

**CITY OF SACRAMENTO**

**Permit No: 9810205**

**1231 I Street, Sacramento, CA 95814**

**Insp Area: 4**

**Site Address: 2201 NORTHVIEW DR SAC**

**Sub-Type: NOTHR**

**Parcel No: 2740110048**

**BUILDING 2**

**Housing (Y/N): N**

**CONTRACTOR**

**OWNER**

**ARCHITECT**

RIVER GARDEN HOUSING ASSOCC.  
3451 5th Av  
SACRAMENTO CA 95817

**Nature of Work: ULITY BUILDING, 11 X 30**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date 11/10/83 Owner Signature [Signature]

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 11/10/83 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

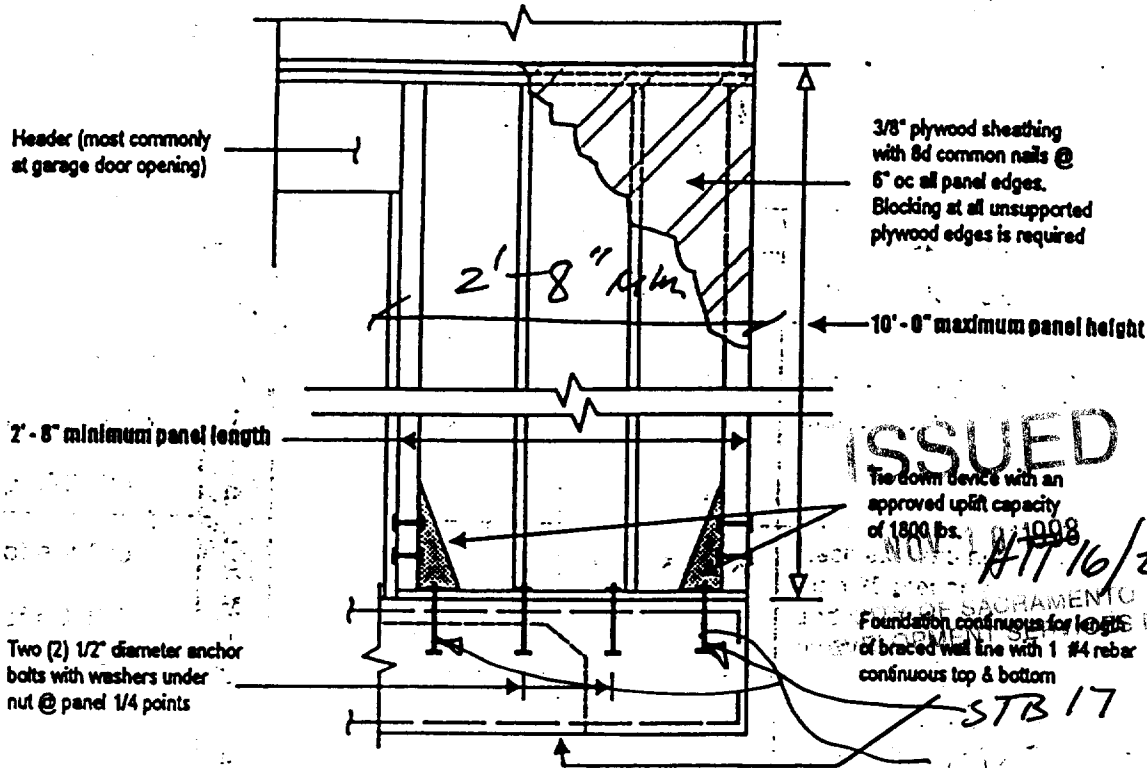
(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 11/10/83 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

# ALTERNATE BRACED WALL PANEL at One Story Building



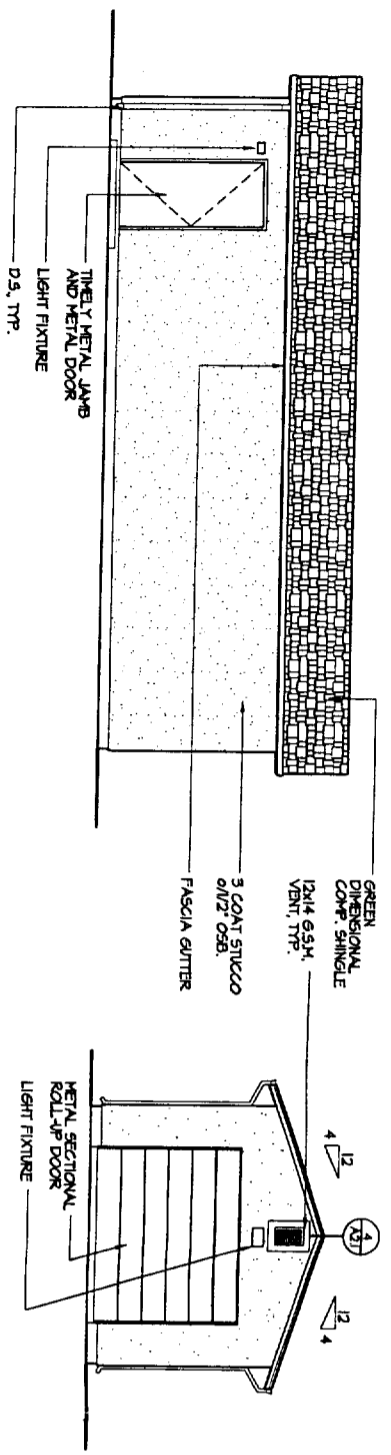
3/8" plywood sheathing  
with 8d common nails @  
6" oc all panel edges.  
Blocking at all unsupported  
plywood edges is required

10'-0" maximum panel height

2'-8" minimum panel length

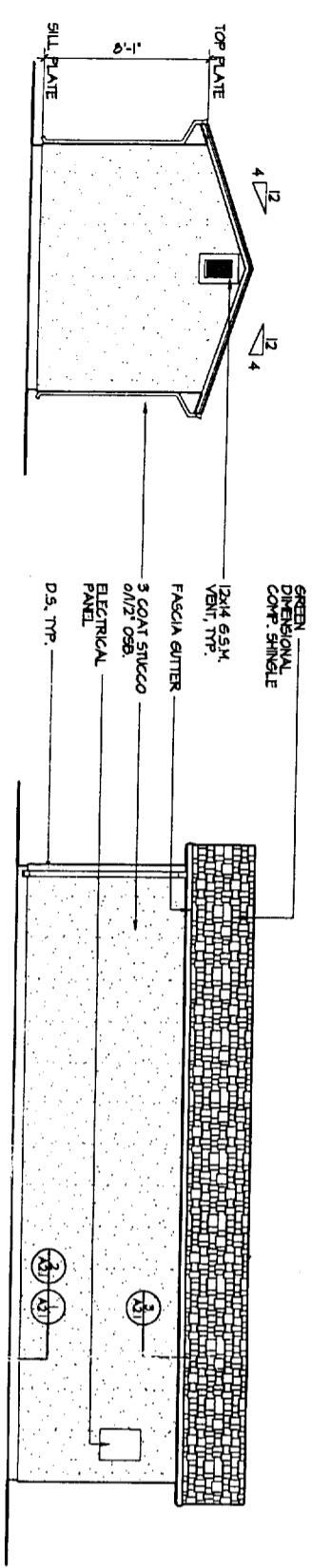
Two (2) 1/2" diameter anchor  
bolts with washers under  
nut @ panel 1/4 points

**ISSUED**  
The down device with an  
approved uplift capacity  
of 1800 lbs. 1008  
NOV 16/22  
DIVISION OF SACRAMENTO  
FOUNDATION CONTINUOUS FOR 10' OF  
OF BRACED WALL LINE WITH 1 #4 REBAR  
CONTINUOUS TOP & BOTTOM  
**STB 17**



4 RIGHT ELEVATION  
WORKMAINTENANCE SHED 1/4"=1'-0"

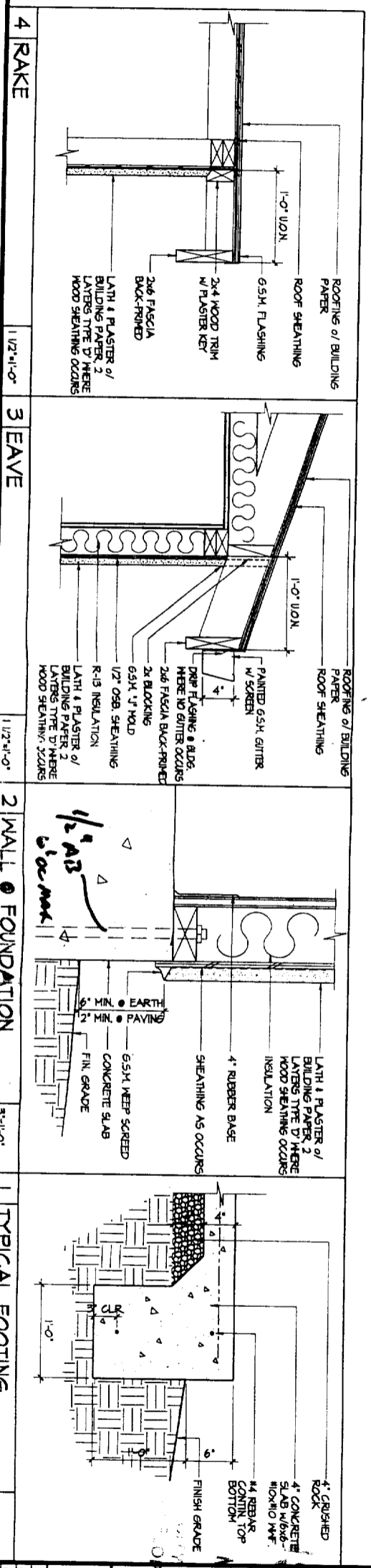
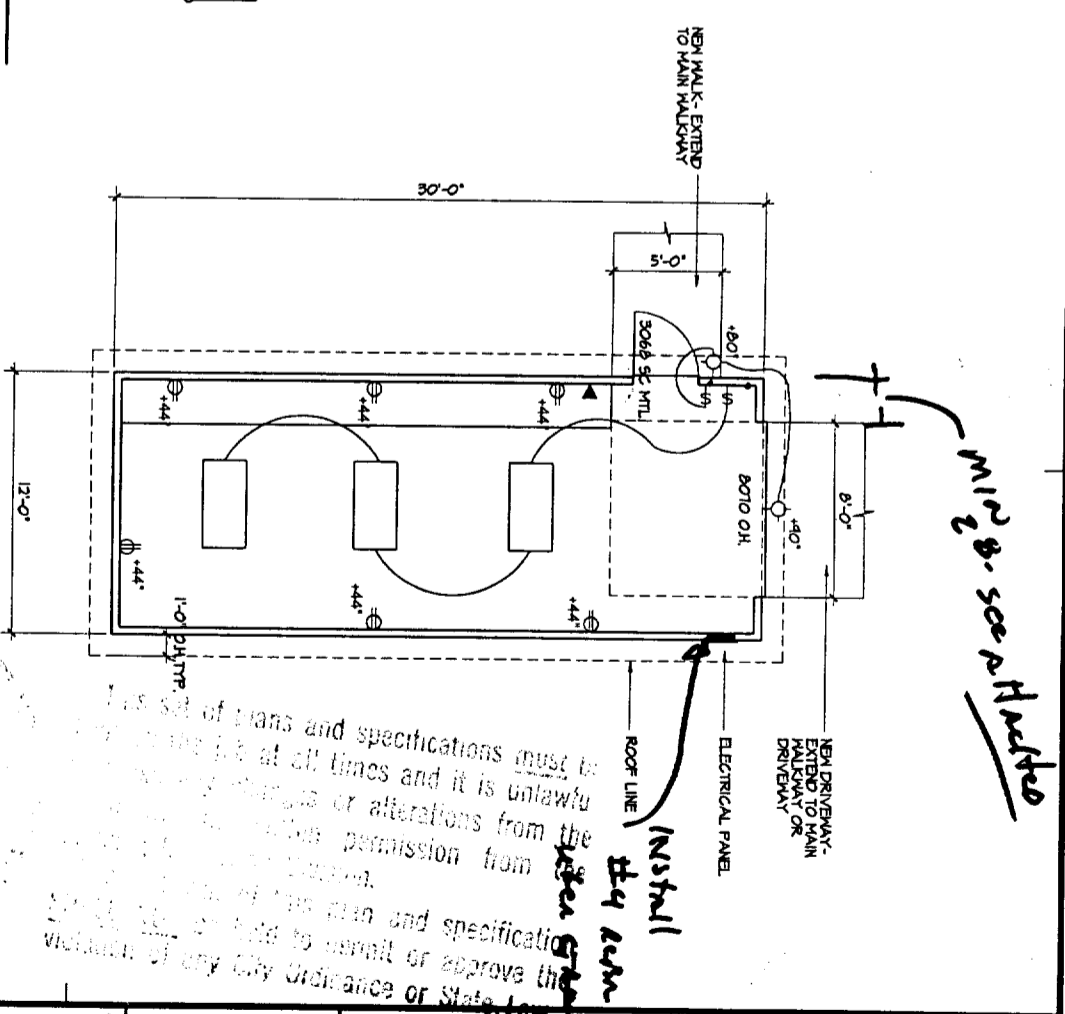
2 FRONT ELEVATION  
WORKMAINTENANCE SHED 1/4"=1'-0"



5 REAR ELEVATION  
WORKMAINTENANCE SHED 1/4"=1'-0"

3 LEFT ELEVATION  
WORKMAINTENANCE SHED 1/4"=1'-0"

1 FLOOR PLAN  
WORKMAINTENANCE SHED 1/4"=1'-0"

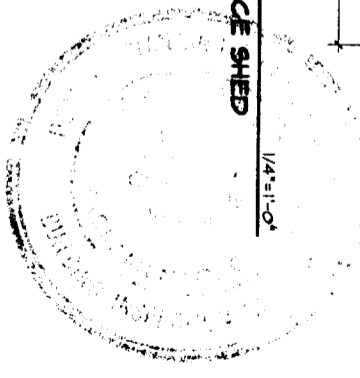


4 RAKE

3 EAVE

2 WALL & FOUNDATION

1 TYPICAL FOOTING



All sets of plans and specifications must be kept on file at all times and it is unlawful to make any changes or alterations from the original without the written permission from the architect. The architect shall not be held liable for any errors or omissions on the part of the contractor. The contractor shall be held to comply with all applicable laws, codes, ordinances, and specifications of any City Ordinance or State Code.

**SHIMOITSU ARCHITECTURE**  
 2705 K Street, Suite 4  
 Sacramento, CA 95816  
 Tel: 916.325.1800  
 Fax: 916.325.9885  
 Email: shimoitsu@shimoitsu.com

**OVER PARTIAL REVISIONS**  
 2201 NORTHVIEW DRIVE  
 SACRAMENTO, CA 95833  
 PROJECT SERVICES DIV.

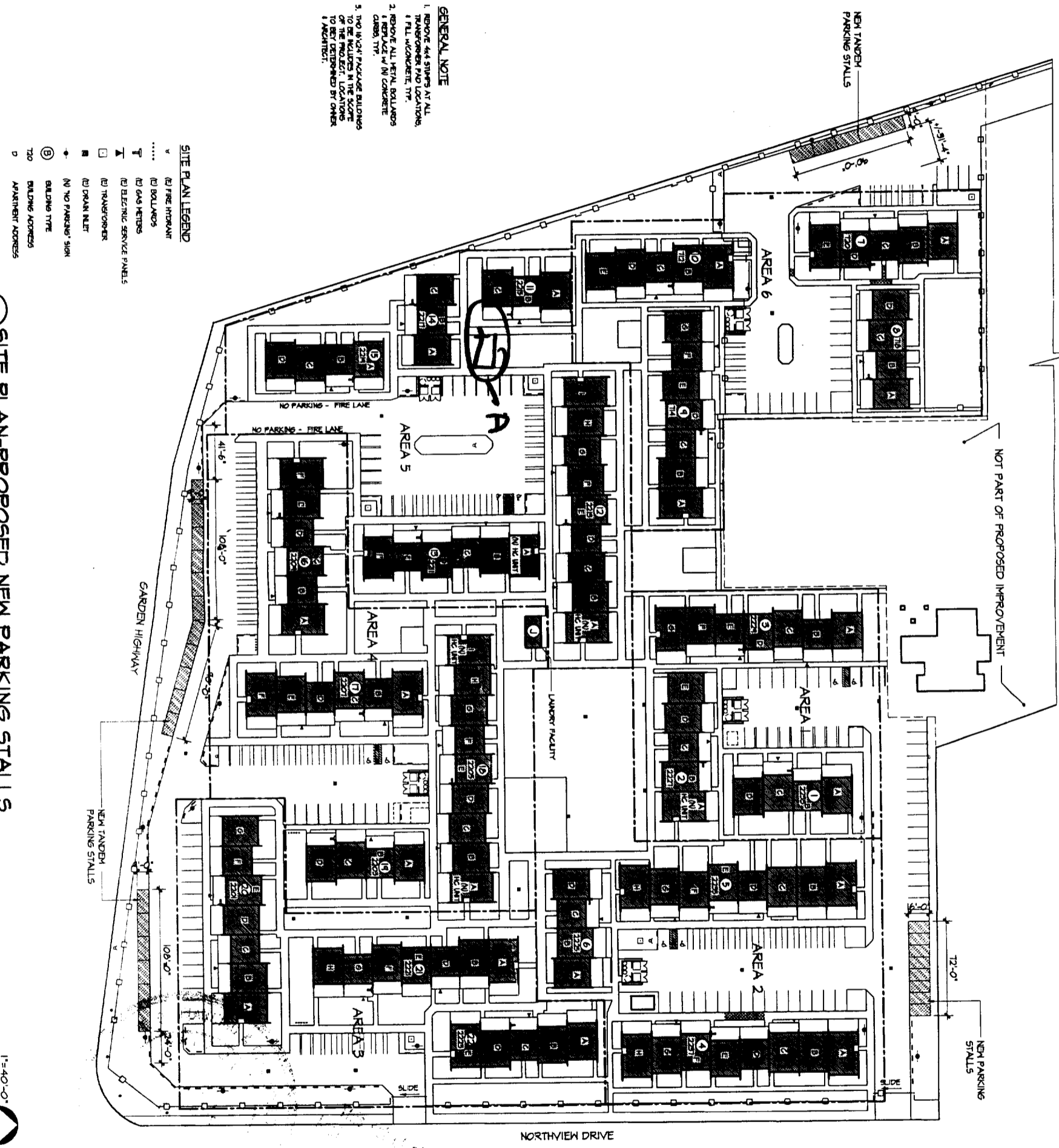
Project: OVER PARTIAL REVISIONS  
 2201 NORTHVIEW DRIVE  
 SACRAMENTO, CA 95833  
 PROJECT SERVICES DIV.

Sheet: A2.1

Scale: 1/4"=1'-0"

Drawn: DA  
 Checked: GRS  
 Date: 10/15/07

50/50204/05



**GENERAL NOTE**

1. REMOVE 4x4 STUBS AT ALL TRANSFORMER PAD LOCATIONS, FILL ACCORDING, TYP.
2. REMOVE ALL METAL BOLLARDS & REPLACE W/ IN CONCRETE CURBS, TYP.
3. TWO IN-SITU PACKAGED BUILDINGS TO BE INCLUDED IN THE SCOPE OF THE PROJECT. LOCATIONS TO BE DETERMINED BY OWNER & ARCHITECT.

- SITE PLAN LEGEND**
- (A) FIRE HYDRANT
  - (B) BOLLARDS
  - (C) GAS METERS
  - (D) ELECTRIC SERVICE PANELS
  - (E) TRANSFORMER
  - (F) DRAIN INLET
  - (G) NO PARKING SIGN
  - (H) BUILDING TYPE
  - (I) BUILDING ADDRESS
  - (J) APARTMENT ADDRESS

**1 SITE PLAN-PROPOSED NEW PARKING STALLS**



**SHIMOTSU ARCHITECTURE**  
 2705 K Street, Suite 1  
 Sacramento, CA 95816  
 Tel. 916.535.1880  
 Fax. 916.535.1885  
 Email: info@shimotsu.com

These drawings and accompanying specifications are instruments of service and the entire project shall be constructed in accordance with them. They were prepared, reviewed, or made a part of the contract documents by the Architect. This is the Architect's responsibility and the Architect shall not be held responsible for any errors or omissions in the drawings or specifications or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by negligent or willful acts or omissions of the contractor or any subcontractor, or by any cause beyond the Architect's control.

- 1 OWNER'S REVISION 10/15/97
- 2 OWNER'S REVISION 12/22/97
- 3 BLDG DEPT. P.C. COMMENTS 12/14/98

**APPROVED**

Project: RIVER GARDEN ESTATES  
 180 TOWN CENTER DRIVE  
 SACRAMENTO, CA 95811  
 998

CITY OF SACRAMENTO  
 DEVELOPMENT SERVICES DIV

Drawn: VC  
 Check: GRS  
 Date: 10/15/97

Sheet: A1.1A