

CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Marvin R. Losk, 77 Mack Drive, Suite 21, San Rafael, CA 94903		
OWNER	Valley Hi Village - A Limited Partnership, 77 Mack Drive, Ste. 21, San Rafael, CA		
PLANS BY	Dick Finnegan, 3238 McKinley Drive, Santa Clara, CA 95051		
FILING DATE	5-13-83	50 DAY CPC ACTION DATE	REPORT BY: TM:bw
NEGATIVE DEC.	6-6-83	EIR	ASSESSOR'S PCL. NO. 117-140-21

- APPLICATION:
1. Environmental Determination
 2. Special Permit to develop 82 townhouse units
 3. Subdivision Modification to waive street improvements for Lot 'B'
 4. Tentative Map

LOCATION: Southeast corner of Calvine Road and Center Parkway

PROPOSAL: The applicant is requesting the necessary entitlements to develop 82 townhouse units on 8.18± vacant acres to be known as "The Village."

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1968 Valley Hi Community Plan Designation: Medium Density Residential
Existing Zoning of Site: R-1A-R
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Consumnes Junior College; A
South: Vacant; A
East: Vacant; R-3-R
West: Vacant & Single Family; R-1

Parking Required: 88 spaces
Parking Provided: 205 spaces
Ratio Required: 1 space per dwelling unit
Ratio Provided: 2.5 spaces per dwelling unit
Property Dimensions: Irregular
Property Area: 8.18± acres (net)
Density of Development: 10 units per net acre
Square Footage of Building: 989 to 1,467
Height of Structure: 27± feet (maximum)
Significant Feature of Site: 80 ft. power line easement along portion of southerly property line
Exterior Building Colors: Ivory, coffee, sand, Oxford brown
Exterior Building Materials: Wood siding and trim, tile roofs, stucco
North/South Lot Orientation: 80%

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On June 8, 1983, by a vote of five ayes, three absent and one abstention, the Subdivision Review Committee recommended approval of the tentative map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements along Lot 'A' only, pursuant to Section 40.811 of the City Code;

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- b. Prepare a sewer and drainage study for the review and approval of the City Engineer;
- c. Place the following note on the final map: Lot 'B' cannot be developed until it is serviced and incorporated into a drainage and sewer district;
- d. Pay off existing assessments;
- e. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- f. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
- g. Right-of-way study and dedication required for Center Parkway along Lot 'B';
- h. Prepay the 1983-84 City and County taxes;
- i. Indicate reciprocal sewer, drainage, water and access easements as required by the City Engineer.

Informational Item: 1) The applicant shall check with the County Sanitation District and meet all requirements; 2) driveways must be redesigned to City standards.

The Subdivision Review Committee also recommended approval of the Subdivision Modification to waive street improvements along Lot 'B'. This portion of the subject site is outside of drainage and sewer districts, therefore, it is not currently developable. A note is to be placed on the final map in reference to this. Staff concurs with the Subdivision Review Committee recommendation.

BACKGROUND INFORMATION: On February 17, 1979 the City Council approved the necessary entitlements (P-8462) which permitted the development of an identical development on the subject site. The tentative map and special permit for this development lapsed and therefore the applicant is currently requesting reapproval of this project.

STAFF EVALUATION: Staff has the following comments relative to this application:

- 1. Staff has no objections to the proposed townhouse/condominium use. This project will provide for an alternative housing opportunity within the Valley Hi area. The proposed density, at 10 units per acre, provides for a substantial amount of open space.
- 2. The proposed development consists of 15 clusters of three to six units each. Due to the clustering of the units, application of north/south lot orientation is meaningless relative to solar access. However, the project achieves 80 percent north/south lot orientation.
- 3. The Planning and Community Services Departments have determined that 0.92 acres of land are required for Parkland Dedication purposes, and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted not more than 90 days prior to filing the final map.

This parkland dedication requirement may be reduced by as much as 40 percent once definite plans are developed for the "pool recreation area" noted on the tentative map. This is because the Parkland Dedication Ordinance allows for credit for on-site recreational facilities. To assess the credit given, staff recommends that the applicant submit schematic plans prior to the filing of the final map and detailed plans prior to issuance of building permits for staff review and approval.

4. Due to the large amount of open space and the lack of detailed plans for the landscaped areas and trash enclosures, staff recommends that the attached "Design Criteria" be adopted for this project. Final landscape and irrigation plans shall be submitted for staff review and approval prior to issuance of building permits.
5. The applicant indicates the use of either tile or medium shakes for roofing. Staff would find the tile more aesthetically pleasing for this particular project and desirable from the standpoint of durability.
6. The proposed reduction in the required street setback on Calvine Road from 25 feet to as little as 17 feet four inches is justifiable in light of the fact that the frontage is opposite the edge of the Consummes River College campus, including a portion of a depressed parking area. Additionally, the condominium units along Calvine Road will vary in setback to as much as 35 feet from the front property line.

RECOMMENDATION: The staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow;
3. Approval of the Subdivision Modification to waive street improvements for Lot 'B' only; and
4. Approval of the Tentative Map, subject to the following conditions:

Tentative Map - Conditions

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- a. Provide standard subdivision improvements along Lot 'A' only, pursuant to Section 40.811 of the City Code;
- b. Prepare a sewer and drainage study for the review and approval of the City Engineer;
- c. Place the following note on the final map: Lot 'B' cannot be developed until it is serviced and incorporated into a drainage and sewer district;
- d. Pay off existing assessments;
- e. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;

- f. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
- g. Right-of-way study and dedication required for Center Parkway along Lot 'B';
- h. Prepay the 1983-84 City and County taxes;
- i. Indicate reciprocal sewer, drainage, water and access easements as required by the City Engineer.

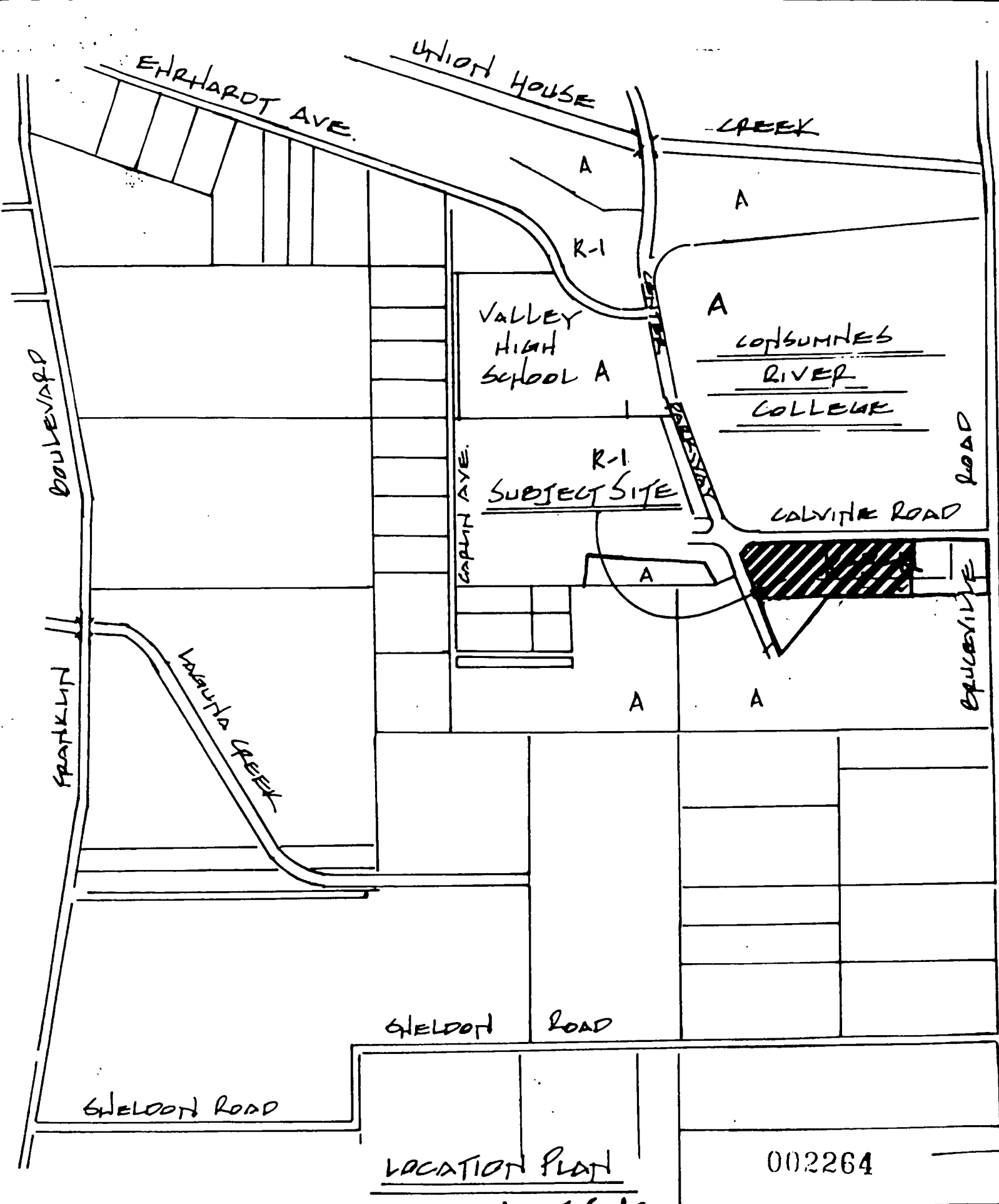
Special Permit - Conditions

- a. The applicant shall submit detailed plans for the pool recreation area for staff review and approval prior to issuance of building permits;
- b. The applicant shall submit detailed landscape and irrigation plans for the review and approval of staff prior to issuance of building permits. These plans shall incorporate those elements listed in the attached "Design Criteria" (Exhibit D).
- c. Tile roofs shall be utilized.

Special Permit - Findings of Fact

- a. The project is based on sound principles of land use in that the condominiums will contribute to a variety of housing types now available in the area;
- b. The project will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that the condominiums are compatible with both single family development occurring to the west and existing apartments on Calvine Road easterly of the subject site;
- c. The project conforms with the 1974 General Plan, the 1968 Valley Hi Community Plan, and the Preliminary South Sacramento Area Community Plan in that residential uses at the density proposed are consistent.

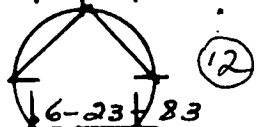
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LOCATION PLAN

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NOT TO SCALE



OCT 1979
HC-D

P83-156

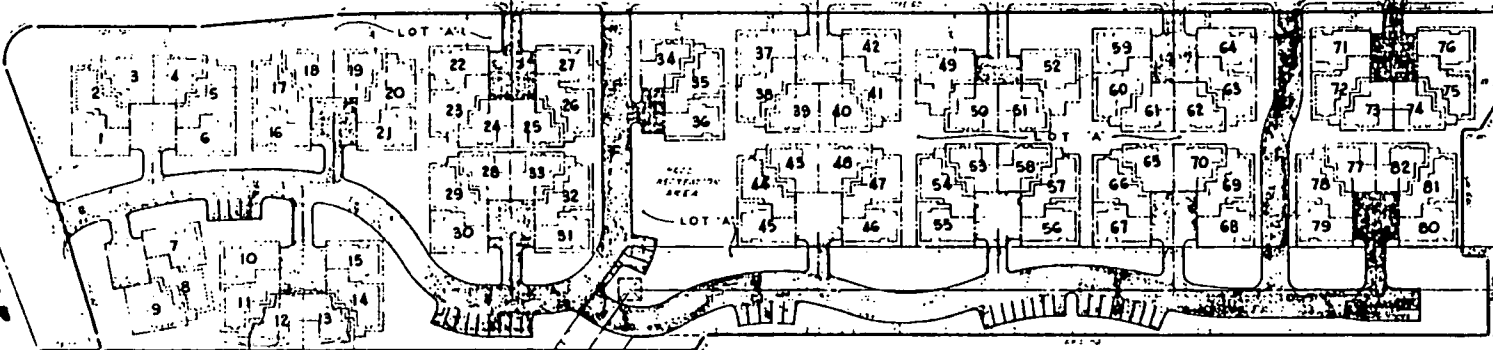
6-23-83

No. 22

CALVINE ROAD

CENTER

PARKWAY



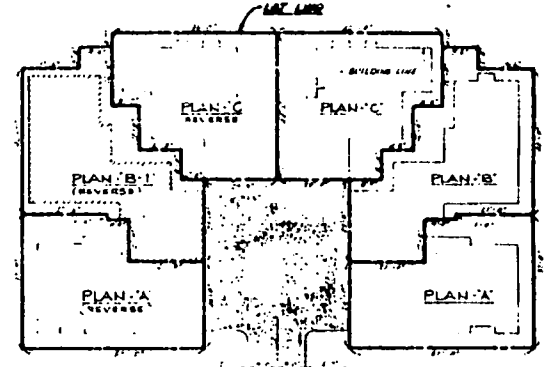
RECORD OWNER & DEVELOPER
 Casey & Jacoby Developers, Inc
 508 Steiner Hill Road
 San Jose, Ca 95128

PROPOSED USE
 82 lots (including 200' x 11' street parking spaces)
 24 Garage parking spaces
 Open space for Lot 'A'
 Future development for Lot 'B'

EXISTING USE
 Vacant lot
 WATER SUPPLY & SEWER DISPOSAL
 Public utilities

ACREAGE
 11.5 Acres

ENVIRONMENTAL CONSIDERATION:
 100% of the lots have a North-South orientation



TYPICAL CLUSTER UNIT

(REVISED PER SRC HEARING)
 Tentative Map • ASSESSORS PARCEL #2
 117-140-21
THE VILLAGE

PARCEL "D", 17-PM-1A (pln. NW 1/4 Sec. 32, T.7N., R.5E., M.D.B.4M.)
 City of Sacramento, California — January, 1979



SCALE: 1"=80'

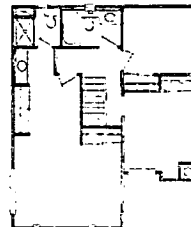
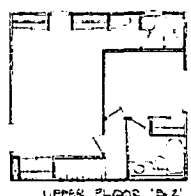
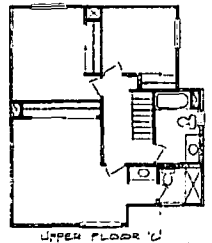
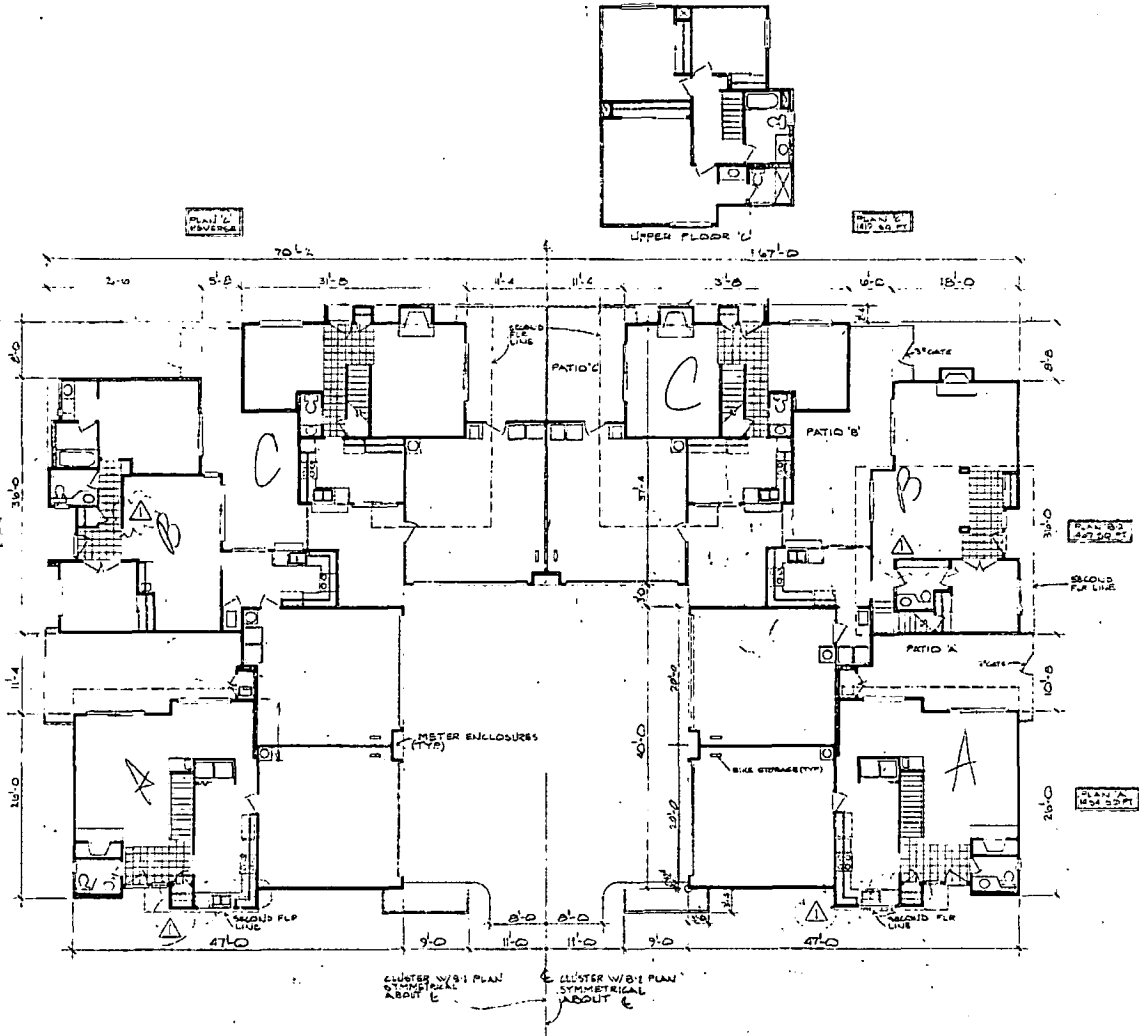
THE SPINK CORPORATION
 ENVIRONMENTAL PLANNING • ENGINEERING
 ARCHITECTURE • SURVEYING • MAPPING • SYSTEMS
 720 F STREET SACRAMENTO, CALIFORNIA 95811 PH: (916) 441-8100

EXHIBIT A

REVISED: 1-20-79
 200 20 1979-80
 9-28
 77-18-29



DICK FINNEGAN
 ARCHITECT
 BUSINESS DEVELOPERS
 LEAD PLANNERS
 A.I.B.D.
 11 MANHATTAN - SKETCHES FOR CONSTRUCTION - 02-11-10



TYPICAL CLUSTER PLAN

1/8" = 1'-0"

OWNER

CLUSTER PLAN
 THE VILLAGE

SHEET TITLE

NO.	DATE	REVISION
1	02-11-10	ISSUE FOR CONSTRUCTION

DESIGNED BY DR. R. G. S.

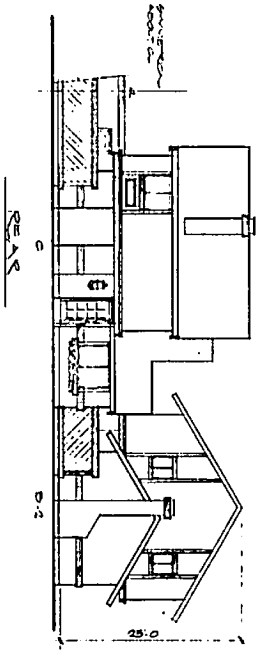
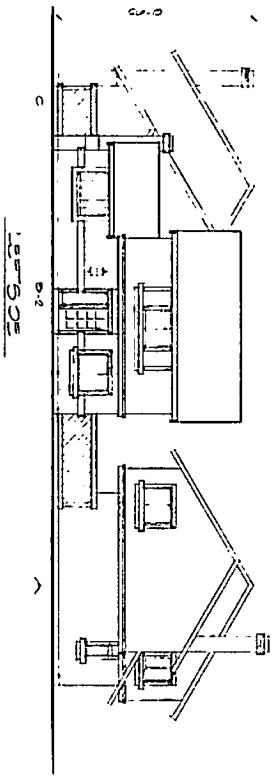
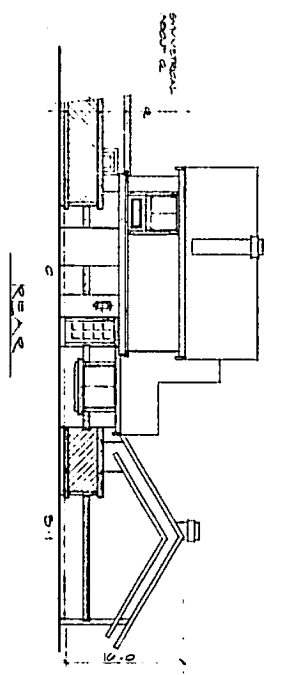
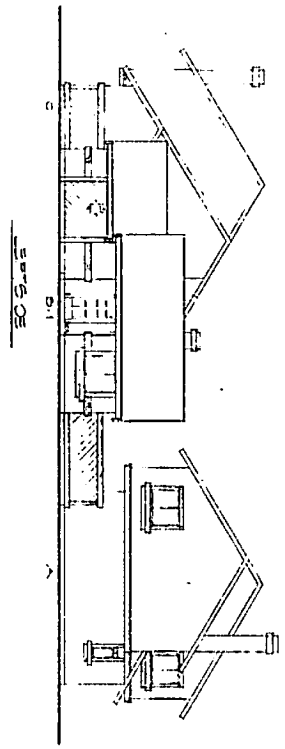
NO. 78-23

DATE 5-21-75

Sheet No. 3

PATENT PENDING

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NOTE
SEE PLANS A, B, C, W
DIMENSIONS FOR MATERIALS

WATER TANK
INSTALLATION
SEE PLANS A, B, C, W
FOR DIMENSIONS
AND MATERIALS

DOOR ABOVE
STAIRS
SEE PLANS A, B, C, W
FOR DIMENSIONS
AND MATERIALS

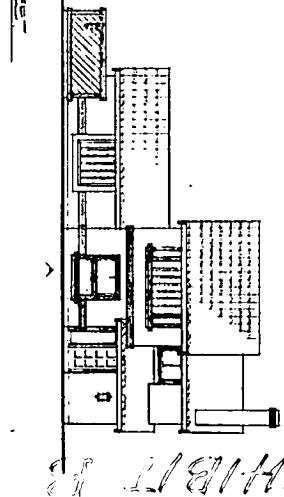
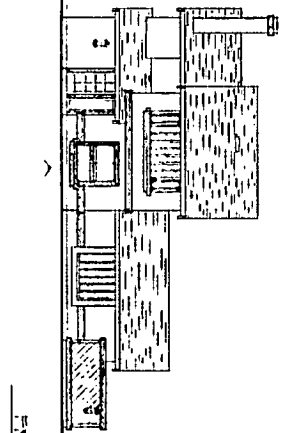
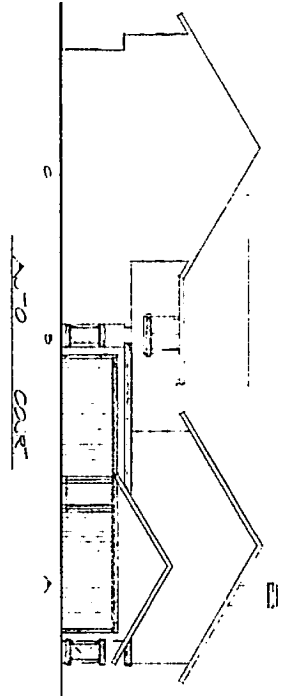


EXHIBIT B

EXTERIOR ELEVATIONS

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NO.	DATE-REVISION

EXTERIOR ELEVATIONS

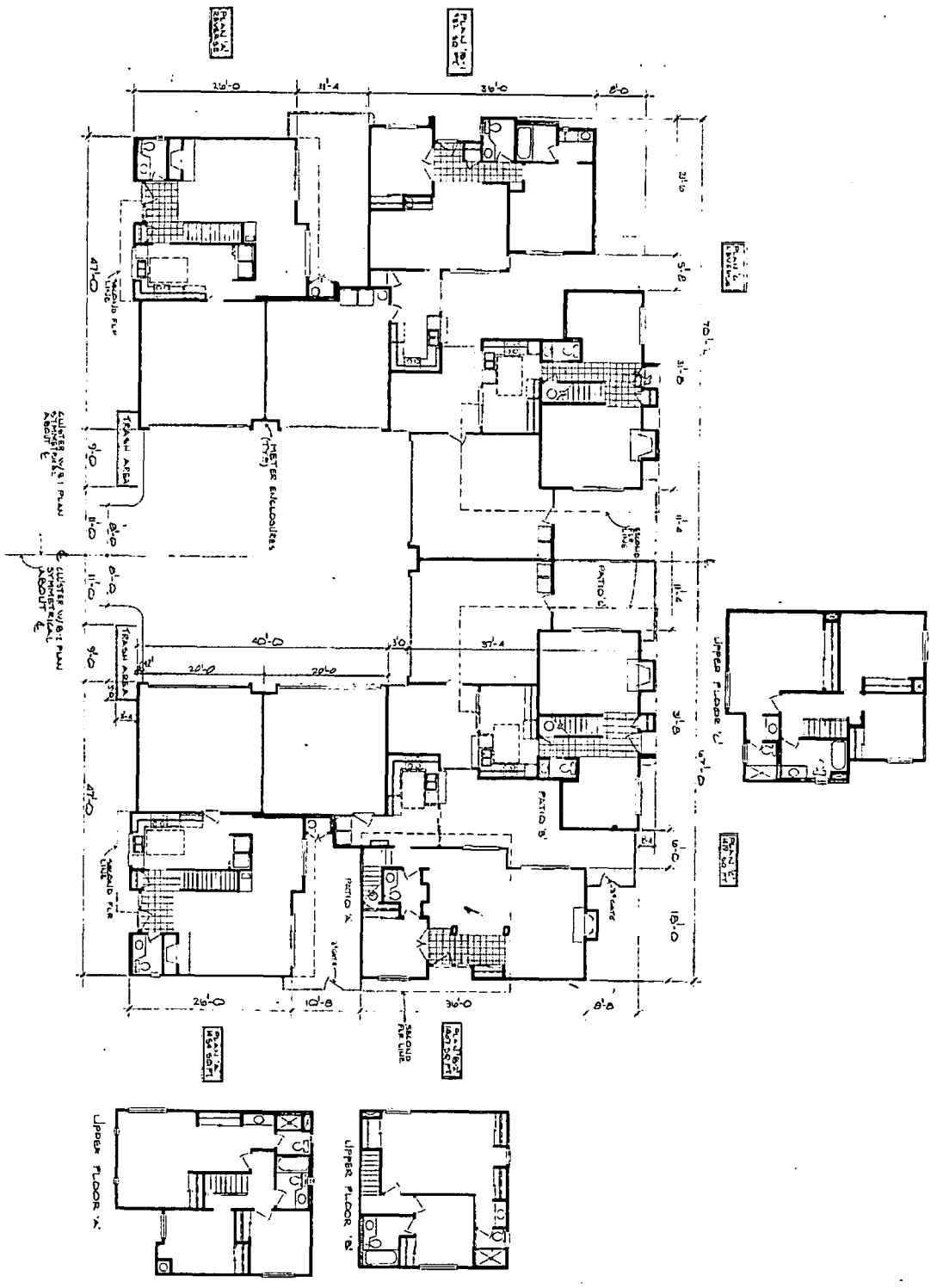
DICK FINNEGAN INCORPORATED

222 MARKET STREET - SANTA CLARA, CALIFORNIA 95051

14

TYPICAL CLUSTER

1/2" = 1'-0"



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P 83156

EXHIBIT C

PLANNING DEPARTMENT
NOV 1983

NO. DATE-REVISION 1 11/83 2 11/83 3 11/83 4 11/83 5 11/83 6 11/83 7 11/83 8 11/83 9 11/83 10 11/83 11 11/83 12 11/83 13 11/83 14 11/83 15 11/83 16 11/83 17 11/83 18 11/83 19 11/83 20 11/83 21 11/83 22 11/83 23 11/83 24 11/83 25 11/83 26 11/83 27 11/83 28 11/83 29 11/83 30 11/83 31 11/83 32 11/83 33 11/83 34 11/83 35 11/83 36 11/83 37 11/83 38 11/83 39 11/83 40 11/83 41 11/83 42 11/83 43 11/83 44 11/83 45 11/83 46 11/83 47 11/83 48 11/83 49 11/83 50 11/83 51 11/83 52 11/83 53 11/83 54 11/83 55 11/83 56 11/83 57 11/83 58 11/83 59 11/83 60 11/83 61 11/83 62 11/83 63 11/83 64 11/83 65 11/83 66 11/83 67 11/83 68 11/83 69 11/83 70 11/83 71 11/83 72 11/83 73 11/83 74 11/83 75 11/83 76 11/83 77 11/83 78 11/83 79 11/83 80 11/83 81 11/83 82 11/83 83 11/83 84 11/83 85 11/83 86 11/83 87 11/83 88 11/83 89 11/83 90 11/83 91 11/83 92 11/83 93 11/83 94 11/83 95 11/83 96 11/83 97 11/83 98 11/83 99 11/83 100 11/83	CLUSTER PLAN THE VILLAGE	CASEY & JACQUOT DEVELOPERS, INC. 582 BLOSSOM HILL ROAD SAN JOSE, CALIF 95123 (408) 629-2344	DICK FINNEGAN INCORPORATED ARCHITECTS 3228 MARSHLEY DRIVE - SANTA CLARA, CALIFORNIA 95051 - (408) 284-9121
	CLIENT: THE VILLAGE PROJECT NO.: 83-156 DATE: 11/83	SHEET NO.: 14 TOTAL SHEETS: 14	SCALE: 1/2" = 1'-0"

DESIGN CRITERIA

LANDSCAPING AND OPEN SPACE

1. Landscape materials selected shall be:
 - a. Compatible with one another and with existing material on the site;
 - b. Complimentary to building design and architectural theme;
 - c. Varied in size (one and five-gallon shrubs, five and 15 gallon, and 24-inch box trees).
2. Landscape treatment shall include:
 - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc. may result in erosion or other problems;
 - b. Larger specimens of shrubs and trees along the site periphery;
 - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two-story structures;
 - d. Consistency with energy conservation efforts;
 - e. Trees located so as to screen parking areas and private first floor areas and windows from second-story units;
 - f. Undulating landscaped berms located along street frontages and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher;
 - g. The utilization of Evergreen trees in the landscaped areas.
 - h. Sufficient tree plantings to comply with the 50% shading requirement of surfaced areas.

TRASH ENCLOSURES

1. Sturdy enclosure walls shall be constructed to reduce maintenance.
2. Design and materials shall match or complement the residential structures.
3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
5. The enclosures shall be screened with landscaping.
6. The enclosures shall be adequate in capacity, number and distribution.

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