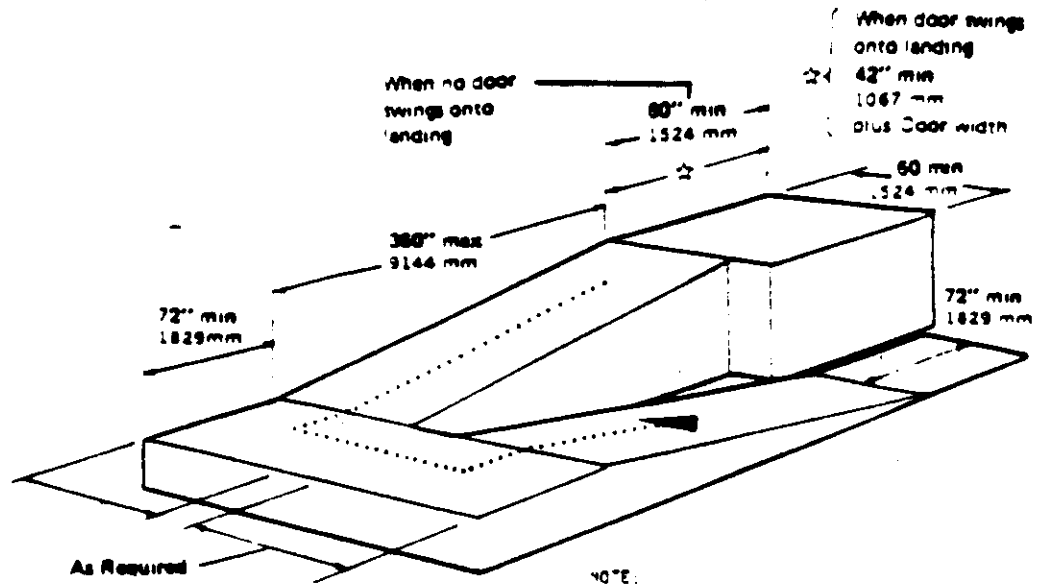
Stairways

- 2-3305(s) 1 Stairway treads must be slip-resistant with smooth, rounded or beveled edges, and no abrupt edges at the nose. The upper approach to a stairway and all stairway treads outside a building
- 2-3305(r) are to be marked by a strip of clearly contrasting color, at least 2 inches wide (a painted strip is acceptable). The strip is to be placed parallel to and not more than one inch from the nose of the step or landing. The strip material must be at least as slip-resistant as the other stair treads.
- 2-3305(s) 2 & 3 The nosing should not project more than 1-1/2 inches past the face of the riser below, and the risers should be solid enough to prevent objects larger than 1/4 inch from passing through them.
- 2-3305(j)
Exception 3 Stairways must have handrails on both sides. Private stairways 30 inches or less in height may have handrails on one side only.
- 2-3305(j)
Exception 2 Stairways serving one dwelling unit in an apartment house are allowed to have only one handrail; but if the stairway is open on one or both sides, handrails are to be provided on the open side(s).
- 2-3305(j) 1 Other stairways must have handrails on both sides. A stairway more than 33 inches wide must have at least one intermediate handrail for each 33 inches of required width. Intermediate handrails shall be spaced at approximately equal intervals along the entire length of the stairway.
- 2-3305(j) 2 Handrails must be continuous for the full length of the stairway. The handrail must be 30 to 34 inches above the nosing of the treads, and extend at least 12 inches beyond the top nosing and 12 inches plus the tread width beyond the bottom nosing. The handrail must be returned or end in newel posts or safety terminals. If the extension of the handrail in the direction of the stair run creates a hazard, the extension must be made at right angles to the face of the returning wall. Where the stairs are continuous from landing to landing, the inner rail must be continuous, but need not extend into the landing.
- Handrails projecting from a wall are to be at least 1-1/2 inches from the wall. The rail's handgrip must be between 1-1/2 to 2 inches wide, or the shape must supply an equivalent smooth gripping surface with no sharp corners.



Entry Ways

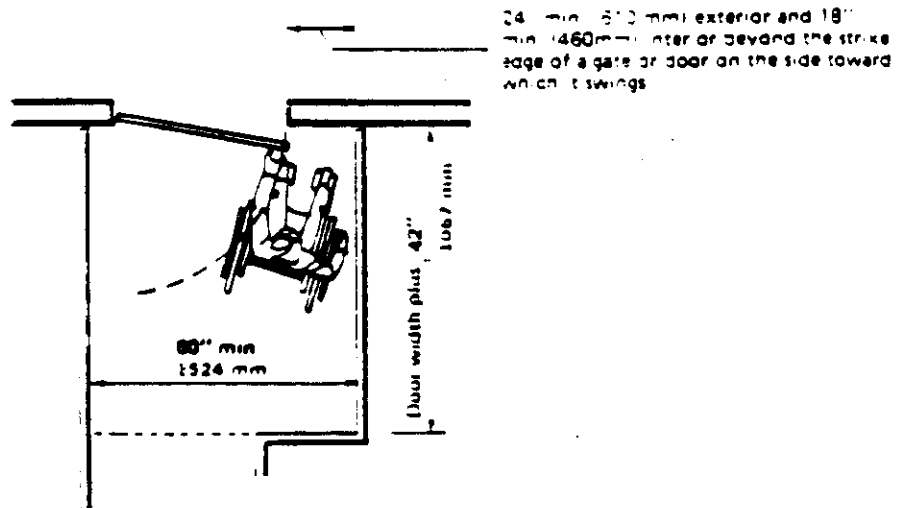
- 2-3305(m) 1 & 2 Applicable primary entrances to buildings are to be accessible to the physically handicapped. If the primary entrances are not being used by the disabled or their use is restricted, the entrances which are being substituted must be made accessible to and usable by the physically handicapped.
- 2-1213(b) 5 Every primary entrance and individual living accommodation shall have a door buzzer, bell, chime or equivalent.



**Ramp With Intermediate
Switch-Back Platform**

NOTE:
Maximum horizontal distances of each
ramp and run varies. See Table under
2-1006

*All ramps must meet handrail and curb
requirements*



Ramp Landing at doorway

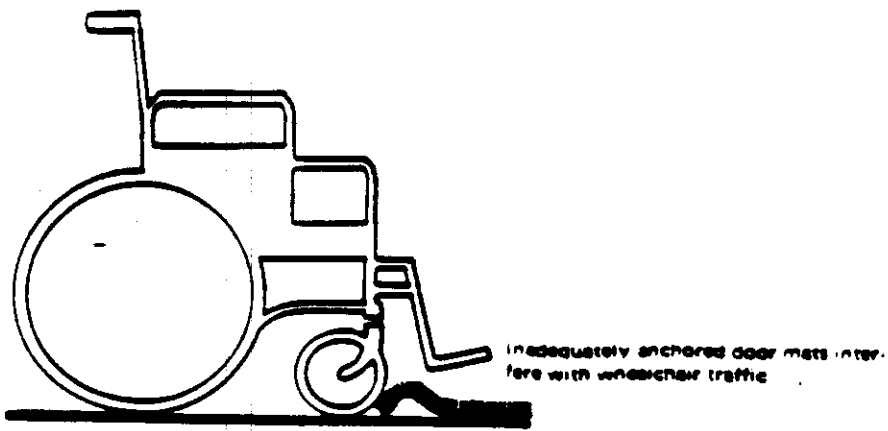
This figure is illustrative only of the applicable Building Standards and does not delineate the only means of complying with such standards.

Ramp Dimensions

Figure 33-11B
9-24-87

P87-371

Item 19

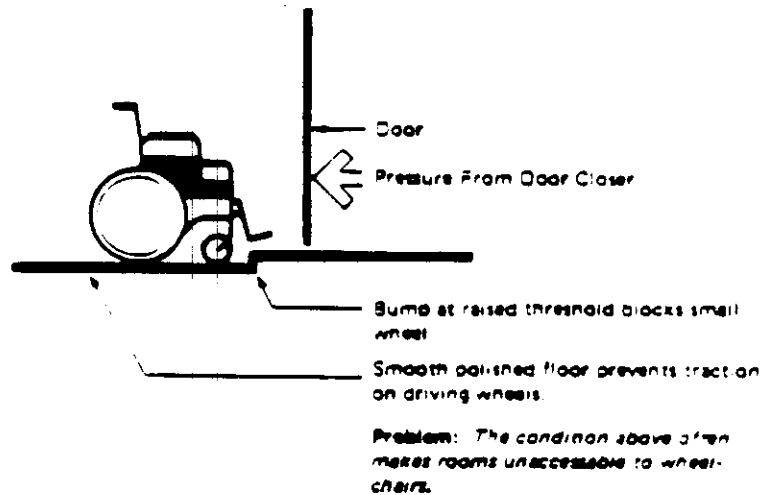


Door Mat

Firm Flush Mounted Mats Preferred



This diagram illustrates the specific requirements of these regulations and is intended only as an aid for building design and construction.



Wheelchair Obstacles

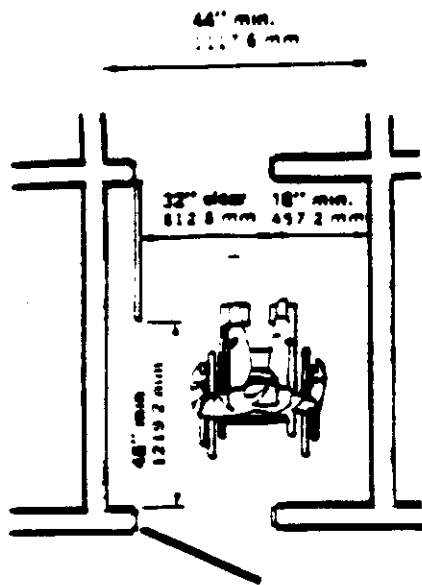
Figure 33-1

- 2-3301(m) 3 Recessed doormats must be adequately anchored to prevent interference with wheelchair traffic. (See above)
- 2-3303(e) Every required exit must be large enough to permit a door at least three feet wide and six feet, eight inches high. Exit doors shall open at least 90 degrees, and provide a clear width of at least 32 inches.
- 2-3303(i) 1 The floor or landing shall be no more than 1/2 inch lower than the doorway threshold. Changes in level between 1/4 inch and 1/2 inch must be beveled, with a slope no greater than 50%. A ramp must be provided if the change in level is greater than 1/2 inch.

P87-371

9-24-87

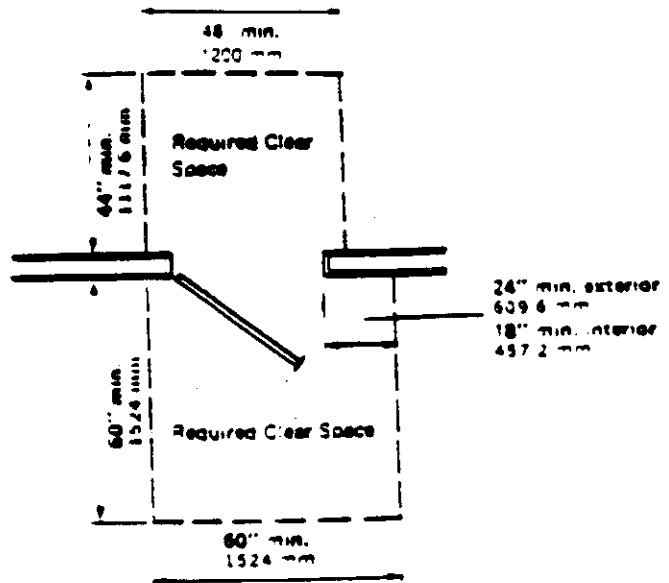
Item 19



Vestibule
FIGURE 33-5A

Space is necessary to allow backing and turning space for a wheelchair to clear the intervening door.

Door Clearances



Level Floor or Landing

Figure 33-2

- 2-3303(1) 2 A level, clear area is to be created on each side of an exit door. The area should be at least 60 inches in the direction of the door swing, and 44 inches in the opposite direction of the door swing, as measured at right angles to the door in its closed position.
- 2-3303(1) 2.C The width of this level area must extend 24 inches past the strike edge of the door for the exterior door, and 18 inches past the strike edge for interior doors.
- 2-3303(1) 2.B In individual apartment house units, the level area must be 44 inches long, both in the direction, and opposite the direction, of the door swing, as measured at right angles to the plane of the door in its closed position.
- 2-3303(1) Exception 3 In apartments, private garages and sheds, where a door opens over a landing, the landing should be as long as the door width. Screen doors and storm doors may swing over stairs. The landing doesn't have to be as long as the screen doors and storm doors, but should be as long as the door width.

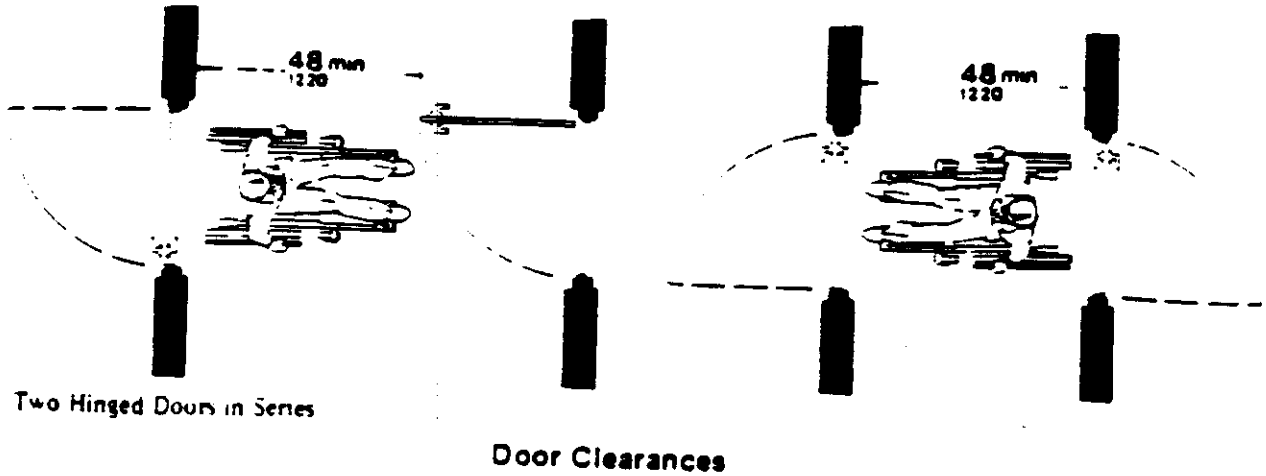
P87-371

9-24-87
November 7, 1985

Item 19,
Plan No. 2

2-3301(1) 2.0

The space between two consecutive door openings in a vestibule, serving other than a required exit stairway, must have at least 48 inches of clear space from any door opening into the vestibule when the door is positioned at 90 degrees from its closed position. Doors in a series must swing either in the same direction or away from the space between the doors. (See below)



Type of Lock or Latch

Exit doors must open from the inside without a key, or any special knowledge or effort. Exit doors from buildings or rooms serving 10 or fewer occupants may have a night latch, dead bolt, or security chain, as long as the doors can still be opened from the inside without a key, special knowledge or effort. In addition, these devices are not to be mounted more than 48 inches above the floor. Manually operated edge bolts, surface-mounted flush bolts and surface bolts are prohibited. When exit doors are used in pairs and automatic flush bolts are used, the door leaf with the flush bolt must have no lockhead or surface-mounted hardware. The unlatching of any leaf must not require more than one operation.

2-3303(1)

2-3303(2) 3

Hand activated door opening hardware is to be between 30 and 44 inches above the floor. Latching and locking doors that are hand activated and in a path of travel should have lever type hardware, panic bars, push-pull activating bars, or other hardware that provides passage without grasping the hardware. Doors to individual units must operate similarly, except that when the bolt and unlatching operation is performed with a key from the corridor or exterior side of the door, large bow keys (2 inch full bow or 1-1/4 inch half bow) must be provided instead of lever type hardware on the corridor side. Separate dead lock activation on the room side of corridor doors must have a lever handle or large thumb turn in an easily reached location.

Hardware

2-3303(1) 1

Exit door hardware needs to be an approved type tested in accordance with the procedures established by State Fire Marshal Standards 33.2 and 33.3.

P87-371

9-24-87

Item 19

2-3303(1) 2

Maximum effort to operate doors must not exceed 8.5 pounds for exterior doors and 5 pounds for interior doors. This maximum effort is measured as the amount of push or pull applied at right angles to hinged doors, and at the center plane of sliding or folding doors. Compensating devices or automatic door openers may be used to meet these standards. When fire doors are required, the maximum effort to operate the door may be increased up to 15 pounds.

Construction

2-3303(m)

The bottom 10 inches of all doors, except automatic and sliding doors, must have a smooth, uninterrupted surface to allow the door to be opened by a wheelchair footrest without catching on or trapping the wheelchair.







Corridors

2-3304(b) 1

Every corridor serving 10 or more occupants must be at least 44 inches wide. All corridors within apartment house units are to be at least 36 inches wide.

2-3304(b) 2

Corridors over 200 feet long require:

-  A minimum clear width of 60 inches; or
-  At a central location, a wheelchair turning or passing alcove that is at least 60 inches by 60 inches; or
-  At a central location, an intervening cross or tee corridor, at least 44 inches wide; or
-  A door at a central location.

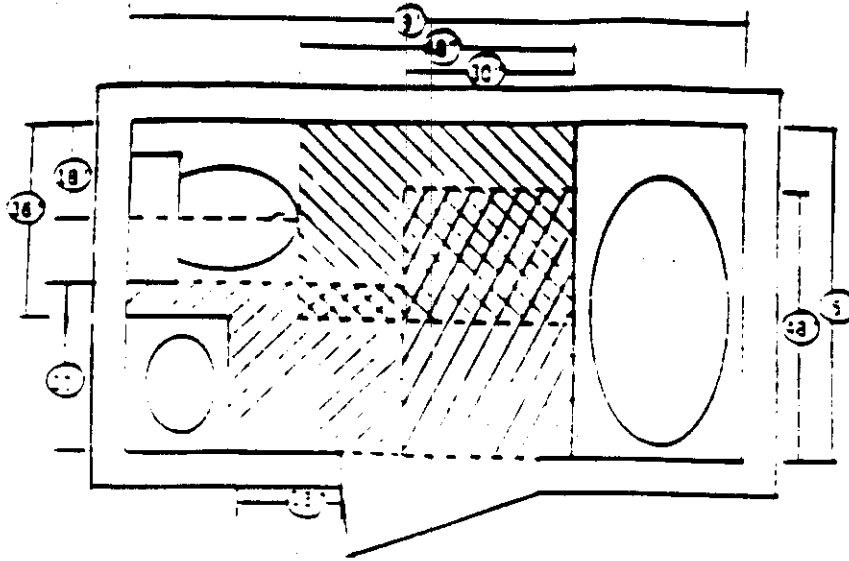
P87-371

9-24-87

Item 19

The Accessible Bathroom:

Design considerations for compliance using a minimum of floor space area.



This design example depicts one approach towards compliance and should not be construed as the only approach available.

DOOR:

- Minimum clear opening of 32 inches
- Due to the minimum of floor area used in this design example, the door must open away from the interior to prevent any infringement on the clear space required in front of the toilet
- The 18-inch clear space to the side of the strike edge is as shown

LAVATORY:

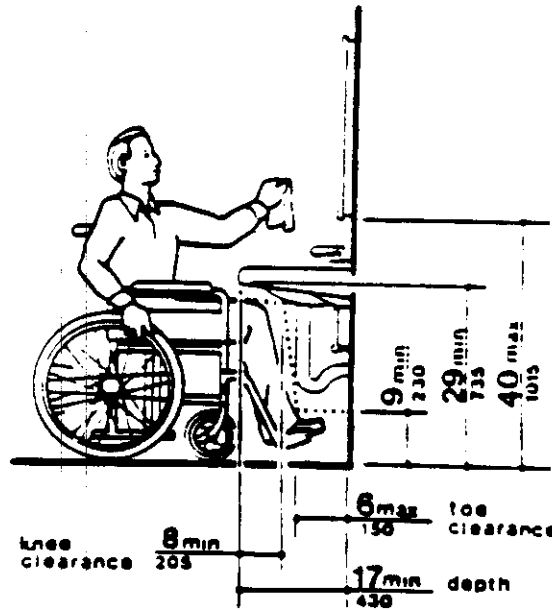
The 30" X 48" clear floor space requirement includes the area under the lavatory and overlaps a portion of the clear space requirements of the toilet (as shown)

TOILET:

The 36" X 48" clear floor space requirement overlaps a portion of the clear space requirements of both the lavatory and the bathtub

BATHTUB:

A clear floor space of at least 48" (example has 60 inches) was provided in front of the bathtub for the maneuvering of a wheelchair, which implies a minimum width requirement of 30" perpendicular to the tub



The lavatory must be mounted with a clearance of at least 29 inches from the floor to the bottom of the apron with knee clearance under the front lip extending a minimum of 30 inches in width with 3 inches minimum depth at the top. Toe clearance is the same width and must be a minimum of 9 inches from the floor and a minimum of 17 inches deep from the front of the lavatory. (See above)

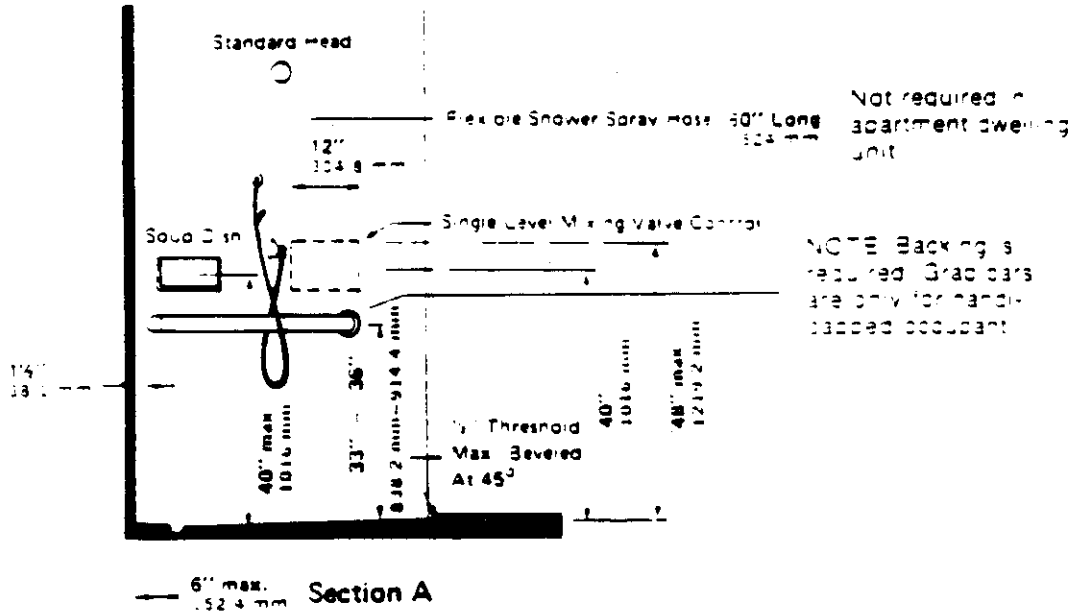
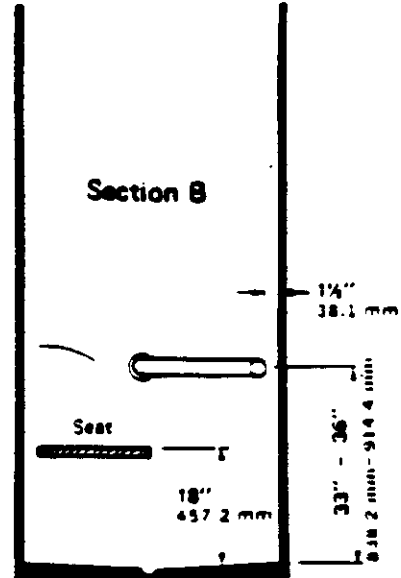
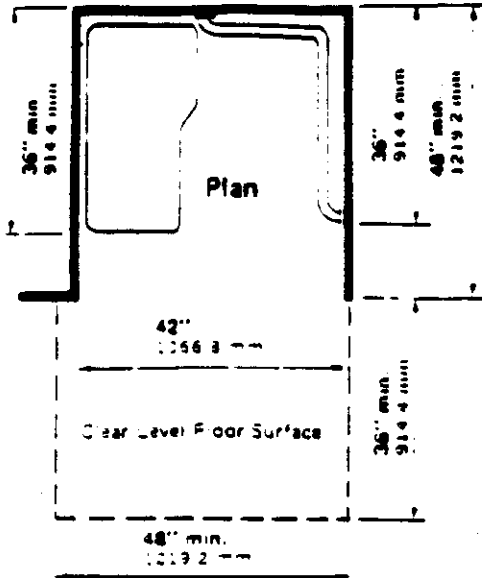
Faucet controls are to be operable with one hand and require no more than 5 lbs. of force to activate. Examples of acceptable designs are lever-operated and push-type controlled mechanisms.

P87-371

9-24-87

Item 19

18" 24"
457.2 mm 609.6 mm



Shower Stall

Figure 17-2

This diagram illustrates the specific requirements of these regulations and is intended only as an aid for building design and construction.

Accessible Showers

9-24-87

November 7, 1985

Item 19.
Item No. 1

P87-371
#85-101

- 2-1213(d) 5
Exception 5
- 2-1711(h) 1
- 2-1711(h) 2
- 2-1711(h) 3
- 2-1711(h) 3.E
- 2-1711(h) 4
- Grab bars do not need to be provided. However, support backing must be built in accordance with grab bar height and length requirements to allow for future installation of grab bars.
- Support backing needs to be placed on each side, or on one side and the back of the toilet, 33 inches above and parallel to the floor. Support backing at the side shall be at least 42 inches long, with the front end 24 inches in front of the toilet. Support backing at the back must be at least 36 inches long.
- Should the builder install grab bars, the diameter or width of the gripping surface is to be 1-1/4 to 1-1/2 inches, or the shape must provide an equivalent gripping surface. When grab bars are mounted adjacent to a wall, the space between the wall and the grab bars is to be 1-1/2 inches.
- The structural strength of grab bars, tub and shower seats, fasteners and mounting devices must withstand at least 250 pounds of lateral load.
- Grab bars can not rotate within their fittings.
- A grab bar and any wall or surface adjacent to it must be free of any sharp or abrasive elements. Edges must have a minimum radius of 1/8 inch.



Further questions about these regulations can be directed to the California Department of Housing and Community Development, 6007 Folsom Boulevard, Sacramento, CA 95819. Handicapped regulations for public buildings and publicly funded living accommodations, hotels and motels are under the jurisdiction of the Office of the State Architect, Handicapped Access Compliance Unit, 1500 Fifth Street, Sacramento, CA 95814. Questions regarding handicapped parking regulations should be directed to local building and planning departments.

P87-371

9-24-87

Item 19.

BERNARD M. KITT, Ph.D.

Licensed Marriage, Family and Teenage Counselor

33 Keel Court

Sacramento, California 95833

PHO 391-1573

CITY PLANNING DIVISION

SEP 16 1987

RECEIVED

City of Sacramento
Department of Planning and Development
1231 J Street
Sacramento, California

Dear Members,

My wife Anne and I own the apartment complex of
the proposed variance reducing the number of units to 90.
We wish to protest approval.

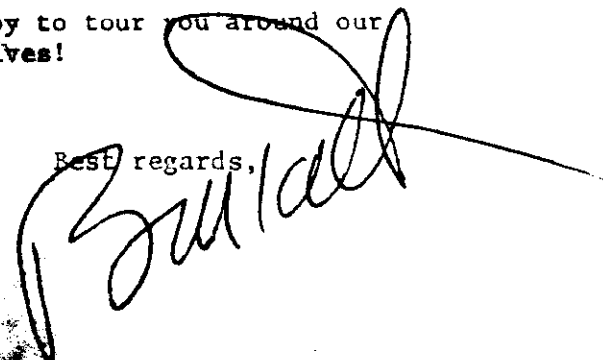
We have 11 units in our apartment complex. The tenants are all seniors
of age, the oldest age 96. Every unit has a car, and they all drive. Until very recently, the tenants in one of the
units had three cars, and drove all three.

There is also visitors, overnight guests, deliveries, workmen, and
management requirements. Let me assure you that because one might
be classified as a Senior Citizen, that in no way translates into
being without a car!

For both the short-term and long range planning in this rather densely
populated area, we urge you to firmly deny the Variance.

Thank you in advance. We will be most happy to tour you around our
"Senior Citizen" complex to see for yourselves!

Best regards,



Life Fellow, California Association of Marriage and Family Counselors

Fellow, American Orthopsychiatric Association

Member, Mensa Society

P87-371

9-24-87

Item 19