

CITY PLANNING COMMISSION

927-10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Rev. and Mrs. Wiley L. Rowe		
OWNER	Katherine M. & Eugene J. Lambert		
PLANS BY			
FILING DATE	12-23-82	50 DAY CPC ACTION DATE	REPORT BY: JP:bw
NEGATIVE DEC.	1-13-83	EIR	ASSESSOR'S PCL. NO. 038-141-220

APPLICATION: 1. Negative Declaration
2. Special Permit to construct a 2,920 square foot church on 1.43± acres

LOCATION: South side of Lemon Hill Ave.--approximately 145 feet east of Logan Street

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 Colonial Community Plan Designation: Light Density Residential
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Residential; R-1
South: Morrison Creek; FW
East: Residential; R-1
West: Convalescent Home; R-1

Parking Required: 50 spaces (one parking space per six seats)
Parking Provided: 38 spaces
Property Dimensions: 62,291 square feet
Property Area: 1.43± acres
Square Footage of Building: 2,920
Height of Structure: 30 feet
Topography: Flat
Street Improvements: Existing
Utilities: Available to site
Exterior Building Colors: Beige and dark brown trim
Exterior Building Materials: Stucco and wood

STAFF EVALUATION: Staff has the following comments:

1. Staff has no objection to using the subject site as proposed by the applicant as the surrounding existing land uses, including single family residences and various public facilities such as schools, churches, day care centers and a neighborhood park, are compatible with the proposed use of a church. The site is also adjacent to Lemon Hill Avenue which is a 60-foot minor collector street with bike lanes.
2. The proposed site plans were reviewed by City Traffic Engineering. They had the following comments:
 - a. ~~800000~~ Circulation design is poor. Applicant will need to improve internal circulation design;

001949

002288

- b. Proposed driveway opening is too wide. Width of driveway should be 24 to 35 feet in width.
3. The subject site is located in a single family residential zone (R-1) with adjacent residential structures located to the east, a 52-bed convalescent home located to the west; and a drainage canal (Morrison Creek) and City park located to the south (Sim Park). At present, a cyclone fence runs along the boundary lines of the adjacent properties and the subject site. The Zoning Ordinance requires that a six-foot solid masonry wall be constructed between a non-residential development and existing residential property lines to the east and west (see Exhibit D).
 4. The applicant's site plan indicates a front landscape setback of 20 feet. This setback should be revised to conform with existing residential front setbacks along Lemon Hill Avenue which is 25 feet.
 5. The applicant's site plan indicates 38 parking spaces for the proposed project. The applicant also indicated that the church will provide seating for 200 to 300 people. Based on a required parking ratio of one space for every six seats, the number of parking spaces required for 300 seats is 50 spaces, leaving the project short by 12 spaces.
 6. The parking lot is subject to approval of a 50 percent parking lot shading plan prior to issuance of building permits. Staff also recommends that detailed landscape and irrigation plans for the entire site be submitted for staff review and approval prior to the issuance of building permits.

In addition, staff has some concerns about the excessive amount (69%) of the site devoted to surfaced area. The applicant should consider leaving a larger portion of the site in landscaped area than what is shown on the site plan. The front setback should also have an undulated berm or combination berm and three-foot high low-profile solid masonry wall to screen the parking area and provide visual relief. Staff suggests a revised site plan similar to Exhibit D, which provides for the required parking, improves internal circulation and enhances the visual impact of the site.

7. Staff notes that the applicant has indicated on the site plans a detached sign of undetermined height and width in the front landscape setback. According to the City's Sign Ordinance, detached signs may not project into any required building setback area and non-residential signs in residential zones must meet certain requirements. Staff notes that any signage proposed by the applicant should comply with the provisions of this ordinance.

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Special Permit, subject to conditions and based upon Findings of Fact which follow.



Special Permit - Conditions

- a. The applicant shall submit a revised site plan to staff for review and approval prior to the issuance of building permits. The revised plans shall detail an improved internal circulation pattern a minimum of 50 parking spaces and a 24-foot to 35-foot driveway opening as indicated on Exhibit D;
- b. A six-foot solid masonry wall shall be provided along the east and west property lines of the site up to the 25-foot front setback;
- c. The front setback shall conform to the existing residential setbacks along Lemon Hill Avenue;
- d. The applicant shall submit detailed landscape, irrigation and shading plans indicating a variety of shrubs, trees and ground cover for staff review and approval prior to the issuance of building permits. In addition, an undulated berm shall be provided along the entire front setback and shall be included in the landscape plan;
- e. Proposed signage shall conform to the standards set in the City Sign Ordinance.

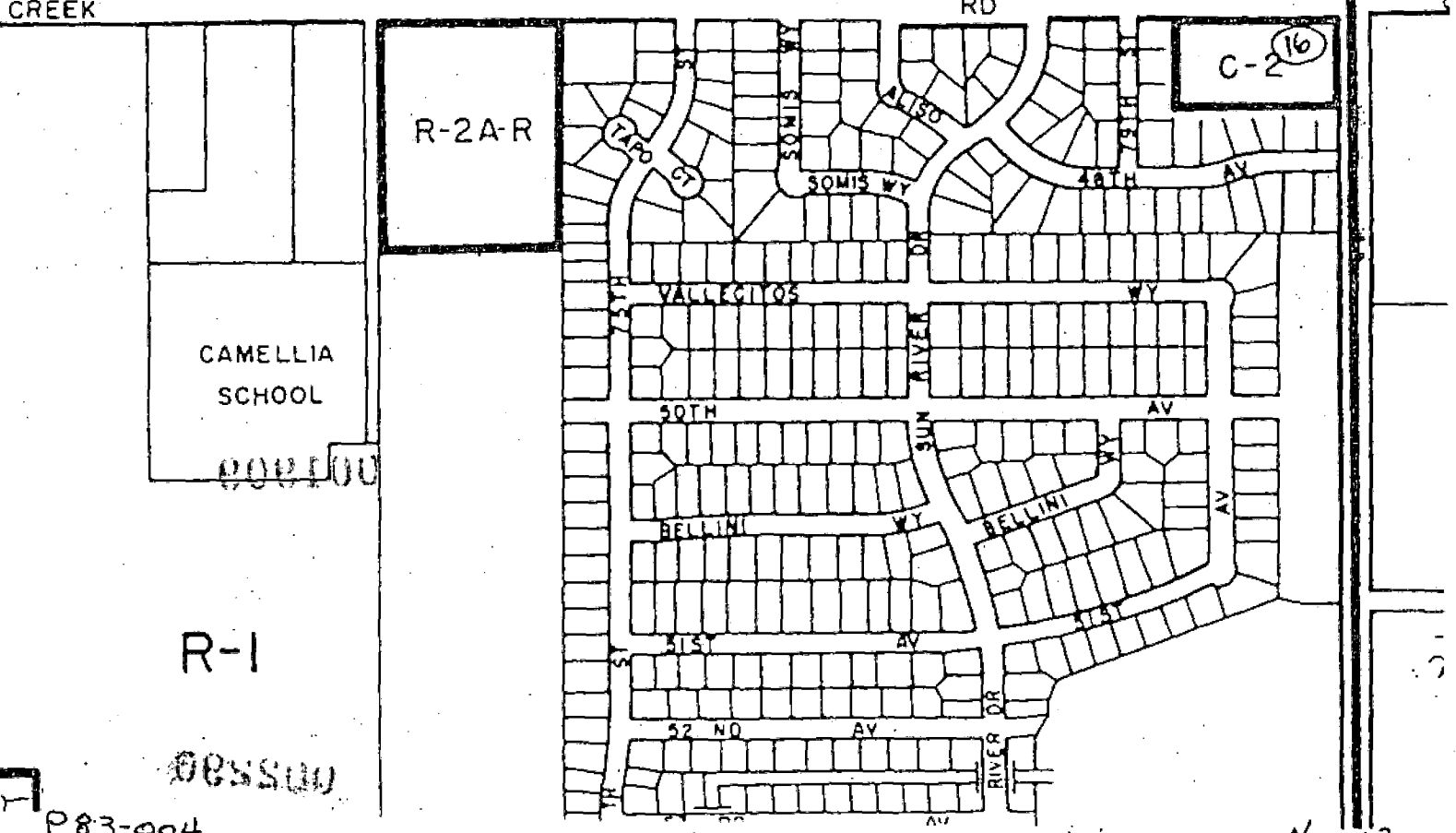
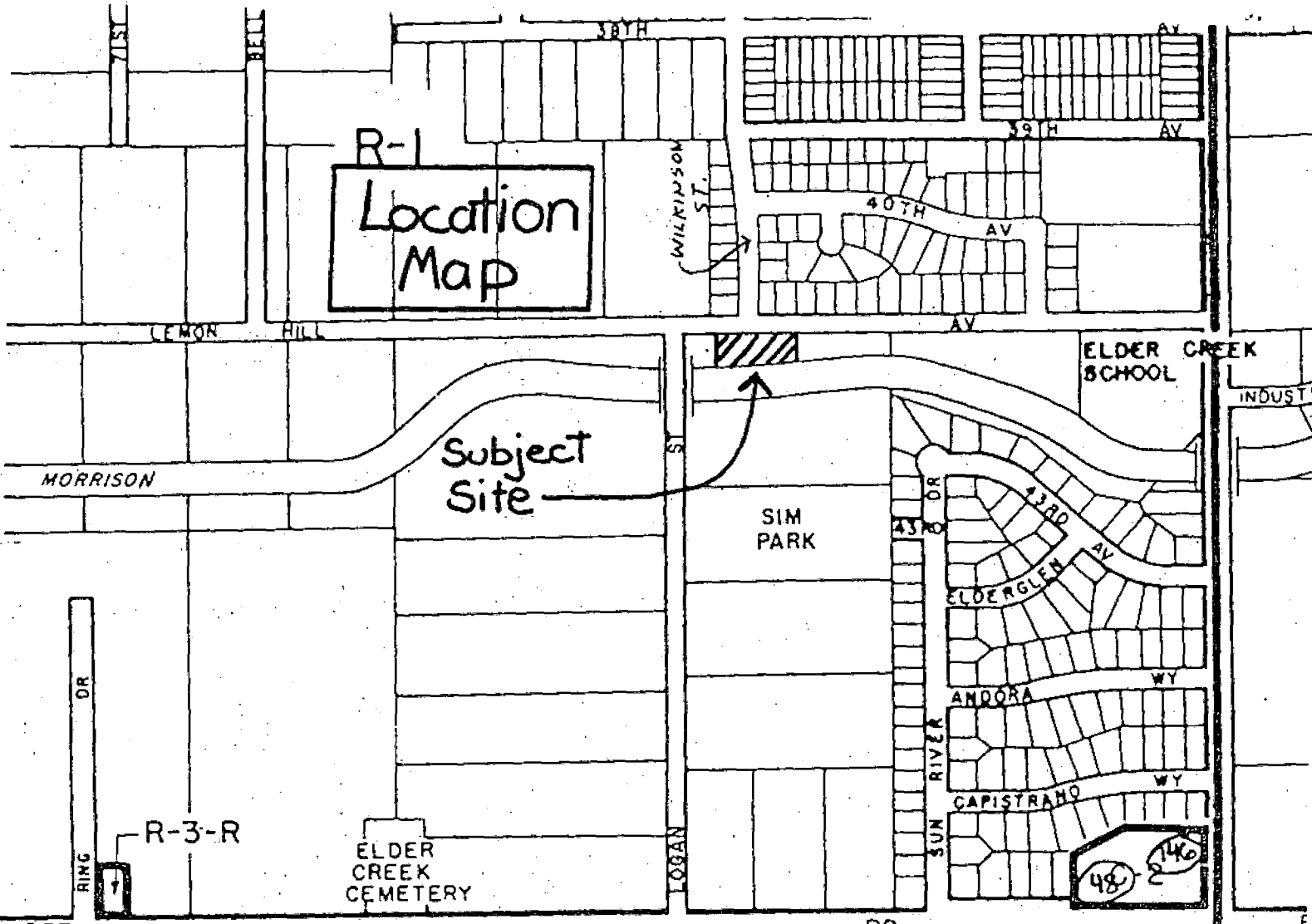
Special Permit - Findings of Fact

- a. The project, as conditioned, is based on sound principles of land use in that the church will be compatible with existing adjacent single family residential uses and other existing public facilities such as schools, day care centers and churches found in the area;
- b. The project, as conditioned, will not be injurious to the general public health, safety or welfare in that off-street parking is provided and adequate setbacks are maintained. In addition, the parking area will be landscaped and screened from adjacent residential uses with a six-foot high masonry wall.
- c. The project, as conditioned, is compatible with the goals of the City General Plan in that it is a public facility designed in such a manner that it enhances the appearance of the community in which it is located.

001959

002290

R-1
Location
Map



R-1

085500

P83-004

1-27-83

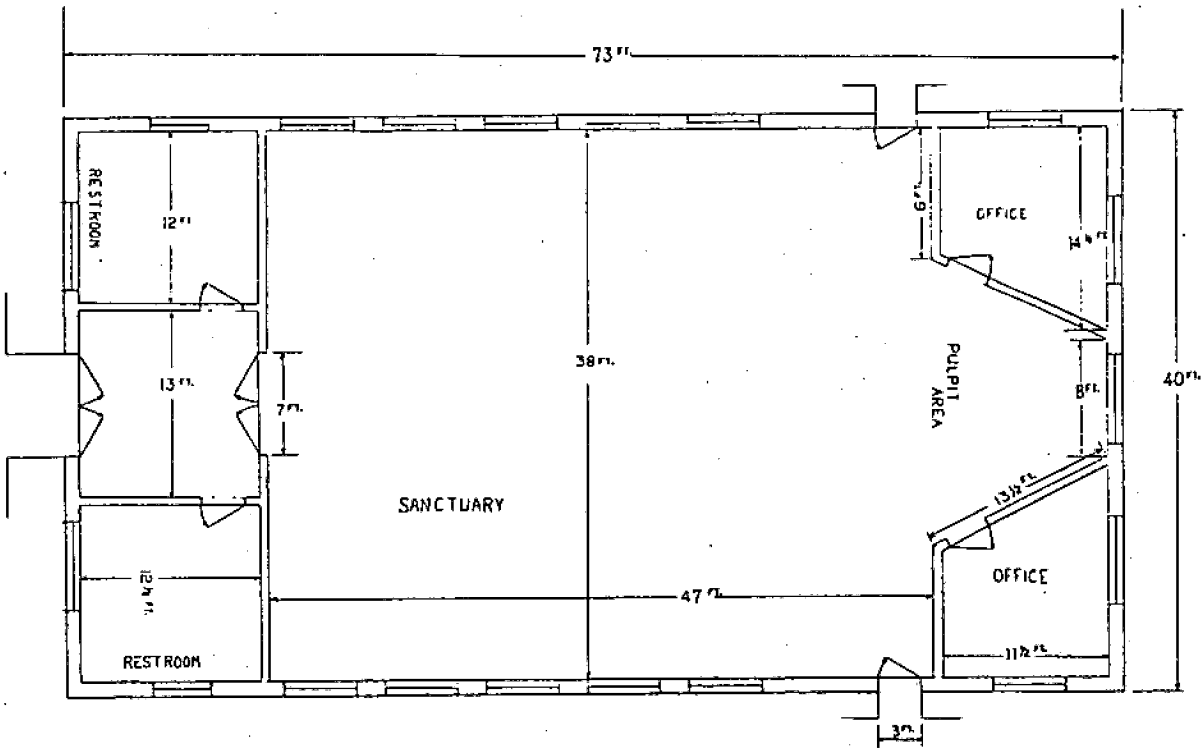
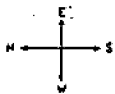
No. 73

885500

FLOOR PLAN

GRACE TEMPLE
SCALE 1/4" = 3 FT.

WIDENERS =



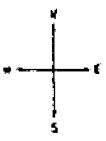
001954

P 82004

Exhibit C

GRACE TEMPLE
SITE PLAN
SCALE - 1/4" = 5'

○ = PLANTS
□ = GRASS



LEMON HILL AVE.

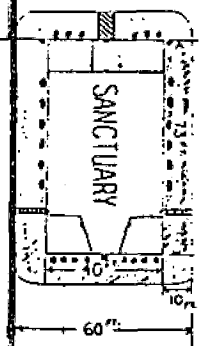
265'

001215

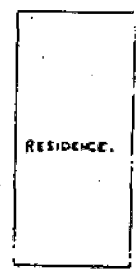


REST HOME

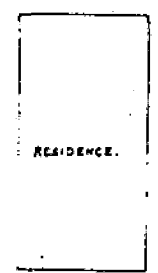
Parking



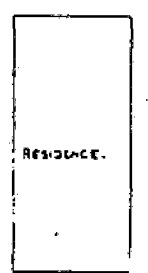
SANCTUARY



RESIDENCE.



RESIDENCE.



RESIDENCE.

← Six Foot Masonry Wall

Six Foot Masonry Wall →

Morrison Creek (FW)

PARK

P 88004

1-27-83

LOGAN ST.

002293

(Staff's
Revision)

Exhibit D

No. 13

P 83-004



P 82004

1-27-83

No. 13

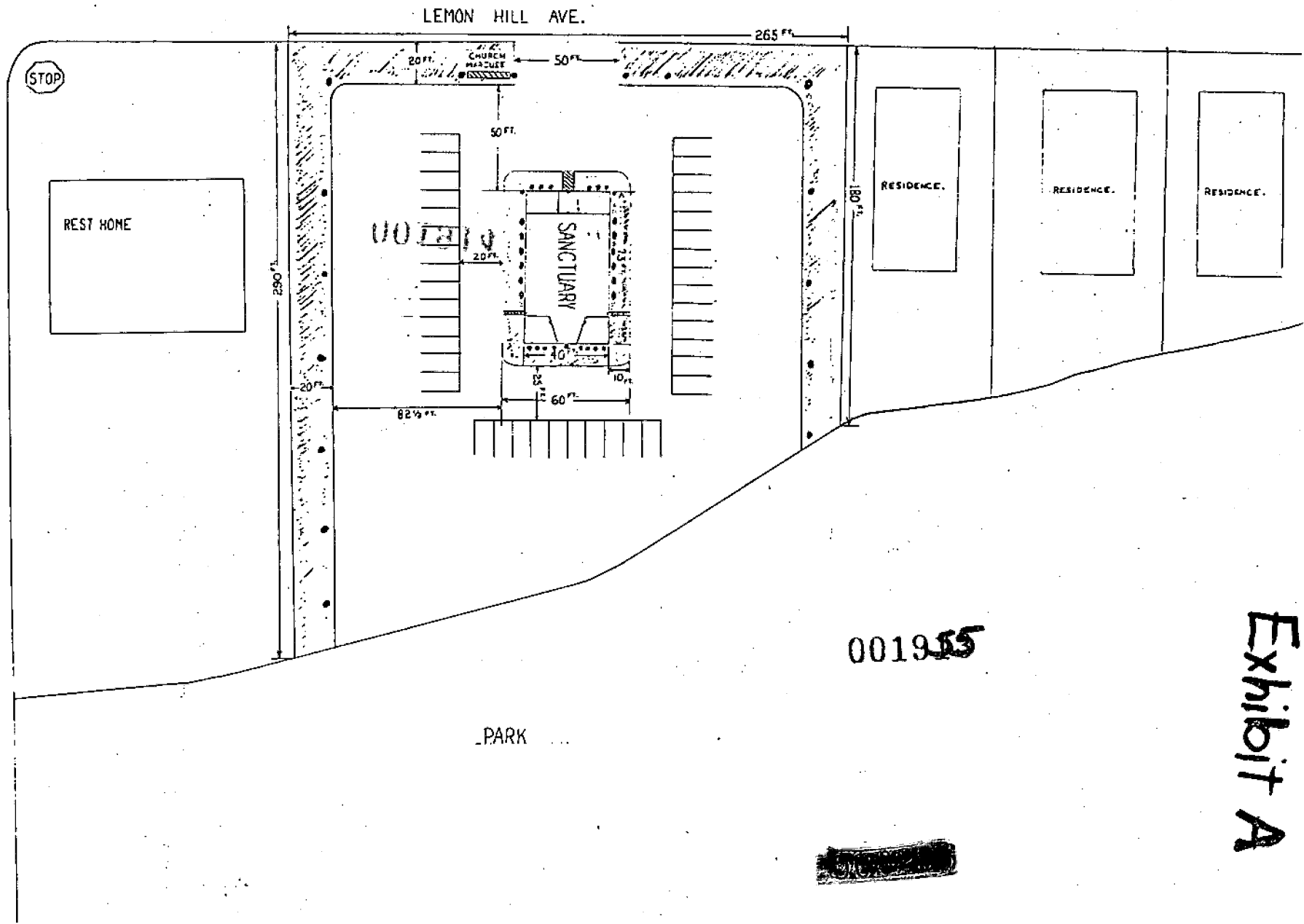
001955

GRACE TEMPLE

SITE PLAN

SCALE - 1/4" = 5'.

○ = PLANTS
▨ = GRASS



001955

Exhibit A

PARK

LOGAN ST.

LEMON HILL AVE.

STOP

REST HOME

SANCTUARY

CHURCH

RESIDENCE.

RESIDENCE.

RESIDENCE.

1,907

82 1/2

265'

180'

50'

50'

40'

35'

60'

10'

20'

50'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

20'

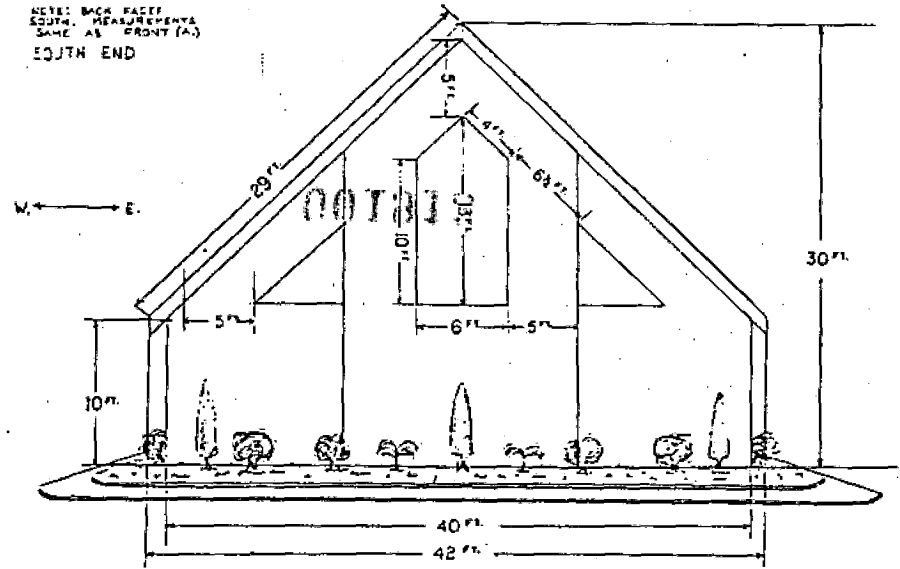
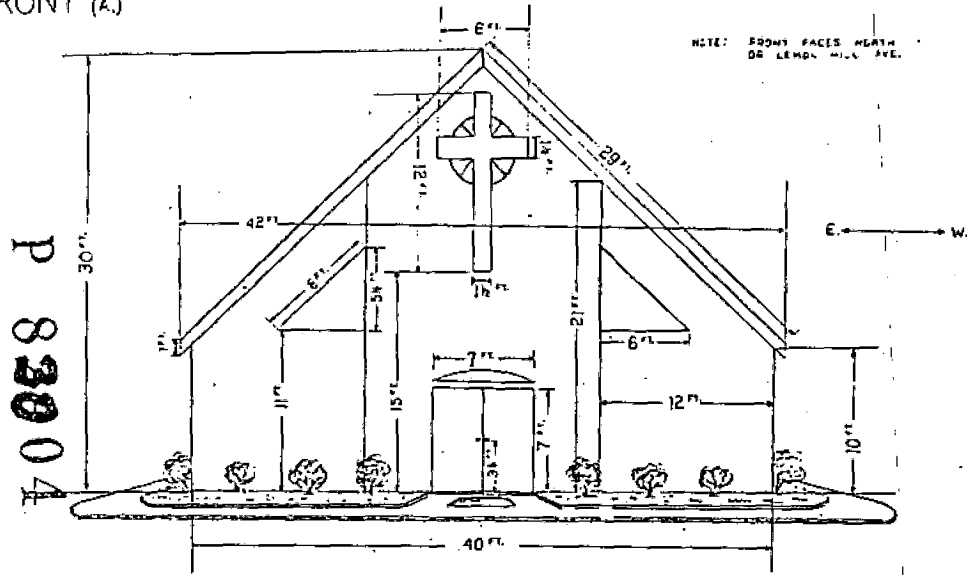
GRACE TEMPLE
(ELEVATIONS)

SCALE 1/4" = 1 FT.
FRONT - BACK

SCALE 1/4" = 1 FT.
FRONT - BACK

BACK (B.)

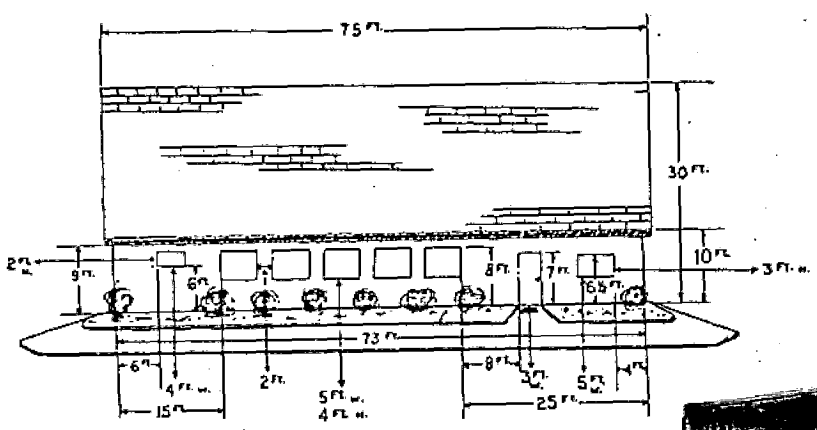
FRONT (A.)



SIDE (C.) SCALE 1/8" = 1 FT.

1-27-83
N ← S

001956



SIDE (D.)
NOTE: THIS SIDE FACES EAST. SAME DIMENSIONS AND MEASUREMENTS AS OF (SIDE C.)

SCALE 1/8" = 1 FT.

S ← N

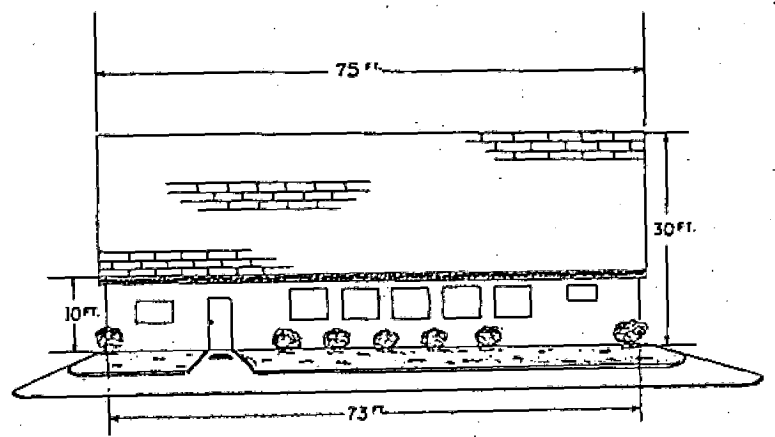


Exhibit B

No. 13