

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	The Spink Corporation - P.O. Box 2511, Sacramento, CA 95811
OWNER	Home Savings and Loan - 3731 Wilshire Boulevard, Los Angeles, CA 90010
PLANS BY	The Spink Corporation - P.O. Box 2511, Sacramento, CA 95811
FILING DATE	4-4-86
ENVIR. DET.	Ex. 15305a
REPORT BY	LP-sg
ASSESSOR'S-PCL. NO.	225-653-16,17; 225-655-36,37; 225-660-65,66; 225-670-75,76; 225-670-77,78; 225-670-71,72,73,74,81-86

APPLICATION: Lot Line Adjustment to merge 20 parcels into 10 corner lots

LOCATION: Various corner lots in Meadowood Unit 1

PROPOSAL: The applicant is requesting the necessary entitlement to convert halfplex lots into detached single family lots.

PROJECT INFORMATION:

1974 General Plan Designation: Residential

1986 South Natomas Community

Plan Designation: Low Density Residential

Existing Zoning of Site: R-1A

Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant; R-1, R-1A

South: Vacant, single family; R-1, R-1A

East: Vacant, power line corridor; R-1

West: Vacant, single family; R-1, R-1A

Property Dimensions: Varies

Property Area: 1.6± acres total

Density of Development: 7.8± d.u. per acre

Topography: Flat

Street Improvements: Existing

Utilities: Existing

BACKGROUND: The subject sites are within the Meadowood PUD (P-8247, approved by the City Council 9-17-78). The 1977 South Natomas Community Plan encouraged a mix of housing types, and to insure compliance with this policy, the applicant originally designated 15 corner lots for duplexes and 17 corner lots for halfplexes (P-9396, approved by the City Council 7-7-81). The applicant subsequently increased the number of halfplex lots in the subdivision by 23 lots (46 halfplexes) due to the demand for halfplexes at that time (P82-122). The applicant then proposed to convert Unit 3 of the subdivision from 199 standard-sized lots to 299 "petite" lots; this was approved by Council on October 15, 1983 (P83-300).

Although This change eliminated the halfplexes, at the time staff felt the "petite" lot subdivision was in keeping with the policy encouraging a "departure from past typical subdivision setting of countless single family tract homes and an occasional cluster of apartments."

STAFF EVALUATION: Staff has the following comments:

- A. Land Use: With the exception of eight houses originally constructed as model homes for the subdivision (P-8882) and three constructed halfplexes, the subdivision is vacant. Land uses surrounding the subdivision are the "petite" lot single family residences under construction to the north, single family residences to the south and west, and a power transmission corridor to the east.
- B. Proposal: The subdivision currently contains 15 lots which have been split for halfplex developments. Four of these lots (eight homes) have been constructed. The applicant is proposing to merge 10 of these lots (or 20 homesites) to construct 10 single family residences. This will leave one lot available for construction of a halfplex.

The applicant submitted building footprints of the proposed single family residences, all of which show the driveways from the minor streets. This will create a streetscape along Bridgeford Drive in which only side yard fences will be seen. Staff is therefore recommending the two abutting halfplex lots on Bridgeford Drive, between Guava and Zenobia Streets, remain as halfplex lots. This will leave three lots (six halfplexes) plus the existing eight halfplexes, which maintain a housing type mix in the area plus an attractive streetscape.

ENVIRONMENTAL DETERMINATION: The project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15305(a)).

RECOMMENDATION: Staff recommends approval of the lot line mergers subject to conditions, by adopting the attached resolution.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION

ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGE
10 HALF PLEX LOTS INTO FIVE SINGLE FAMILY
LOTS AS PER EXHIBITS A AND B;
APN: 225-653-16, 17; 225-655-36, 37;
225-670-71, 72, 81, 82, 85, 86; 225-660-65, 66;
227-670-73, 74, 77, 78 (P86-139)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located on various corner lots in Meadowood Unit 1; and

WHEREAS, the lot line adjustment is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15305(a)); and

WHEREAS, the proposed project is found to be consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for Low Density Residential Use by the 1986 South Natomas Community Plan and the proposed single family residential development conforms with the Plan Designation;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Sacramento:

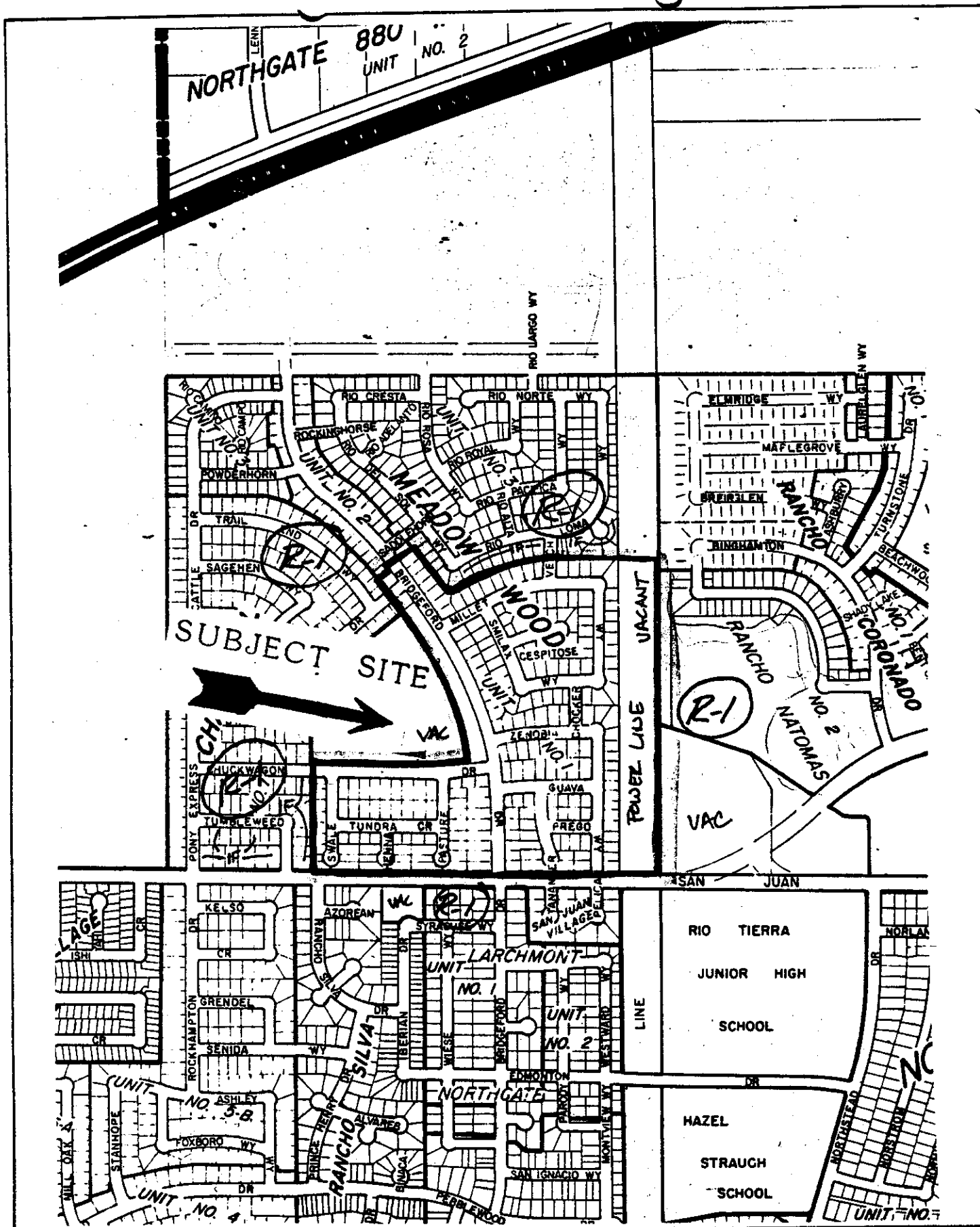
that the lot line adjustment for property located on various corner lots in Meadowood Unit 1, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following conditions:

1. Pay off all existing assessments.
2. The merger is granted for lots 52, 65, 89, 106, 122, 129, 158 and 205, only.

CHAIR

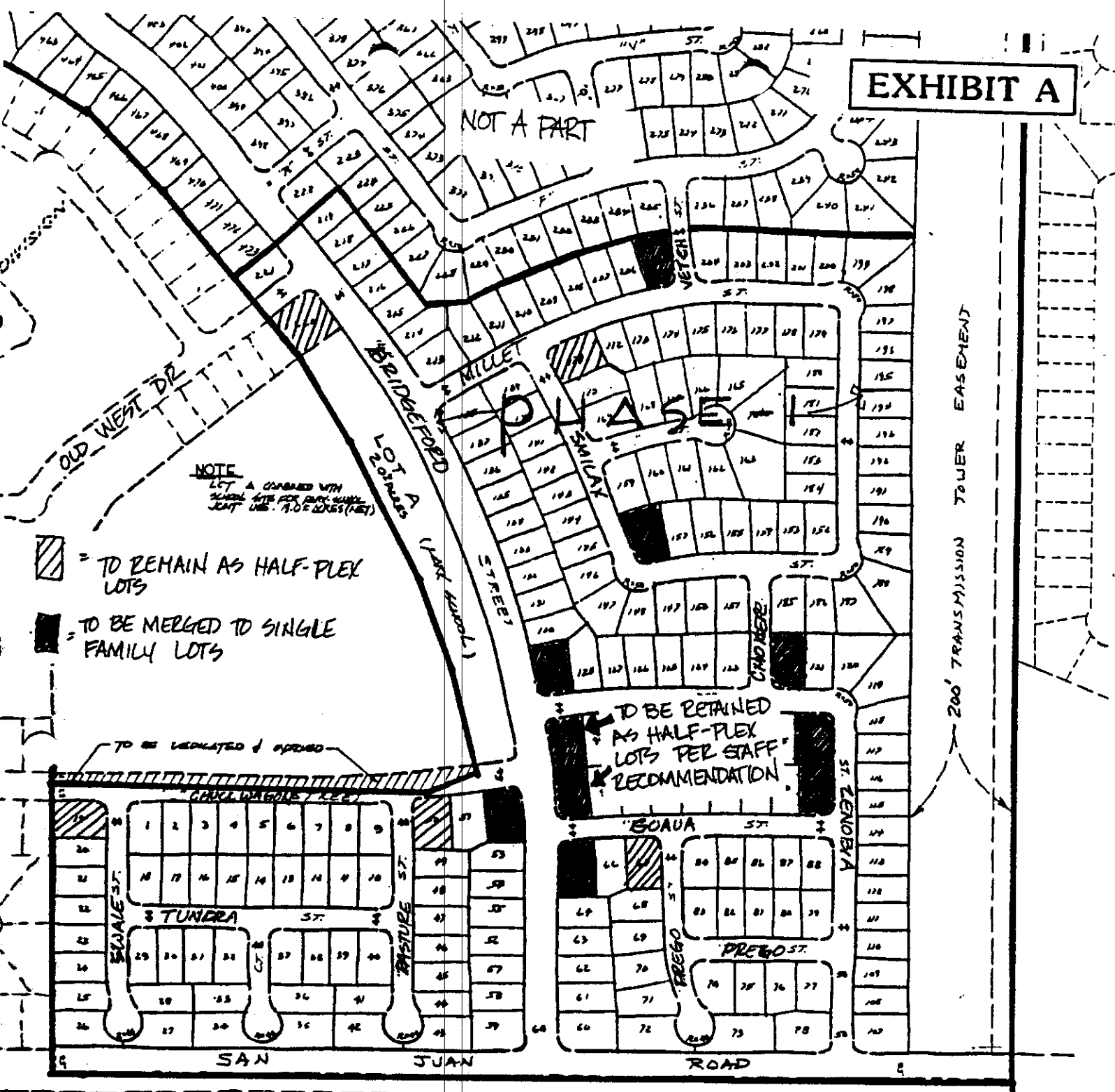
ATTEST:

SECRETARY TO CITY PLANNING COMMISSION



VICINITY - LAND USE - ZONING

EXHIBIT A



NOTE
LOT A COMBINED WITH
SCHOOL SITE FOR PARK-WALK
JOINT USE - 9.0 ACRES (NET)

= TO REMAIN AS HALF-PLEX LOTS

= TO BE MERGED TO SINGLE FAMILY LOTS

TO BE RETAINED AS HALF-PLEX LOTS PER STAFF RECOMMENDATION

200' TRANSMISSION TOWER EASEMENT

REVISED TENTATIVE MAP OF MEADOW WOOD OF SACRAMENTO CALIFORNIA
P86-13A 5-8-86 SCALE = 1"=100'

- RECORD OVER 1.5 INCHES;
- AS PER INVESTMENT CO.
- SACRAMENTO
- RECORDING DIVISION
- INCLUDED USE:
- 20-41 SINGLE FAMILY LOTS (OUTSIDE)
- 22-24 SINGLE LOTS (DETACHABLE GARAGE)
- 1-PARK SCHOOL JOINT USE (LOT A)
- WATER SUPPLY:
- MARSH UTILITY
- SEWAGE DISPOSAL:
- PUBLIC SANITARY
- PROPOSED IMPROVEMENTS:
- SACRAMENTO CITY STANDARDS
- ALLOTMENT:
- 110.2 AC ±
- EXISTING ZONE:
- R1 (COUNTY ZONE)
- PROPOSED ZONE:
- R1 (CITY ZONE)
- PROPOSED BUILDING SETBACKS:
- SACRAMENTO CITY STANDARDS
- ASSESSORS PARCEL NUMBER:
- 315-170-08
- AVERAGE LOT SIZE:
- 587 ± SQ. FT.
- CONSTRUCTION DRAINAGE:
- PARCEL 748 - 230 LOTS
- PARCEL 750 - 253 LOTS

- NOTE:
- 10.5 ± AC ± TOTAL (GR)
 - 22.62 AC ± STREETS
 - 13.9 ± AC ± ROSSING
 - 2.05 AC ± PARK - S
 - 72.0 ± AC ± (NET)
 - 472 LOTS (6.6 ± L.U.)
 - 384 - 117 ± R.V. LOTS
 - 88 CONDO LOTS (approx)
 - 560 DOUBLE WALL

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EXHIBIT B

DESCRIPTION OF EXISTING LOTS

Lots 52, 65, 89, 106, 122, 129, 158 and 205 as said Lots are shown on that certain map entitled "Amended Plat of Meadow Wood Unit No 1", recorded in the office of the Recorder of Sacramento County in Book 138 of Maps, Map No. 18.

P86-139

5-8-86

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