

RESOLUTION NO. 2006-562

Adopted by the Sacramento City Council

July 25, 2006

DETERMINING PROJECT IS EXEMPT FROM CEQA, DENYING APPEAL, AND APPROVING THE DESIGN REVIEW FOR THE RECONSTRUCTION OF THE PRIMARY UNIT LOCATED AT 3341 20TH AVENUE (APN: 020-0203-020) (DR05-364)

BACKGROUND

- A. On January 27, 2006, Design Review Staff approved the design of a 1,320 sq. ft. Single Family Residence as a reconstructed primary unit on the site (DR05-364);
- B. On January 27, 2006, a 3rd party appeal was made of the Design Review Staff decision to approve the project;
- C. On March 1, 2006, Design Review and Preservation Board denied the 3rd party appeal of the Design Review Staff approval of project, and amended the Conditions of Approval;
- D. On March 8, 2006, a 3rd party appeal was made of the Design Review and Preservation Board decision to approve the project with amended conditions;
- E. On April 27, 2006, City Planning Commission continued the 3rd party appeal to June 8th when more members could be present.
- F. On June 8, 2006, City Planning Commission denied the 3rd party appeal of the Design Review and Preservation Board approval of project;
- G. On June 9, 2006, a 3rd party appeal was made of the City Planning Commission decision to approve the project;
- H. On July 25, 2006, City Council heard and considered evidence in the above mentioned matter.

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

- Section 1. At the regular meeting of July 25, 2006, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the City Council took the following actions for the location listed above:

- A. The project as conditioned is in character with the surrounding neighbors; and
- B. Denied the appeal and approved the Design Review Staff Conditions of Approval with amendments by the Design Review and Preservation Board to reconstruct a two-story single-family residence as the primary unit on the parcel.

These actions were made based upon the following findings of fact and subject to the following conditions of approval:

Findings Of Fact

A. Design Review:

1. The project, as conditioned, complements the surrounding structures and provides upgraded housing on existing lot.
2. The project, as conditioned, meets the intent of the Oak Park Design Guidelines.

B. Environmental Determination:

3. The Environmental Services Manager has determined the proposed project is exempt under the following provisions of the California Environmental Quality Act and/or Guidelines: Section 15303(a): "One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exception."

Conditions Of Approval

The appeal of the Design Review and Preservation Board decision to reconstruct the primary unit is hereby denied subject to the following conditions:

1. **Design Review:** The design of the project (see Exhibit A-C) is hereby approved subject to the following conditions:
 1. The project design shall be as approved by staff previously (see Staff Conditions of Approval), with any additional conditions deemed required:
 - Windows at pop-out shall be a pair of 2'-6"x4'-0" single hung or double hung.
 - Window at 2nd story right side front elevation shall be 2'-6"x4'-0" single

hung or double hung.

- Windows at all elevations shall ~~have be gridded at top portion, with decorative smooth finished wood~~ (1"x6") trim and projecting sills.
 - Shutters shall be placed at front 2nd story windows.
 - Craftsman columns (tapering from 8" to 12") with built out bases (14" or 16" base), shall be provided at porch element.
 - 4-inch exposure wood or fiber cement horizontal lap siding shall be provided at all elevations.
 - All lap siding shall be smooth finish. No stamped grain.
 - Front entry door shall have a raised panel design, as shown on approved drawings.
 - **Fiber-cement** shingles shall be provided in upper gables of front elevation.
 - Gable vents shall have decorative trim, as shown on approved drawings.
 - All woodwork shall be smooth finish. No rough sawn.
 - Front yard landscaping (including lawn, shrubs, and a minimum of one tree) and automatic irrigation shall be provided.
 - Roofing shall be a minimum 30-year laminated dimensional composition shingle.
 - Ogee gutters and downspouts shall be provided.
 - Provide decorative light fixtures that complement building design at front and rear doors.
 - No roof-mounted mechanical equipment is allowed.
 - All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. The applicant shall revise the plans in accordance with the conditions of approval and resubmit the drawings to Design Review Staff for review. Any changes to the final set of plans stamped by Design Review staff shall be subject to review and approval prior to any changes.
2. Windows shall have grids removed, or shall provide true divided lights.
 3. All trim and sill material shall be smooth finished to fit the design.
 4. Ogee gutter shall be 5-1/4" in size.
 5. Front porch columns shall only have siding material at base only.

2. Utilities:

1. Only one domestic water service per parcel is allowed. Any new domestic water services shall be metered. Excess domestic water services must be abandoned to the satisfaction of the Department of Utilities.
2. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown on the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Building Department.
3. **ADVISORY COMMENT:** The applicant must comply with the City of

Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.

4. *ADVISORY COMMENT:* Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the on-site domestic, irrigation and fire suppression systems.
5. *ADVISORY COMMENT* The proposed project is located in the Flood zone designated as X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective February 18, 2005. Within the X zone, there are no requirements to elevate or flood proof.

3. General:

6. Applicant shall obtain all necessary building and/or encroachment permits prior to commencing construction.
7. Any modification to the project shall be subject to review and approval by Planning Department staff prior to the issuance of building permits
8. Unless specified by any condition below, this project shall be developed and constructed in full compliance with the Zoning Ordinance.

Table of Contents:

Exhibit A	Site Plan
Exhibit B	Floor Plan
Exhibit C	Elevations

Adopted by the City of Sacramento City Council on July 25, 2006 by the following vote:

Ayes: Councilmembers Cohn, Fong, Hammond, McCarty, Pannell, Sheedy, Tretheway, Waters, and Mayor Fargo.

Noes: None.

Abstain: None.

Absent: None.

Heather Fargo
Mayor, Heather Fargo

Attest:

Shirley Concolino
Shirley Concolino, City Clerk

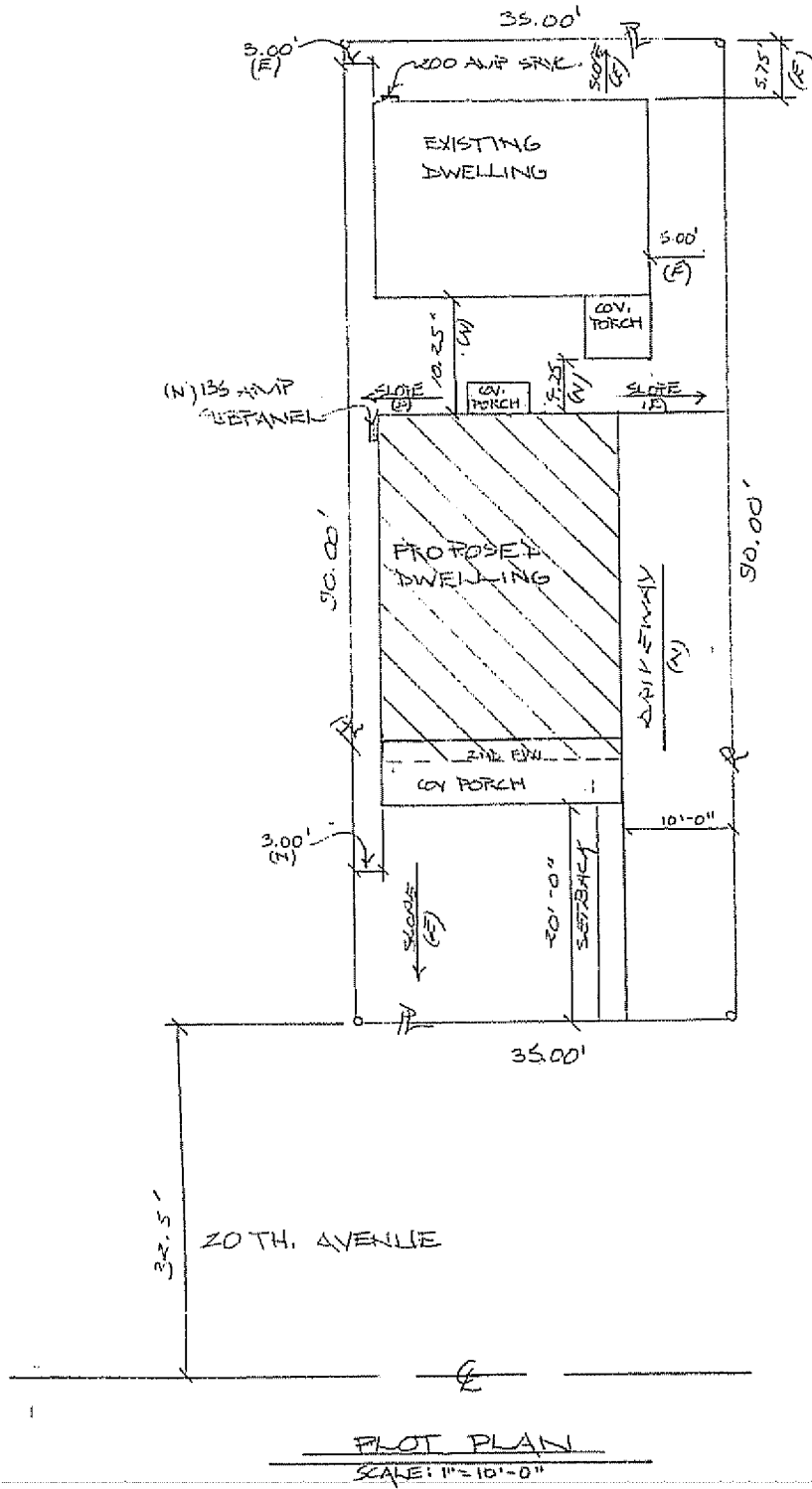


Exhibit B First Floor Plan

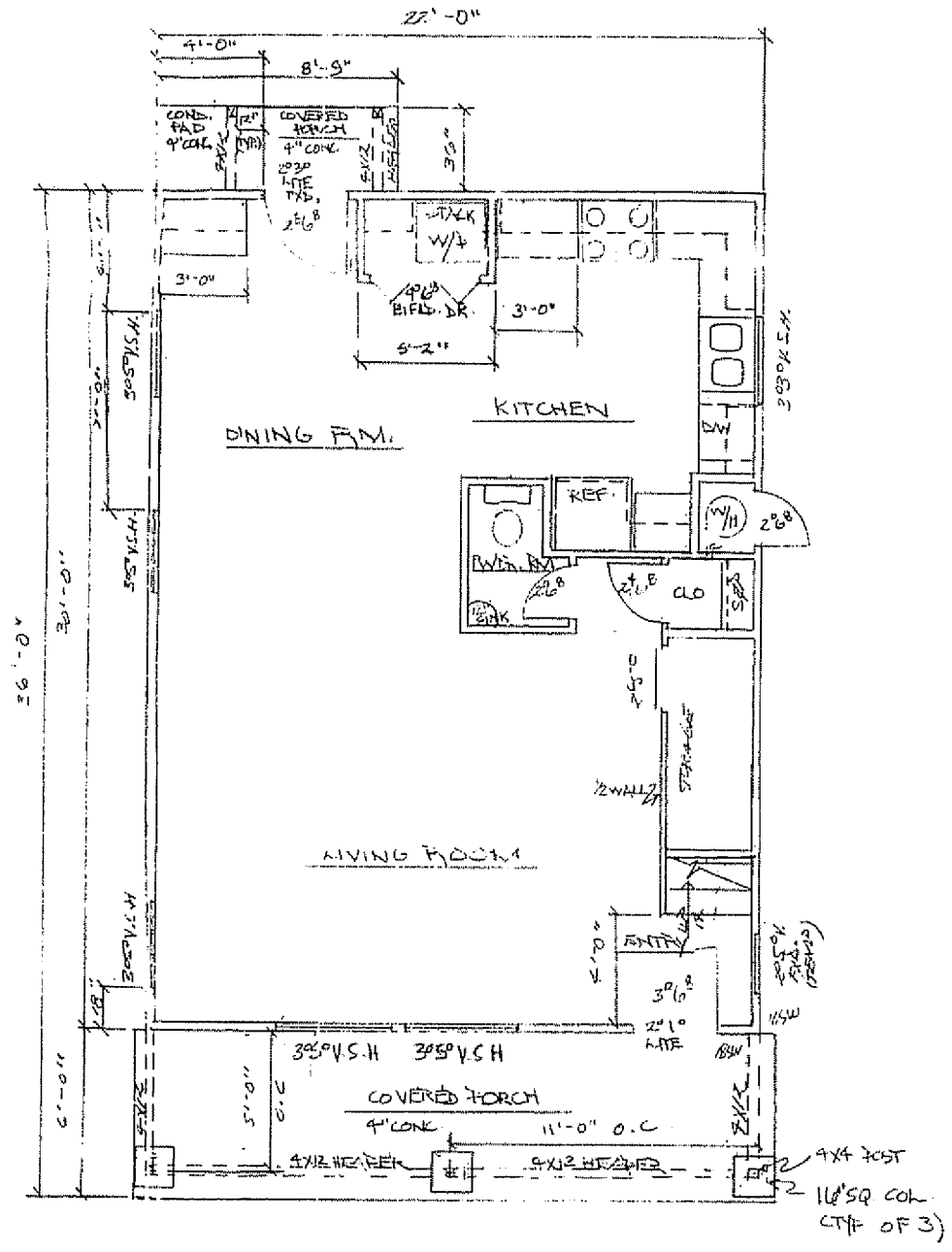
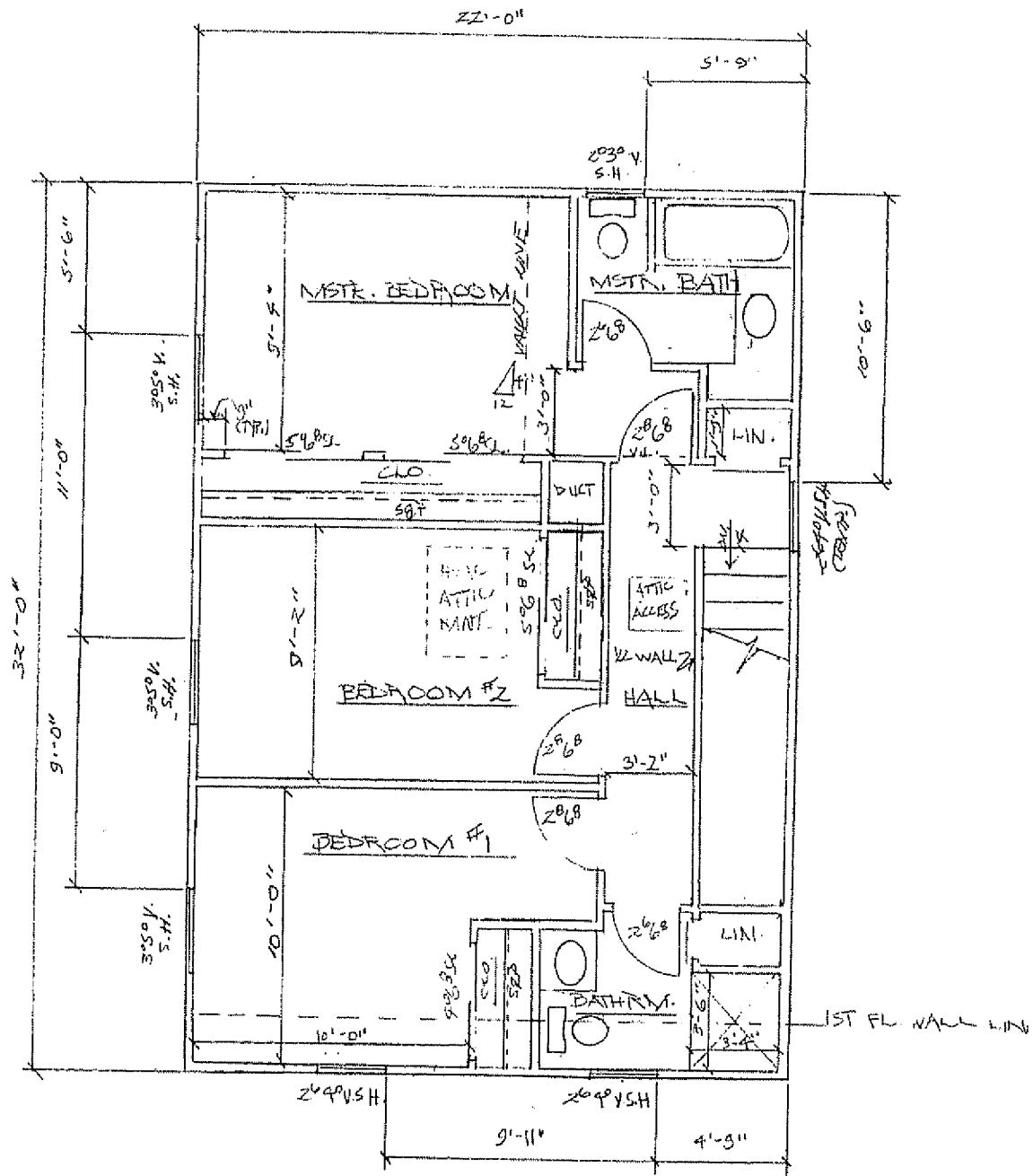


Exhibit B Second Floor Plan

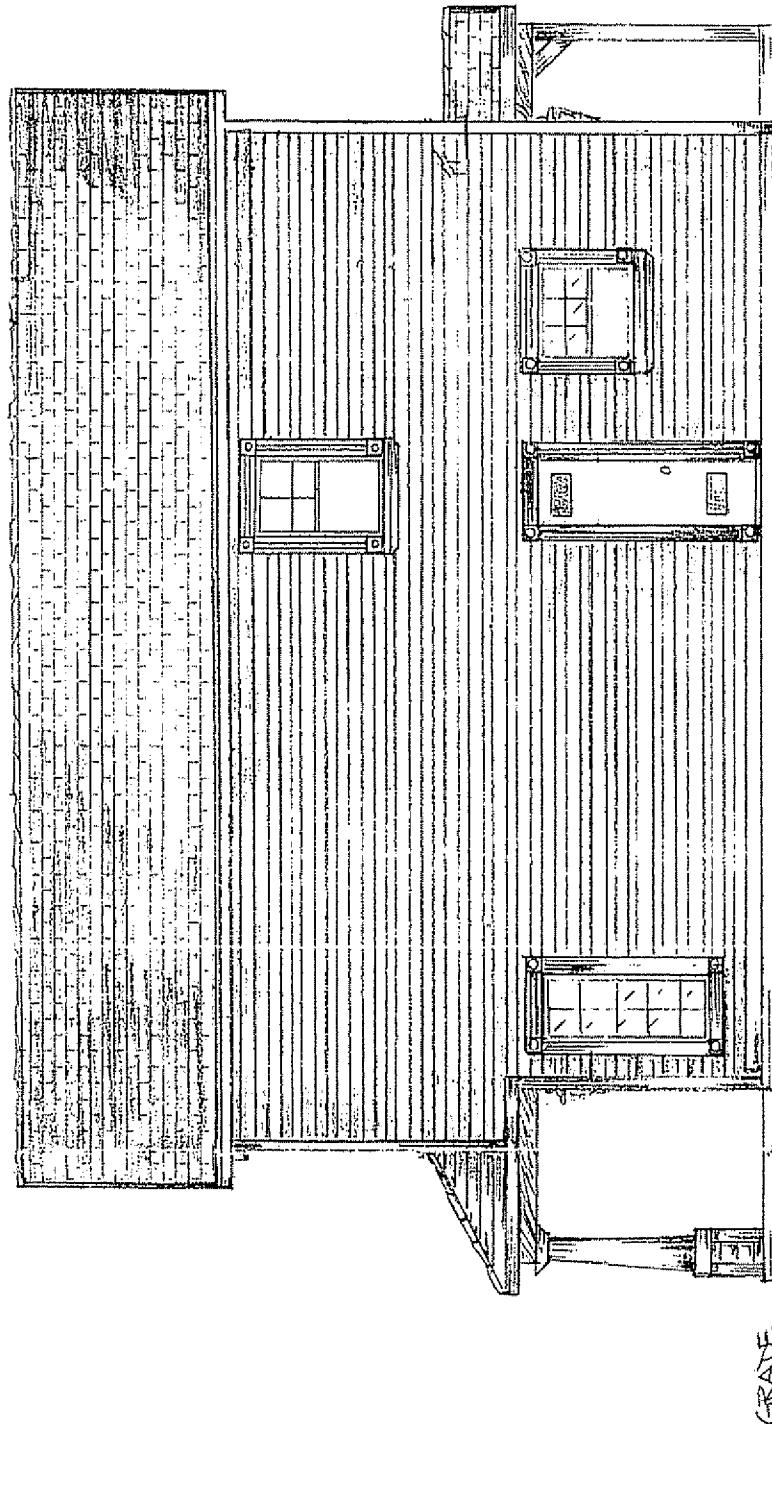


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit C Front Elevation



Exhibit C Right Elevation



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

GRADE

Exhibit C Rear Elevation

