

# CIT PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

**APPLICANT** Dean Unger, 700 Alhambra Blvd., Sacramento, CA 95816  
**OWNER** 880 Norwood Joint Venture; c/o Potter et al., 2707 K Street, Sacramento, CA 95814  
**PLANS BY** Dean Unger 700 Alhambra Blvd., Sacramento, CA 95816  
**FILING DATE** 4-18-86      **ENVIR. DET.** 4-29-86      **REPORT BY** DH:tc  
**ASSESSOR'S-PCL. NO.** 250-0040-047,040

**APPLICATION:** A. Negative Declaration  
 B. Special Permit to construct a 24,835 square foot office, warehouse building in the Norwood/I-80 Business Park PUD (Sec. 8-C-3)

**LOCATION:** Southeast corner of Norwood Avenue and I-80

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct an office/warehouse structure of 24,835 square feet in the Light Manufacturing Labor Intensive, Planned Unit Development (M-1(PUD)(LI) Zone.

**PROJECT INFORMATION:**

1974 General Plan Designation: Labor Intensive Office, Commercial, Light Industrial

1984 North Sacramento Community Plan Designation: Labor Intensive Office, Commercial, Light Industrial

Existing Zoning of Site: M-1 (LI)PUD  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: I-80 & Drainage canal: T-C	Front:	25 ft.	25 ft.
South: Vacant; M-1(LI)PUD	Side(Int):	None	0 ft.
East: Vacant; M-1(LI)PUD	Side(St):	None	55 ft.
West: Manufacturing: M-1(Li)PUD	Rear:	None	60 ft.

Parking Required: 1) Office & Display	6,063 sq. ft.	1/300	19.2 spaces
2) Second Floor Office	3,200 sq. ft.	1/300	10.0 spaces
3) Warehouse	11,922 sq. ft.	1/1000	15.0 spaces
4) Rental Area Office	3,650 sq. ft.	1/300	12.0 spaces
Total	24,835 sq. ft.		56 spaces

Parking Provided: 56 spaces  
 Property Dimensions: 312 ft. x 195 ft.  
 Property Area: 1.4+ acres  
 Square Footage of Building: 24,835 sq. ft.  
 Height of Building: Two story, 23 feet  
 Topography: Flat  
 Street Improvements/Utilities: To be provided  
 Exterior Building Materials: Concrete tilt-up  
 Roof Material: Tar and felt  
 Number of Employees: Per shift 39 current; 100 anticipated  
 Total: 39; 100 anticipated  
 Hours of operation: M-F, 8AM-4PM  
 Exterior Building Colors: Earthtones and hues

BACKGROUND INFORMATION: On May 7, 1985, the Planning Commission approved a rezone, tentative map, PUD designation and development guidelines for Norwood/I-80 Business Park (P85-167). The City Council adopted the PUD Guidelines on June 11, 1985.

On June 13, 1985, the Planning Commission approved a Special Permit to develop a 75,000 square foot office, warehouse and manufacturing facility for Continental Fixtures (P85-219). The subject project is located to the east of Continental Fixtures. (Refer to Master Site Plan)

PROJECT EVALUATION: Staff has the following comments:

- A. Land Use: The subject site is designated Labor Intensive Office, Commercial, Light Industrial in the 1974 General Plan and the 1984 North Sacramento Community Plan. The site is bordered by vacant land designated for commercial, industrial and Labor Intensive uses to the east and south. A drainage canal and Interstate 80 lie to the north and Continental Fixtures lies to the west.

The site is zoned Light Industrial/Labor Intensive with a Planned Unit Development overlay. The proposed use currently occupies space in the Central City and employs 39 people. The applicant has indicated plans for increasing employment to 100 people. Del's Barber and Beauty Supply is primarily a warehouse with limited sales display area and offices. The type of uses proposed are as follows:

Office and Display area - 1st Floor	6,063 sq. ft.
Office Area - 2nd Floor	3,200 sq. ft.
Rental Office Area	3,650 sq. ft.
Warehouse	<u>11,922 sq. ft.</u>
Total	24,835 sq. ft.

The proposed use is compatible with the Del Paso Heights Redevelopment Plan, North Sacramento Community Plan, surrounding land uses and zoning.

- B. Design: The applicant proposes a 24,835 square foot structure to be used for barber and beauty supply storage and sales. The current parking plan shows 56 spaces and one loading dock. Landscaping is proposed along the north, west and south property lines. The building will be constructed of concrete tilt-up panels with roll-up doors, and solar gray glazed window panels for the office area. Rough verticle textured formliner will be placed on the bottom half of the panels on the south and west elevations. Two three inch wide, one inch deep horizontal bands are proposed on the concrete tilt up panels which will be painted in an earthtone trim color. This treatment will provide relief and variation to the south and west elevations.

Staff recommends that the north and east elevations, which are visible from the Interstate 80 right-of-way, provide continuation of the two three

inch wide bands in order to break up the large panel surface. Staff also suggests the formliner fluting element be extended around the structure along the top portion of the tilt-up panels to provide visual relief.

No colors are indicated for the roll up doors. Staff recommends that they be painted a color to match the wall surface of the concrete tilt up panels.

The proposed driveway on the west property line will require a reciprocal access agreement with the owners of Continental Fixtures. Construction of the driveway will also eliminate eight parking spaces shown on the site plan for Continental Fixtures. The applicant is working with Continental Fixtures to relocate the eight spaces in order for the reciprocal driveway access to function. The site plan will require revision to show the relocation of eight spaces to the satisfaction of the Planning Director and Building Inspector.

C. Review of PUD Guidelines: Staff has evaluated the site plan using the PUD guidelines and found several deficiencies.

1. No individual prefabricated wheel stops are allowed in the PUD. The north building elevation has a row of car stalls which will require either a four wide continuous landscape strip with curb or a continuous concrete curb a minimum of two feet from the building wall.
2. No compact car stalls are shown. A minimum of 30 percent of the required spaces should be designed for compact cars and so marked.
3. All interior property lines require a four foot wide continuous landscape strip. The northeast corner should show landscaping along the east property line.
4. The six foot wide landscape strip is required to have evergreen trees planted every 15 lineal feet along the north property line. The Chinese Hackberry is a deciduous tree shown on 25 to 30 foot centers.
5. A six foot raised concrete curbing is required around all planter area.
6. All fencing is required to be a decorative fence. Chainlink fencing is not acceptable as a decorative fence. If fencing is proposed, it shall be reviewed and approved by the Planning Director.
7. Landscaping along the west and south property lines is required to have trees a minimum of one tree per 25 lined feet.
8. Landscaping mix in the 25 foot front yard setback is to include 24 foot box specimin, 15 gallon and 5 gallon size trees with shrubs in 5 and 1 gallon sizes. The proposed landscaping plans use only 15 gallon size trees and no shrubs are indicated.

The applicant indicates that these deficiencies can be corrected. Revised site plans as well as detailed landscape/irrigation plans shall be subject to review and approval of the Planning Director prior to issuance of building permits.

- D. Plans for this project were routed to the City Engineer, Traffic Engineer, Fire Department, Water Division and Redevelopment Agency with the following comments received.

Traffic Engineer:

1. In accordance with the City Zoning Ordinance, the applicant is required to participate in the Transportation Management Plan. A transportation coordinator should be appointed to implement carpools, vanpools, and other trip reduction programs. If a TMP for the PUD is not on file with the City Transportation Coordinator by the time building permits are issued, it is the applicant's responsibility to submit a TMP before a building permit is issued.
2. Reciprocal access agreement is required for driveway shown adjoining Continental Fixtures' property.
3. Dedicate and construct Display Way according to construction plans for Norwood/I-80 Business Park on file with the City Public Works Department.
4. No back-in loading docks.
5. No gates within 20 feet of front property line.
6. No driveways within 13 feet of side property lines.

City Engineer:

No building permit allowed until improvements installed in Norwood 80 Business Park are complete to the satisfaction of the Public Works Department.

- F. The applicant should be aware that the subject project is subject to the City's trip reduction ordinance only to the extent that it relates to a minor development project. A minor project is expected to have between 50 and 199 full-time employees. This project will have 39 to 100. The applicant need only to provide information which describes the various transportation options available to the employee.
- G. No signage program has been submitted for the project. Signs will be required to have sign permits and shall comply with the PUD Guidelines.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant adverse effect on the environment. A Negative Declaration has been filed.

RECOMMENDATION: Staff recommends the following action:

- A. Ratification of the Negative Declaration.
- B. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow:

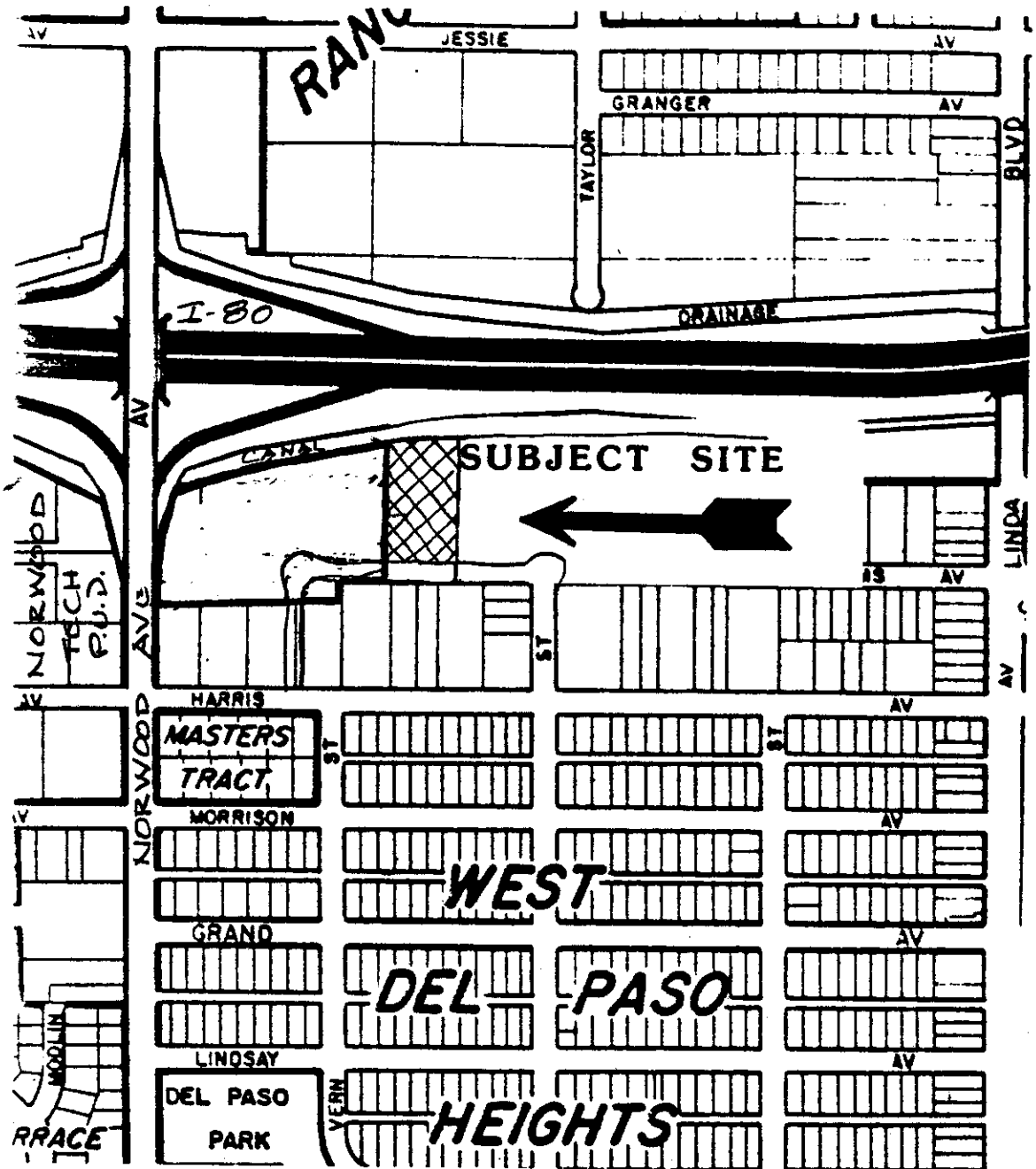
Conditions - Special Permit

1. The following site plan, elevation, and landscape plan revisions shall be submitted for the review and approval of the Planning Director prior to issuance of building permits:
  - a. The 25 foot front yard landscape setback shall be mounded in three to four foot mounds with intensive tree and shrub coverage.
  - b. Additional trees shall be planted along the north property line to screen the building. The PUD Guidelines require evergreen trees on 15 foot centers along the planter strip. A variety of 24 inch specimen, 15 gallon and 5 gallon trees are required with 5 and 1 gallon size shrubs.
  - c. No roll up doors are allowed facing the freeway.
  - d. The exterior elevation shall be revised to show continued horizontal trim band. The use of two three inch wide horizontal form line bands one inch deep shall be painted in a contrasting color compatible with the trim around the entire building.
  - e. Revised elevations shall show textured concrete surface, not a smooth unfinished surface as shown.
  - f. Revised elevations shall show a two to three-foot wide formliner showing vertical fluting along the top portion of the tilt-up panels to enhance the variations of the wall. The formliner shall surround the entire building and provide relief through depth and contrasting texture. The applicant may eliminate the formliner over the south and west elevation where textured form liner is provided on lower portion of tilt-up panel if they so choose.
  - g. All rollup doors shall be painted the same color as the walls.

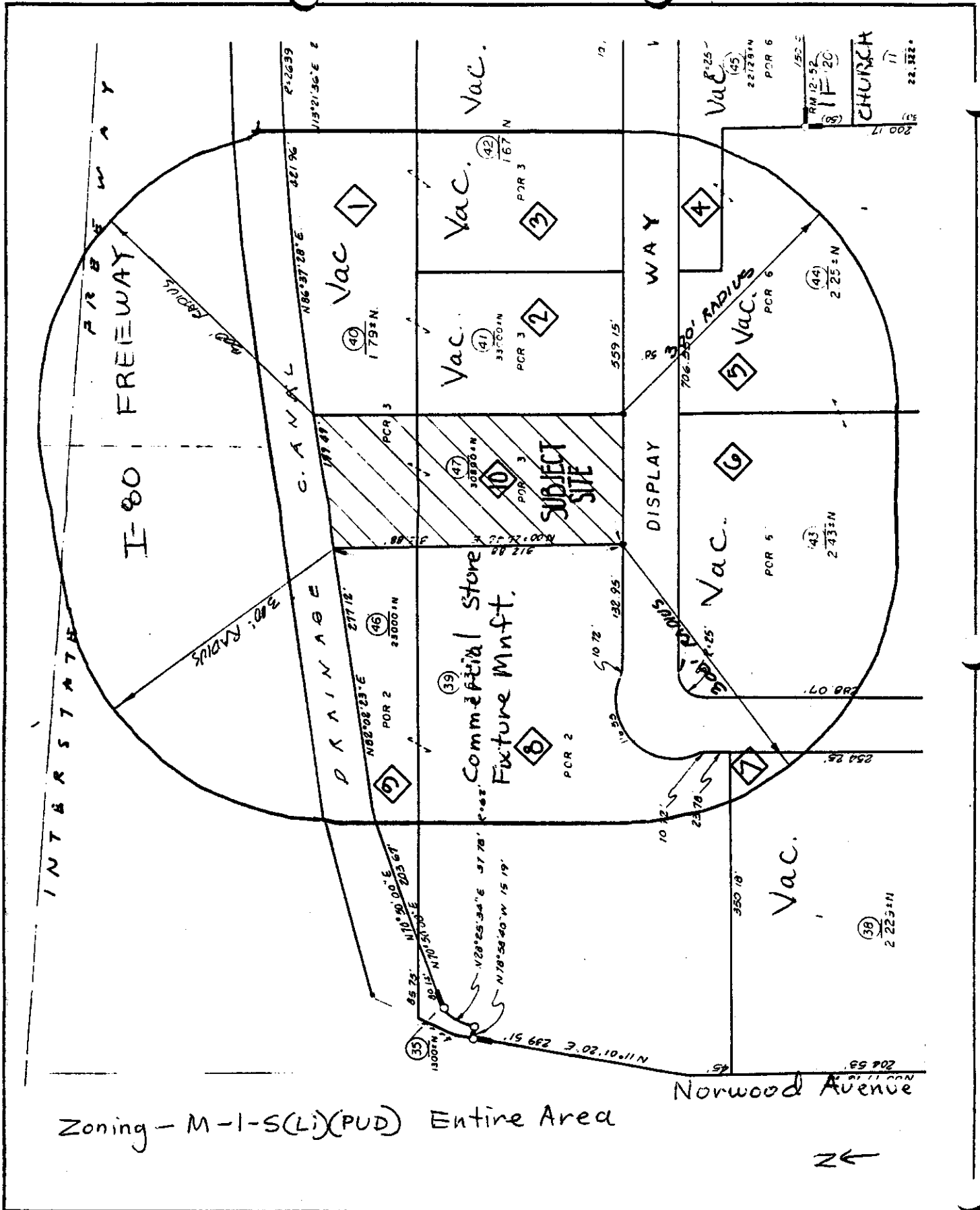
- h. The trash enclosure shall comply with the PUD trash enclosure guidelines.
  - i. No wheel stops are allowed along the north wall parking spaces. Applicant shall install a minimum four foot planter strip along the north wall with a two foot vehicle overhang adjacent to the stall or installation of a continuous concrete curb a minimum of two feet from the north wall.
  - j. Staff recommends the shortening of parking spaces from 18 to 16 feet and incorporate two feet of vehicle overhang into the planters along the property line.
- 2. A sign program shall be submitted to the Planning Director for review and approval prior to issuance of any sign permit.
  - 3. The applicant shall obtain a reciprocal access agreement for the driveway shown adjoining Continental Fixtures' property.
  - 4. The project shall comply with the development guidelines of the Norwood/I-80 Business Park PUD and deficiencies listed in Section C of the report.

Findings of Fact

- 1. The project, as conditioned, is based upon sound principles of land use, in that it is harmonious with the guidelines set forth in the PUD guidelines.
- 2. The project, as conditioned, will not be detrimental to public health, safety or welfare or result in the creation of a nuisance, in that:
  - a. adequate parking is provided;
  - b. adequate landscaping is provided.
- 3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for Labor Intensive Office, Commercial, and Light Industrial by the 1984 North Sacramento Community Plan and the proposed use conforms with the plan designation.



**VICINITY MAP**



Zoning - M-1-S(Li)(PUD) Entire Area

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# LAND USE & ZONING MAP



**SUBJECT SITE**

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- RETAL - GENERAL COMMERCIAL
- SPECIAL PLANNING DISTRICT
- PARKS - OPEN SPACE
- LABOR INTENSIVE
- PUBLIC

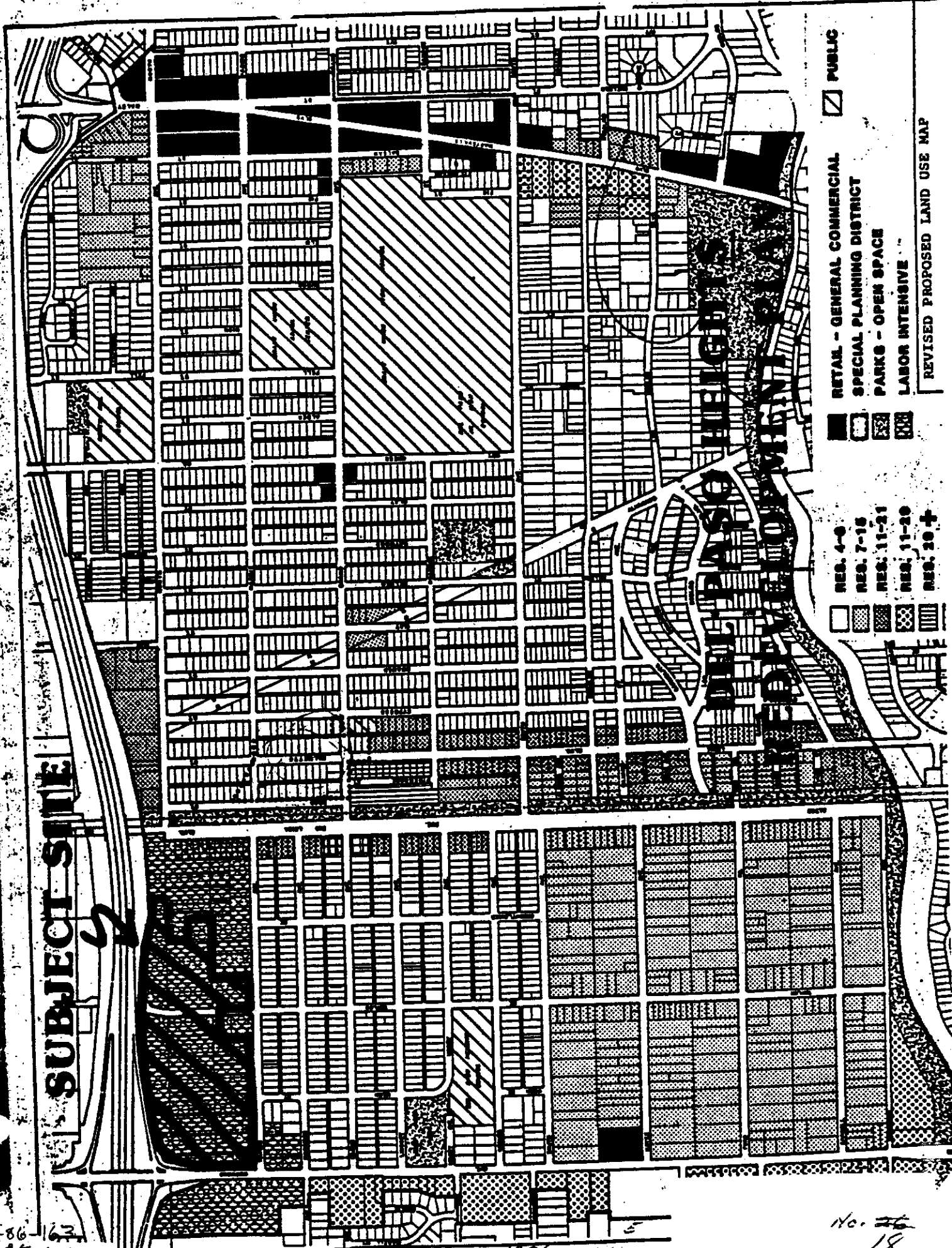
- RES. 4-9
- RES. 7-15
- RES. 11-21
- RES. 11-29
- RES. 20+

REVISED PROPOSED LAND USE MAP

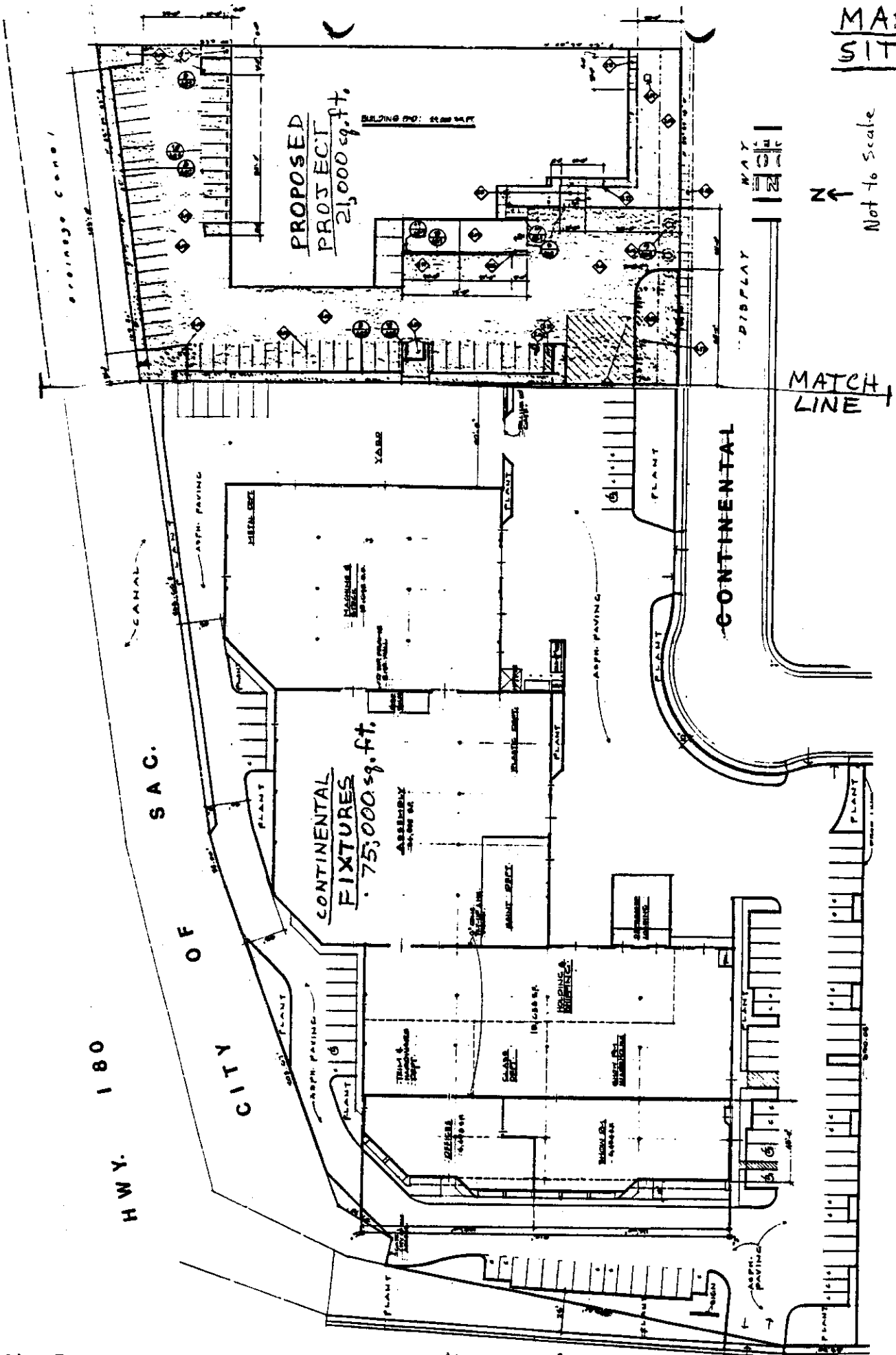
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May 22, 1986

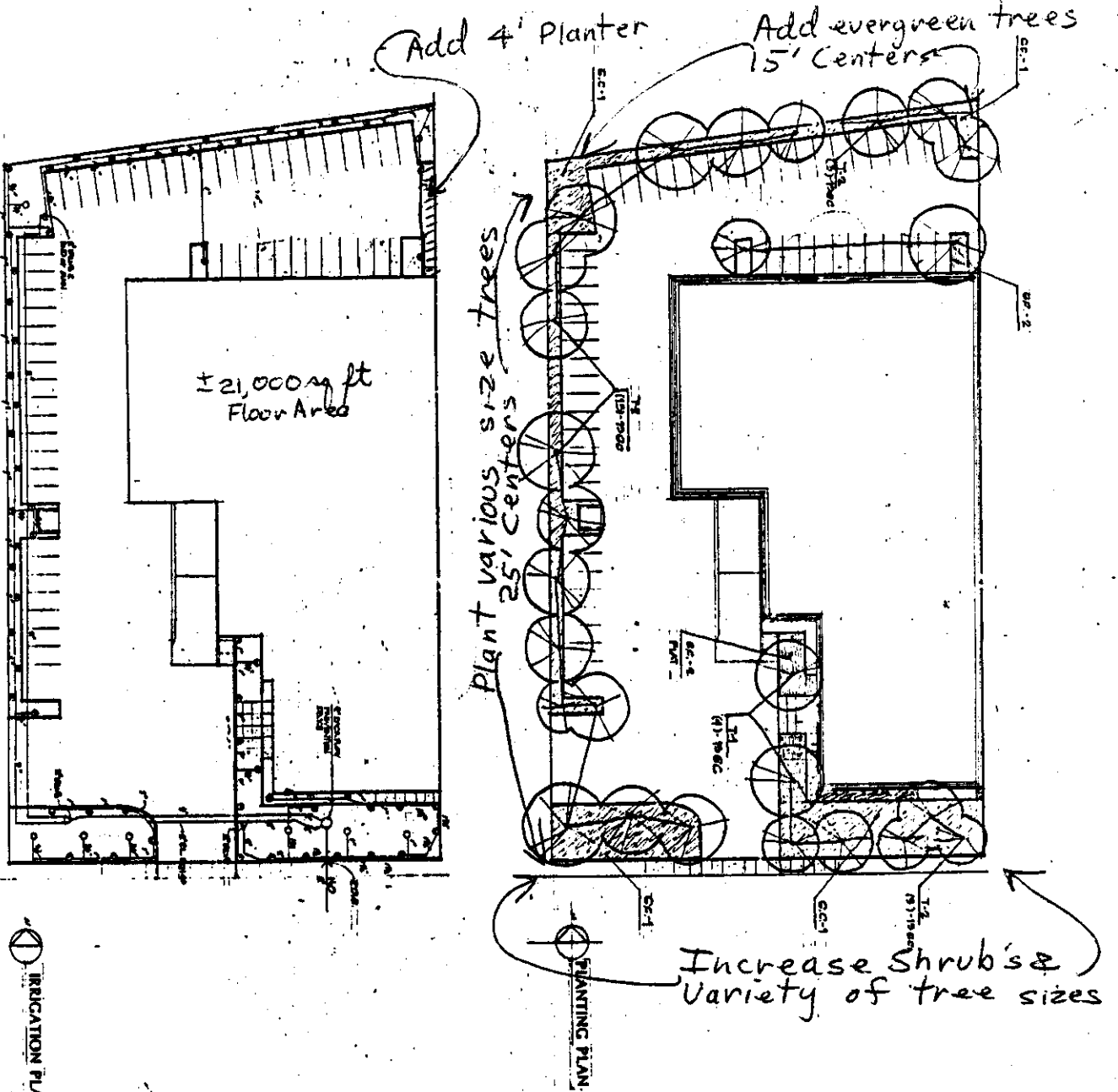
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MASTER SITE PLAN



# LANDSCAPE PLAN



IRRIGATION PLAN

PLANTING PLAN

## PLANT LEGEND

1	Circle with 1	Plant Symbol
2	Circle with 2	Plant Symbol
3	Circle with 3	Plant Symbol
4	Circle with 4	Plant Symbol
5	Circle with 5	Plant Symbol
6	Circle with 6	Plant Symbol
7	Circle with 7	Plant Symbol
8	Circle with 8	Plant Symbol
9	Circle with 9	Plant Symbol
10	Circle with 10	Plant Symbol

## SITE STATISTICS

Area	1,000 sq. ft.
Volume	1,000 cu. ft.
Weight	1,000 lbs.
Length	100 ft.
Width	100 ft.
Height	10 ft.
Perimeter	400 ft.
Diagonal	141.4 ft.
Surface Area	10,000 sq. ft.
Volume	10,000 cu. ft.
Weight	10,000 lbs.

## IRRIGATION LEGEND/NOTES

1. All plants to be installed by the contractor.
   
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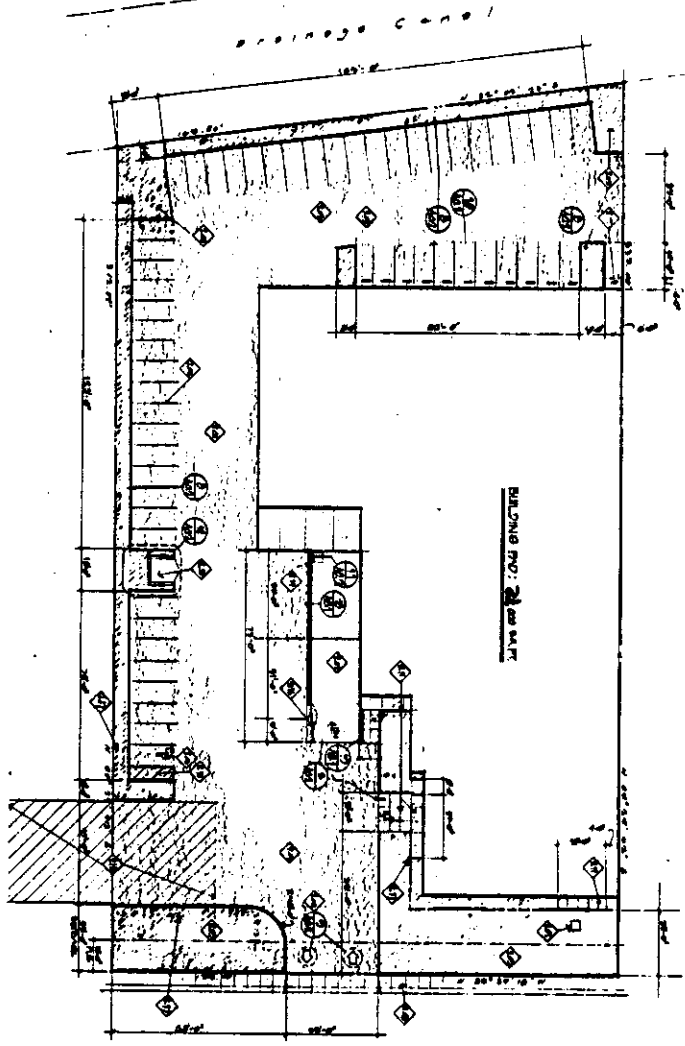
**DEL'S BARBER & BEAUTY SUPPLY**  
 NORWOOD/INTERSTATE 80 BUSINESS PARK

May 22, 1986

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# SITE PLAN



### SITE STATISTICS

Site Area	60,000 sq. ft.	14,400
Area Required	50,000 sq. ft.	11,250
Area Available	10,000 sq. ft.	2,250
Area Reserved	10,000 sq. ft.	2,250
Area Available	10,000 sq. ft.	2,250
Area Reserved	10,000 sq. ft.	2,250
Area Available	10,000 sq. ft.	2,250
Area Reserved	10,000 sq. ft.	2,250
Area Available	10,000 sq. ft.	2,250
Area Reserved	10,000 sq. ft.	2,250

### NOTES

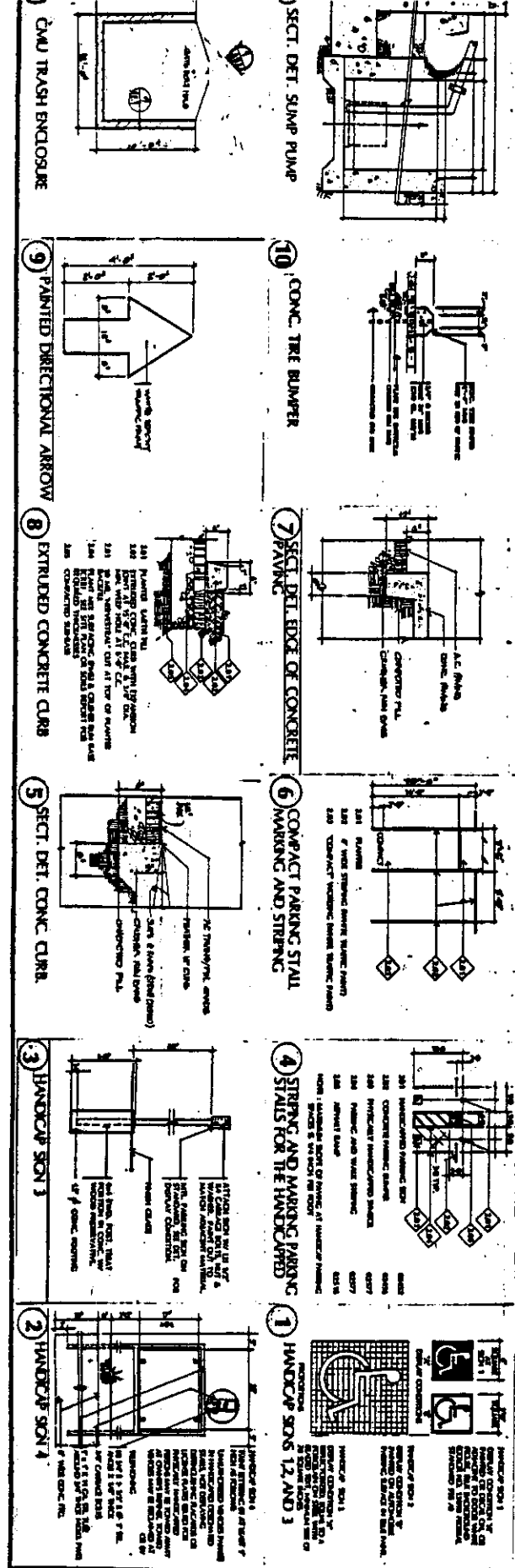
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**DEL'S BARBER & BEAUTY SUPPLY**  
 NORWOOD/INTERSTATE 80 BUSINESS PARK

May 22, 1986

item 18

DEAN F. UNDER  
 ARCHITECT AND  
 ENGINEER  
 10000 N. 100th St.  
 Omaha, Nebraska 68137



Drawn by: [Name]

Checked by: [Name]

Date: 5-20-86

Scale: 1/8" = 1'-0"

Project: [Name]

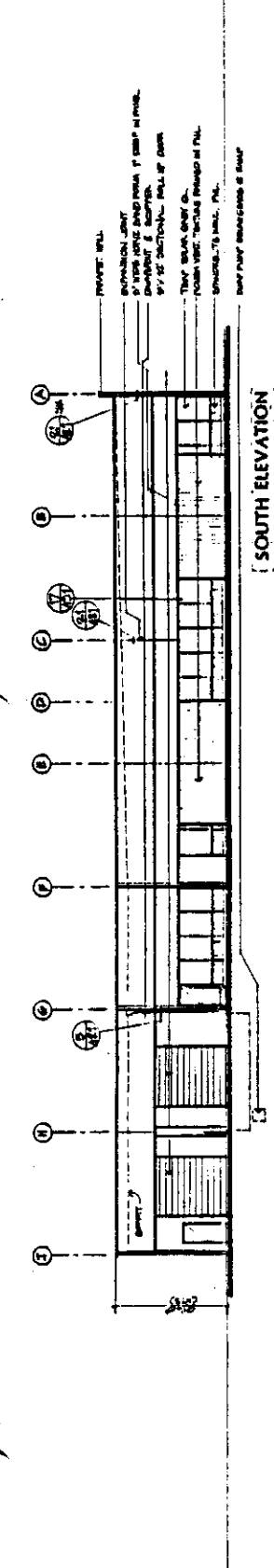
Sheet: P-86-163

DEAN L. LINGER  
 AIA, INC.  
 ARCHITECTURAL AND  
 INTERIOR DESIGN  
 280 Members Blvd  
 Ft. Lauderdale, Florida 33301  
 (305) 443-2377

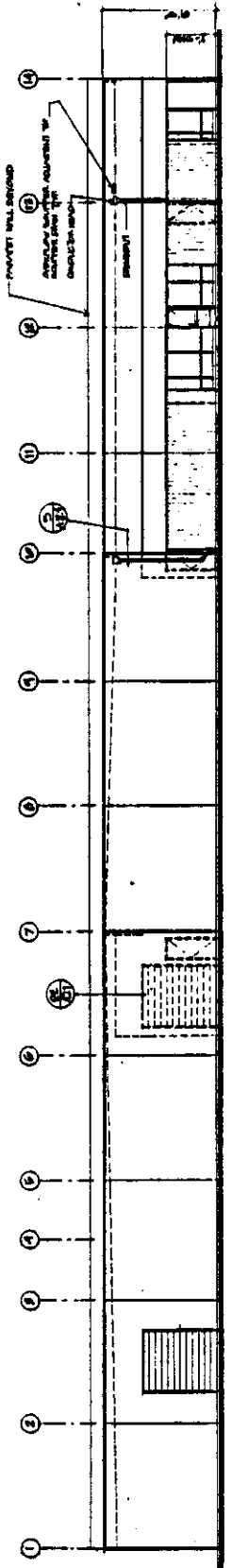
**DEL'S BARBER & BEAUTY SUPPLY**  
 NORWOOD/INTERSTATE 80 BUSINESS PARK

REVISIONS  
 The drawing is not final and is not to be used for construction and signed by the architect.  
 DRAWN BY: L. G. GIBSON  
 CHECKED BY: [Signature]  
 JOB NO.: 86-105  
 DATE: 4-18-86  
 DRAWING NO.: [Blank]  
 13.1  
 ATTACHED ELEVATIONS  
 SHEET TITLE: [Blank]  
 SHEET NO.: 7  
 OF 22 SHEETS

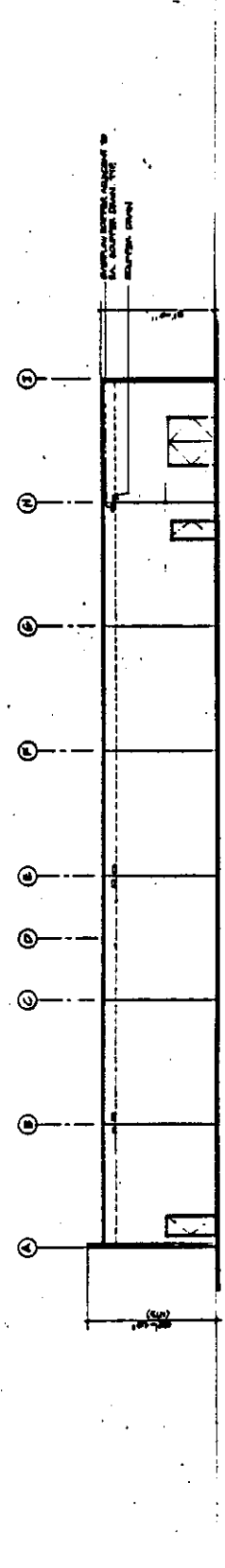
ELEVATIONS



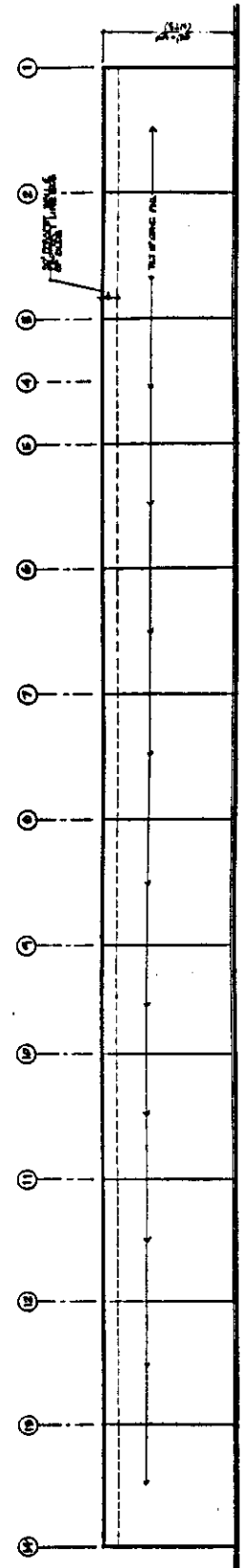
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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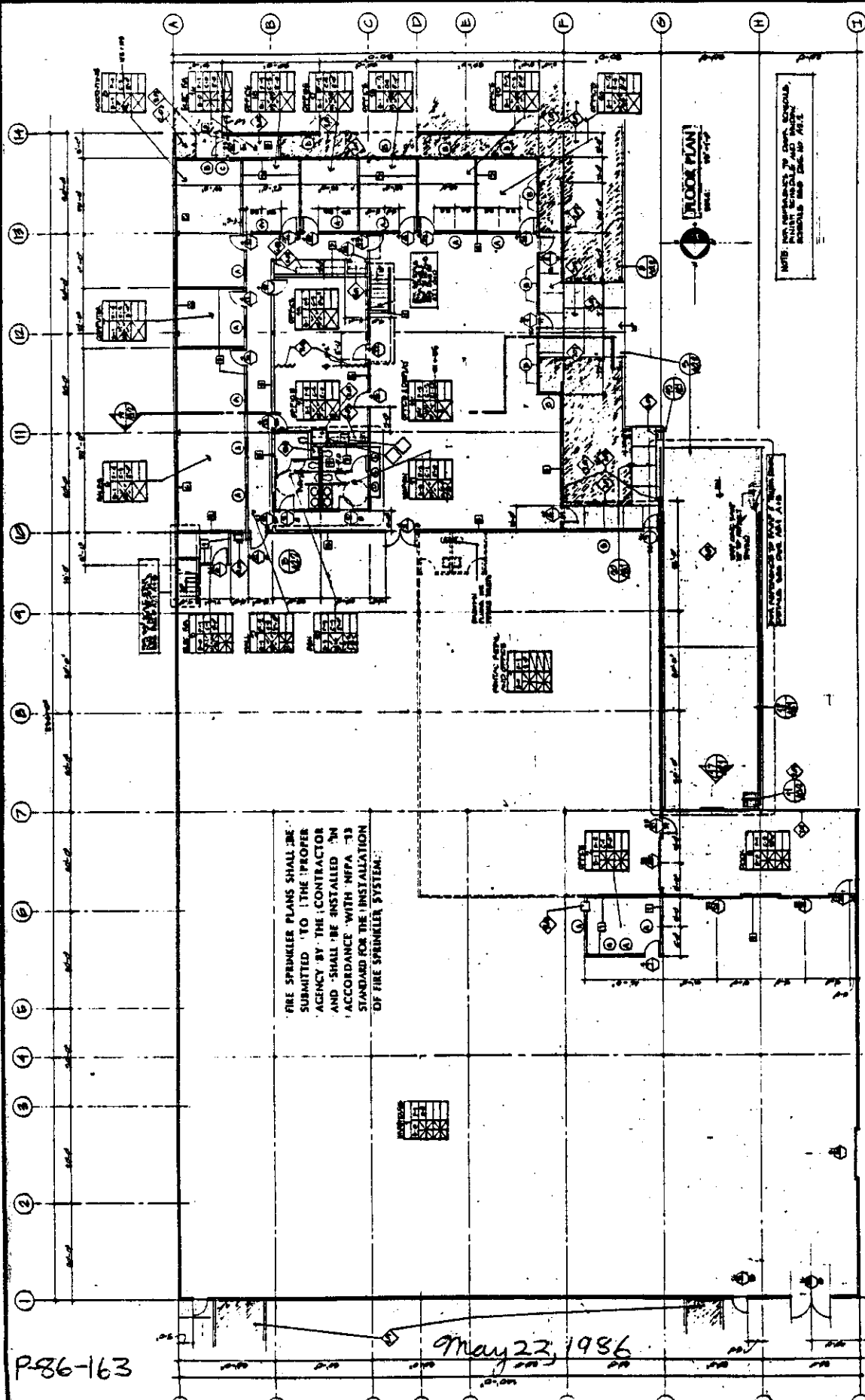
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DEAN E. LINGER  
 AIA INC.  
 ARCHITECT  
 200 Alameda Blvd  
 Berkeley, CA 94701  
 415-841-2500

DEL'S BARBER & BEAUTY SUPPLY  
 NORWOOD/INTERSTATE 80 BUSINESS PARK

reviewed by:  
 This drawing is not valid  
 for construction until it is signed  
 by the Architect.  
 ARCHITECT

Drawn By: D.  
 Checked By:  
 Job No.:  
 Date: 4-18-86  
 Drawing No.:  
 [A2.1]  
 FLOOR PLAN  
 Sheet No. 5



# FLOOR PLAN

- NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.  
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.  
 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- FINISHES:**  
 1. FLOOR: POLISHED CONCRETE  
 2. WALLS: 1/2" GYPSUM BOARD OVER STUDS AND JOISTS  
 3. CEILING: 5/8" GYPSUM BOARD OVER JOISTS  
 4. DOORS: 1 3/4" SOLID CORE  
 5. WINDOWS: 1/2" GYPSUM BOARD OVER STUDS AND JOISTS
- NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.  
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS, UNLESS OTHERWISE NOTED.  
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P-86-163

May 23, 1986

Item 18