

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Gene Porter Inc., 77 Cadillac Dr., #188, Sac, CA 95825		
OWNER	Diane & Lanier Stenhouse, 2659 Rio Bravo Circle, Sac, CA 95826		
PLANS BY	Arch Design Assoc., 5947 Oak Ave., Carmichael, CA 95608		
FILING DATE	2/10/89	ENVIR. DET.	Negative Dec. REPORT BY DH:kjr
ASSESSOR'S PCL. NO.	237-0100-006		

- APPLICATION:
- A. Negative Declaration
  - B. Rezone 5.0± vacant acres from Agriculture (A) zone to Single Family Alternative (R-1A) zone
  - C. Tentative Map to divide 5.0± vacant acres into 70 condominium lots and one common lot
  - D. Special Permit to develop 70 condominium townhouses

LOCATION: West side of Taylor Street, 600 feet south of Bell Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 70 unit condominium complex with tot lot, pool, parking and common open area.

PROJECT INFORMATION:

1988 General Plan Designation:	Low Density Residential 4-15 du/net acre
1984 North Sacramento Community Plan Designation:	7-15 du/net acre
Existing Zoning of Site:	A
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: R-1A; Vacant	Front:	25'	25'
South: A; Vacant & skilled nursing facility	Side(Int):	5'	5'
	Side(St):	5'	5'
East: R-1; Single family residential	Rear:	15'	15'
West: R-1A; Vacant			

Parking Required:	116 spaces
Parking Provided:	160 spaces includes 140 garages, 20 guest parking
Property Dimensions:	640' x 330'
Property Area:	5.0± acres
Density of Development:	14.5 d.u. per acre
Square Footage of Building:	12 buildings covering 73,800 sq. ft.; total of 105,778 sq. ft.
Height of Building:	Tow stories, 25'
Topography:	Flat
Street Improvements:	To be extended
Utilities:	To be extended

Exterior Building Materials: Exterior plywood T-1-11 or hardboard siding; wood trim  
 Roof Material: Composition shingles  
 Square Footage of Units:

	<u>Description</u>	<u>Size</u>	<u>Number</u>
Unit B	- 3 bedrooms, 3 baths	1,513 sq. ft.	46 units
Unit C	- 3 bedrooms, 3 baths	1,560 sq. ft.	12 units
Unit C-1	- 3 bedrooms, 2-1/2 baths	1,455 sq. ft.	<u>12</u> units
Total			70 units

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On May 24, 1989 the Subdivision Review Committee, by a vote of six ayes, three absent, voted to recommend denial of the tentative map. Should Planning Commission or City Council approve the tentative map, the Subdivision Review Committee prepared conditions of approval which follow.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site contains a vacant five acre parcel currently zoned Agriculture. The 1988 General Plan and 1984 North Sacramento Community Plan designate the site for Residential, 4-5 du/net acre and 7-15 du/net acre, respectively. The proposed project results in a density of 14.5 du/net acre. Surrounding land uses include vacant to the north and west with Eskaton's Skilled Nursing facility to the south and single family residential to the east across Taylor Street. The area due west of the site is a 9.7+ acre parcel proposed for the 168 unit apartment complex named Cederleaf (P88-092). The northern area was rezoned and approved for a R-1A Condominium complex of 130 units in 1985 (P85-364). The owner has refiled for a petite single family subdivision in the R-1A Zone (P89-121) which is undergoing redesign to reflect issues identified by staff (refer to Exhibit I).

B. Project Description:

The applicant is requesting a rezoning from Agriculture to Single Family Alternative zone in order to develop a 70 unit townhouse/condominium project. A tentative map establishing 70 building pads and a common lot is proposed (see Exhibits A & B). A special permit is required in the proposed R-1A Zone to allow condominium development. The site plan, elevations, and floor plans are subject to review under the Special Permit authority (refer to Exhibit J - Applicant's Statement of Intent).

C. Rezoning Request Analysis:

Staff has met with the applicant to discuss the proposed project and past history of previously approved condominium or apartment projects in the immediate area. The following table summarizes the recent development activity in which multiple family developments have been approved and status of each project:

TABLE 1 - EXISTING VACANT R-1A ZONED DEVELOPMENT PROPOSALS AND STATUS

	<u>Location</u>	<u>Units</u>	<u>Date Approved</u>	<u>Acreage</u>	<u>Status</u>
1.	N. Side Bell at End of Taylor St. (P85-259)	213 Condos	9/17/85	15+ ac.	Permits Expired
2.	SW Corner Bell & Taylor St (P85-364)	130 Condos	12/23/85	8.68+ ac.	Permits Expired
3.	SW Corner Bell & Taylor (P89-121)	55 Petite S.F.	In Process	8.68+ ac.	Pending Redesign
4.	SE Corner Grace & Norwood Ave (P85-186/P83-213)	<u>42 Condos</u>	Previous 1983	<u>3.14+ ac.</u>	Permits Expired
	Total (Deletes Line 3)	385 Condos		26.82+ ac.	

The following table summarizes the apartment site development activities by area, zone, and status:

TABLE 2 - APARTMENT SITE DEVELOPMENT ACTIVITY

	<u>Location</u>	<u>Units/Zoning</u>	<u>Year Approved</u>	<u>Acreage</u>	<u>Status</u>
1.	SE Corner Taylor St. I-80 (P85-001)	189 apts. R-3	1985	5+ ac.	Not Built
2.	SW Corner Norwood & Bell Ave (P84-381)	195 apts. R-2B	1984	10+ ac.	Built '86
3.	NW Corner Norwood & Bell Ave (P88-371)	56 apts. R-2B 20 duplex	1988	5+ ac.	Not Built
4.	N Side-Jessie (P88-092) East of Drainage Creek	<u>168</u> apts. R-1A	1988	<u>9+</u> ac.	Not Built
	Total - Built	195 apts.		10+ ac.	
	Total - Not Built	433 apts./duplex		19+ ac.	

One mobile home park has received Commission approval located on the south side of Jessie at the end of May Street for 101 units on 14+ acres in the R-2A Zone (P88-112). The developer recently submitted to staff revised plans reflecting concerns raised at the hearings before the Commission.

Staff observes that adequate vacant R-1A or multiple family zoned property exists in the immediate area. In order to justify another request to rezone acreage for condominium development appears inappropriate at the time. Staff has discussed the

redesign of the development to a petite single family density similar to Chardonna Subdivision to the north of the site with the applicant (refer to Exhibit I). The applicant insists that for his units to be in the affordable price range, he needs 70 units on the 5+ acres. Staff supports the redesign of the development to reflect the 1989 market place for the area which has changed to detached single family dwellings from condominium units. An example of this is the Sacramento Place Apartments that were built to condominium standards but are operated as an apartment complex (P84-381) due to the market conditions.

Staff in summary cannot support the rezoning request at this time.

D. Tentative Map Review

When a proposed project is brought before the Subdivision Review Committee, it is reviewed for technical adequacy and compliance with local subdivision and development regulations. The concept of a condominium development in the proposed R-1A zone was not supported by the Planning staff. The S.R.C. voted to recommend denial of the tentative map based upon available zoned land for condominiums and that this project could be constructed on lands currently zoned R-1A.

If the Commission or Council should approve the tentative map, conditions of approval are as follows:

The Subdivision Review Committee recommends denial of the Tentative Map. If the Planning Commission or City Council approves the map, the Subdivision Review Committee would recommend the following conditions of approval. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code (dedicate and construct Taylor St. to a 25 foot half street);
2. Prepare a sewer and drainage study for the review and approval of the City Engineer;
3. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
4. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map (0.6160 fee acres);
5. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;

6. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code;
7. Meet and coordinate with all County Sanitation District requirements;
8. Submit a soils test prepared by a registered engineer to be used in street design;
9. Extend off-site sewer line to Jessie Avenue. Tie into proposed sewer line in Jessie Avenue to Rio Linda Boulevard or extend per plans on file with City;
10. Dedicate the common area as Lot A as a P.U.E. excepting any building locations;
11. Dedicate a 12.5 foot Public Utility Easement for underground and overhead public utility and electrical facilities and appurtenances adjacent to Taylor Street;
12. Annex to Regional Sanitation District and pay necessary fees;
13. A Homeowners Association shall be formed and C.C. & R.s shall be approved by the City assuring maintenance of on-site sewer, water, and drainage systems;
14. Record C.C. & R.s to the satisfaction of Public Works Director;
15. Provide secondary emergency access. May wish to coordinate with Cedar Leaf Apartments to the west;
16. Align driveway with Naruth Way to the satisfaction of the City Traffic Engineer;
17. Provide fire hydrants on-site to the satisfaction of the City Fire Marshall's Office;
18. Applicant shall comply with the mitigation measures on file at the City Planning Department for P89-095. All structures shall be built to conform with sound attenuation measures;
19. Deeds to all condo lots shall state the owner is aware of the location adjacent to Taylor Street Elementary School and may be subject to minor inconveniences by the activities of the elementary school.
20. Approval subject to the following notice:

The property on which construction is authorized by this permit may be subject to flooding. It is the applicant's and property owner's responsibility to ascertain whether and to what extent such flooding may occur, and to review

the applicable base flood elevations for the proposed project which are contained in the effective Flood Insurance Rate Map; the Department of the Sacramento District Corps of Engineers, Sacramento, California, Flood Insurance Study for the Sacramento City and County of California, FBFM and FIRM work map, dated January 1989; and, all preliminary flood maps available at the City of Sacramento's Planning Division. The Federal Emergency Management Agency and the U.S. Army Corps of Engineers ("Corps") are studying portions of the City of Sacramento to determine what improvements and measures may be needed in order to deem the areas under study adequately protected from a 100 year flood. Until the needed improvements and measures are in place, the areas under study may be subject to flooding by a 100 year or lesser flood. (A "100 year flood" refers to the area subject to inundation by flooding once during any given 100 year cycle; however, such flooding could occur in any given year.) The applicant and property owners should check with the local Corps to ascertain the status of its ongoing study and the projected completion date of any flood control project which might affect the proposed development. Flood insurance may be mandatory in all areas not protected from a 100 year flood, and the City of Sacramento recommends obtaining such insurance whether it is mandated or not. If the investigation of the nature of the flood hazard indicates that the property is at risk, it is the applicant and property owner's responsibility to ensure that all persons holding a record title interest in the property, and all subsequent owners, tenants, occupants, and other interested parties receive notice, as required under applicable law, of the flooding risk to which the property may be subject. This notice is intended to ensure that those persons choosing to develop property in an area subject to flooding have knowledge and the means of acquiring knowledge of the particular risks involved in such development. This notice shall not create liability on the part of the City of Sacramento, or any of its officers, agents, or employees for any damages to persons or property caused by flooding.

E. Site Design and Building Elevations:

Should the Commission consider condominium type development over detached single family units on petite lots, the following comments are provided to improve the overall design:

The proposed site plan shows four types of cluster buildings, two - 2 unit buildings (numbers 11 and 12), two - 4 unit buildings (numbers 4 and 7), six - 7 unit buildings (numbers 1, 2, 3, 5, 9, and 10), and two - 8 unit buildings (numbers 6 and 8). The City Design REview Coordinator has reviewed the elevations and site plan and offered the following comments:

1. Rows of double car garages is viewed from the interior looped roadway is unacceptable. Buildings need to be broken up and oriented so that living areas view out over parking and access. The site plan does not provide security or sense of community due to the layout.

2. Exterior building materials of T-1-11 plywood siding should be upgraded with a mix of two or more exterior materials on the walls and use of wood trim elements. Roof material should be a minimum 25 year composition shingle.
3. The multiple family design guidelines should be reflected in the revised site plan.

Planning staff noted that with two driveways as required by the Fire Marshall's and City Traffic Engineer off Taylor Street, Buildings 2 and 1 will require redesign and relocation. Other items staff noted related to the site plan follow:

1. A 6 foot high solid masonry wall is required along the north and south property lines where driveways or parking areas abut residentially zoned or used property unless a variance is granted by the Commission. A 6 foot high solid board fence is proposed.
2. Tandem parking spaces are not allowed.
3. The 25 foot landscape setback along Taylor Street should show 3 1/2 foot high undulating berms with street trees planted at a density of one tree per 20 lineal feet of frontage with staggered placement.
4. A decorative wrought iron 6 feet high security fence with locking gate is recommended, similar to Sacramento Place and Cederleaf along Taylor Street. This would also prevent parking on Taylor Street by residents.
5. The north and south property line planter areas adjacent to the looped driveway should be increased to 10 feet in width with shrubbery and evergreen trees planted on 20 feet centers.
6. A common recreation building and meeting room is recommended. The proposed cabana could be converted to a multi-purpose building for monthly homeowners meeting.
7. Detailed signage should be shown. The applicant is required to comply with the City Sign Ordinance for apartment identification (Planning Director's Special Permit)
8. Trash enclosures need to be accessible for refuse collection and be designed to the City's Trash Enclosure requirements.
9. All lighting should be directed on-site and glare or reflect off-site.
10. Since the units are to be owner occupied, staff recommends vehicle storage areas for boats, trailers, or other vehicles an owner may wish to store on the site. In the redesign, staff recommends a vehicie storage area being provided.

11. The redesign should incorporate as many elements of the Multiple Family Design Guidelines as possible.
12. The driveways need to be designed to commercial driveway standards, minimum 35 feet wide. Full street improvements need to be shown with centerline of Taylor Street identified on a revised site plan.
13. Any redesign of the condominium layout should provide a 25 feet setback for single story and 50 feet setback for two-story units from side and rear property lines. The proposed location of Building 10, five feet from the south property line, is actually adjacent to the service area for Eskaton's Skilled Nursing Home for the elderly.
14. The overall site plan does not relate well with Cederleaf apartments to the west nor to Eskaton's facility to the south. Analysis of land uses on the site should consider adjacent land uses or previously approved projects.

F. Applicant's Alternatives:

On May 30, 1989, the applicant was advised of Planning Staff's concerns and observation that the project was not supported. The applicant commented that they wish to present to the Commission their arguments for the proposed project. If the Commission wishes, the applicant will also have prepared for the June 8, 1989, meeting, two alternative plans, one showing petite single family lots in a subdivision similar to Chardonnay to the north.

If the Commission supports the petite single family concept, staff would recommend the project be continued to the next CPC meeting so that staff can evaluate the project and prepare a revised staff report.

G. Agency Comments

The project was reviewed by various City Departments and comments are included in the tentative map conditions.

ENVIRONMENTAL DETERMINATION: (Refer to Exhibit K for Expanded Initial Study Discussion)

The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

The following mitigation measures are recommended to reduce noise impacts to a less than significant level:

1. All joints in exterior walls shall be grouted or caulked airtight.



2. All penetrations of exterior wall shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, nonhardening caulking or mastic.
3. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
4. All sleeping spaces shall be provided with carpet and pad.
5. There shall be no through the door or through the wall mail or paper chutes.
6. Windows must have a minimum STC rating of 29 or better. Windows should comprise less than 30 percent of the wall area. Windows should comprise less than 30 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile hour wind per ASTM standards.
7. Sliding glass doors must carry an STC rating of 31 or better. They should be double glazed and they must meet or exceed the window air infiltration rating given above.
8. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.

#### Light and Glare (7)

Parking areas and buildings will be lighted for the safety and convenience of the residents. This could potentially cause stray light to fall upon adjacent residents in areas such as bedrooms, creating a nuisance for those residents. The following mitigation measure is recommended to reduce this impact to a less than significant level.

1. Lighting for the project shall be oriented such that stray light does not fall over the boundaries of the project site.

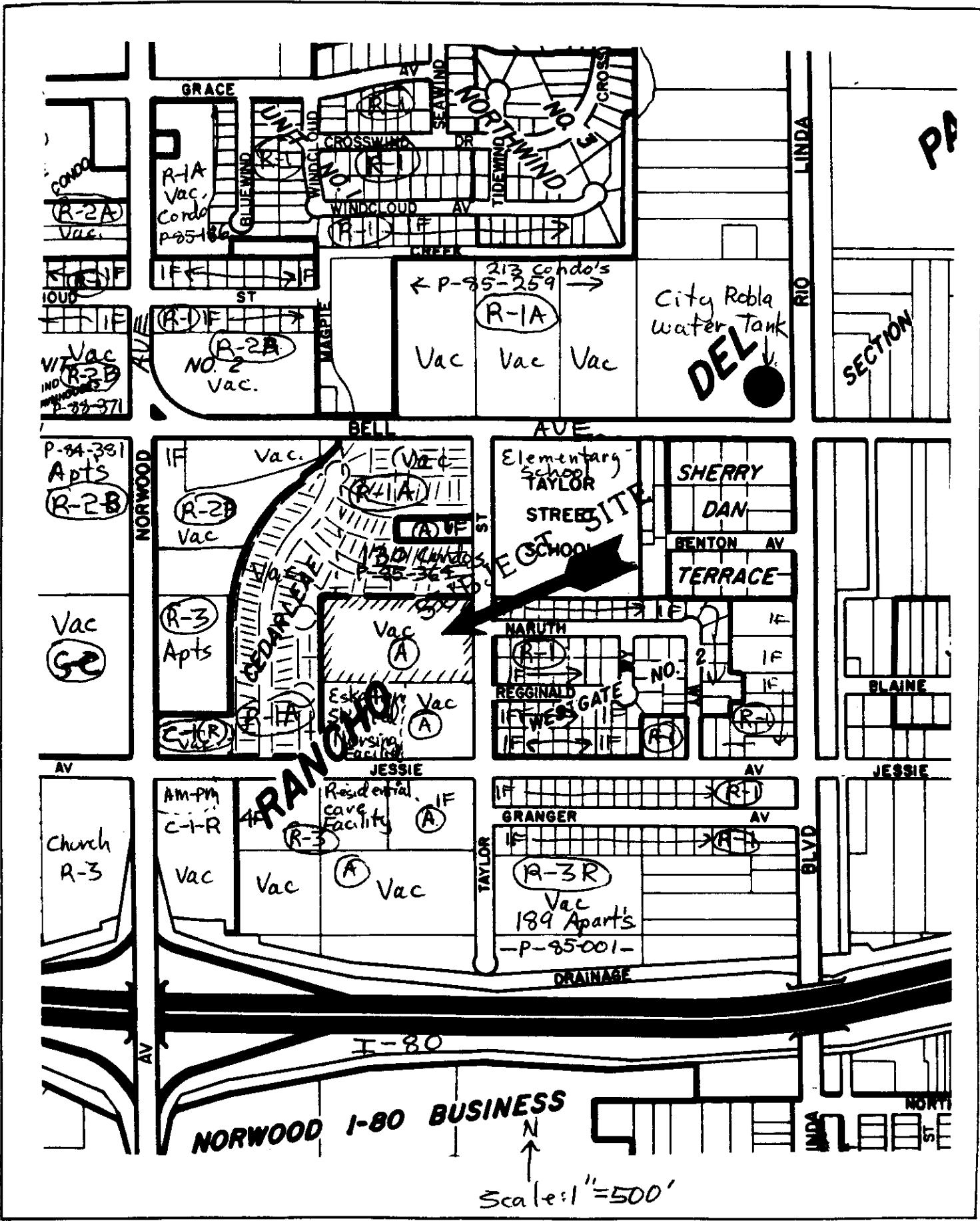
Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required or the applicant may be requested to prepare an Environmental Impact Report if identified impacts cannot be reduced to less than a significant level through mitigation.

STAFF RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration
- B. Recommend denial of the rezoning from Agriculture to Single Family Alternative Zone
- C. Recommend denial of the tentative map to establish a 70 unit condominium development
- D. Deny the Special Permit based upon Findings of Fact which follow:

Findings of Fact - Special Permit - Denial

1. The project is not based upon sound principles of land use in that the proposed condominium development is not compatible with adjacent development and is located in an area saturated with previously rezoned and approved unbuilt apartment or condominium projects.
2. The project will have a detrimental impact on the public health, safety, and welfare in that:
  - a. parking and vehicle access areas are not visually surveyed by the units to deter loitering; and
  - b. inadequate landscaping and lack of a sound wall adjacent to sensitive land uses will affect adjacent uses; and
  - c. the site plan does not observe Eskaton's skilled nursing facility for setback or use nor relate well with Cederleaf apartments to the west.
3. The proposal is not consistent with the 1984 North Sacramento Community Plan's Goal to "Accommodate the growth projected for North Sacramento by the City General Plan in an orderly and efficient manner, one which enhances the existing attractive features of the community." (Page 9, 1984 North Sacramento C.P.)



**VICINITY - LAND USE - ZONING**

EXHIBIT A

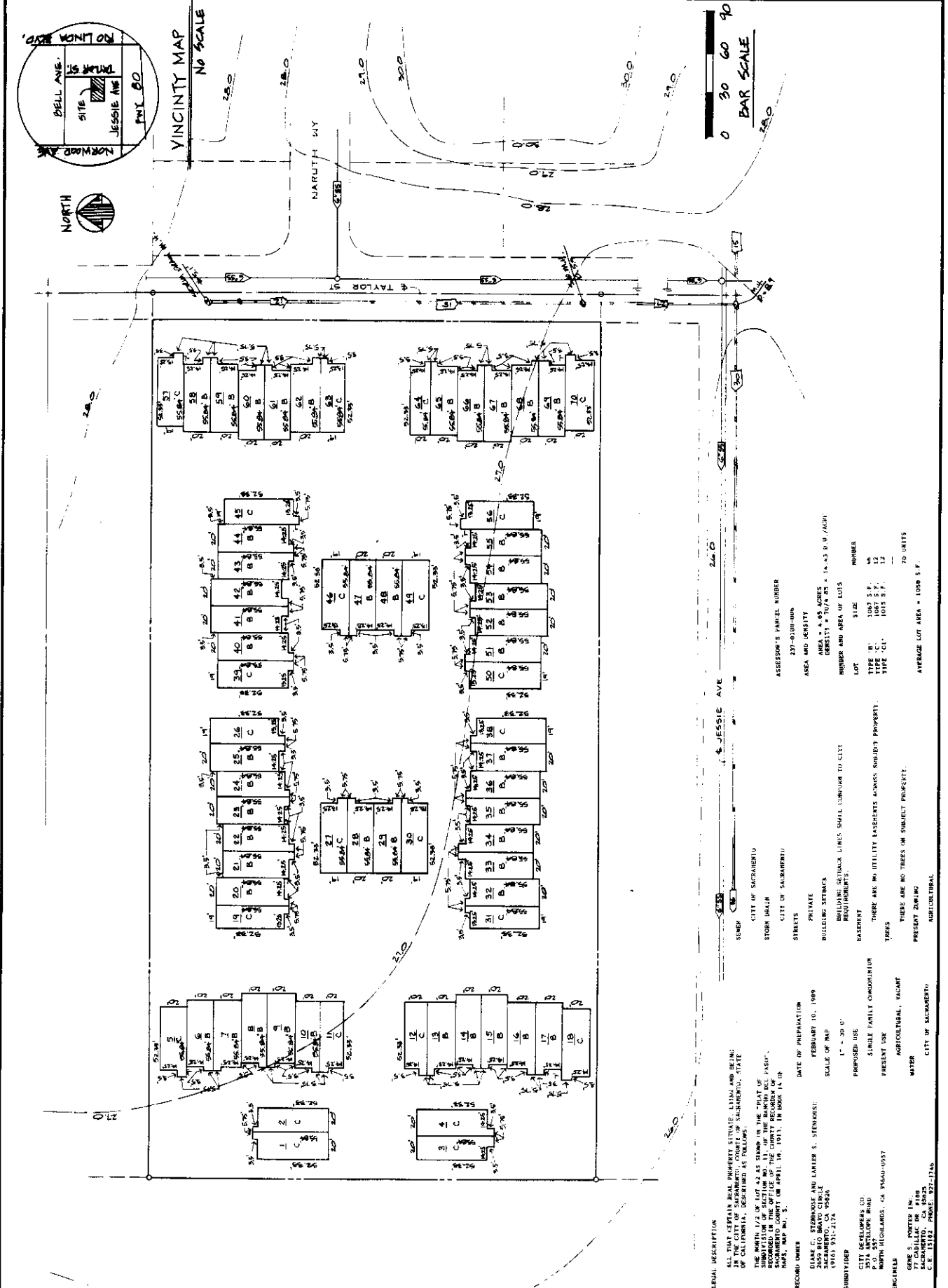
LEGAL DESCRIPTION

All that certain real property situate, lying and being in the City of Sacramento, County of Sacramento, State of California, described as follows:

The North 1/2 of Lot 42 as shown on the " PLAT OF SUBDIVISION OF SECTION NO. 11, OF THE RANCHO DEL PASO ", recorded in the office of the County Recorder of Sacramento County on April 18, 1913, in Book 14 of Maps, Map No. 5.

# EXHIBIT B - TENTATIVE MAP

<p>ENGINEERING &amp; ARCHITECTURE</p> <p>GENE S. PORTER, INC.</p> <p>27 COLLIER BL. SUITE 100 SACRAMENTO, CA 95811</p>	<p>17-18 UNIT LOWDENSE RESIDENTIAL</p> <p>TAYLOR ST. WEST SIDE</p> <p>CITY DEVELOPERS CO., 2576 ARADALE BL., (916) 944-2200</p> <p>50 BULLOCK BL. SACRAMENTO, CA 95804-0877</p>	<p>DATE: 2/10/89</p> <p>SCALE: 1" = 30' 0"</p> <p>PROJECT: 17-18 UNIT LOWDENSE RESIDENTIAL</p> <p>PREPARED BY: GENE S. PORTER, INC.</p>
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<b>LEGAL DESCRIPTION</b>	
ALL THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:	
THE NORTH 1/2 OF LOT 42 AS SHOWN ON THE "PLAN OF SUBDIVISION" RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SACRAMENTO COUNTY, CALIFORNIA, ON APRIL 19, 1911, IN BOOK 14 OF MAPS, MAP NO. 2.	
<b>RECORD OWNER</b>	<b>DATE OF PREPARATION</b>
DAVID G. BERNHARDT AND LARVER S. STERNBERG SACRAMENTO, CA 95825 (916) 931-2174	FEBRUARY 10, 1989
<b>OWNER</b>	<b>SCALE OF MAP</b>
CITY DEVELOPERS CO. P.O. BOX 457 NORTH WILKINSON, CA 95660-0457	1" = 30' 0"
<b>ENGINEER</b>	<b>PROPOSED USE</b>
GENE S. PORTER, INC. 27 COLLIER BL., SUITE 100 SACRAMENTO, CA 95811	SINGLE FAMILY CONDOMINIUM
<b>STREETS</b>	<b>PURPOSE OF MAP</b>
CITY OF SACRAMENTO CITY OF SACRAMENTO	AGRICULTURAL, VACANT
<b>STREETS</b>	<b>WATER</b>
PRIVATE CITY OF SACRAMENTO	CITY OF SACRAMENTO
<b>BUILDING SETBACKS</b>	
BUILDINGS SETBACK LINES SHALL CONFORM TO CITY REQUIREMENTS.	
<b>BASEMENT</b>	
THERE ARE NO UTILITY LINES CROSSING SUBJECT PROPERTY.	
<b>TREES</b>	
THERE ARE NO TREES ON SUBJECT PROPERTY.	
<b>ADDITIONAL INFORMATION</b>	
THERE ARE NO TREES ON SUBJECT PROPERTY.	
<b>ASSESSOR'S PARCEL NUMBER</b>	<b>AREA AND DENSITY</b>
237-0107-000	AREA = 4.05 ACRES DENSITY = 70/A OR = 14.43 U. U. /ACR.
<b>LOT</b>	<b>NUMBER</b>
1087 S.F.	1-18
1015 S.F.	19-36
	37-70
<b>AVERAGE LOT AREA = 1098 S.F.</b>	<b>70 UNITS</b>

P-89-095

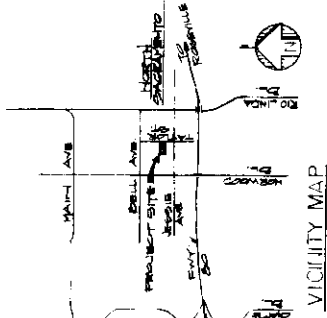
6-8-89

item

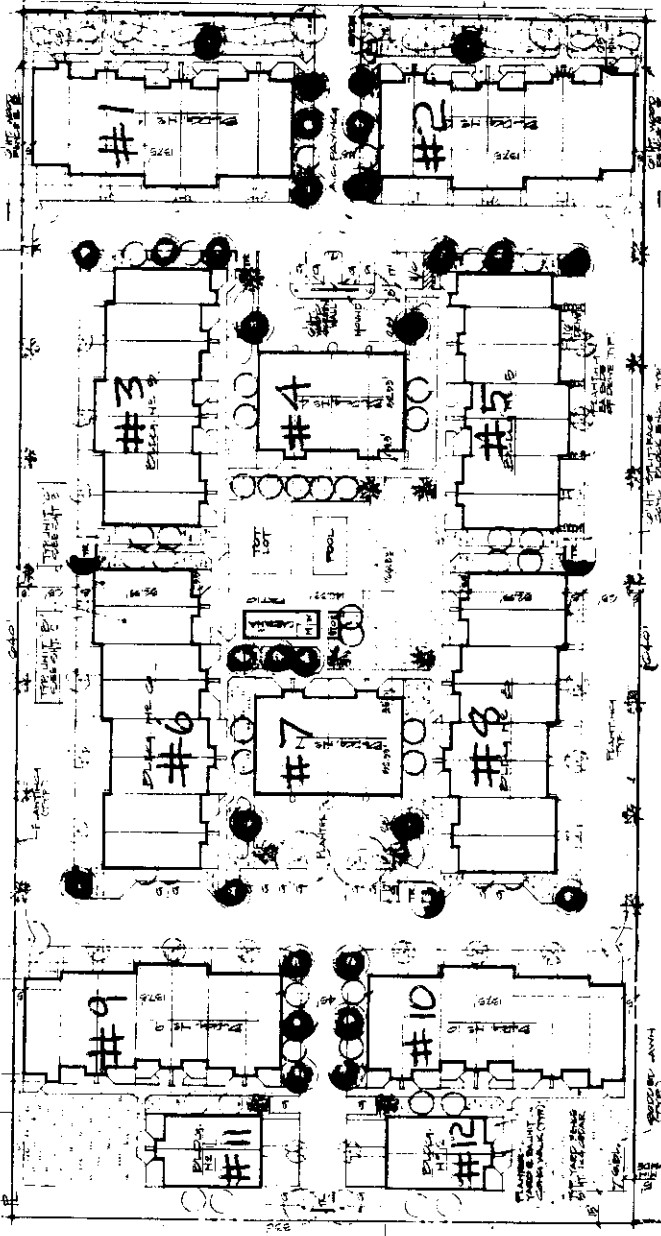
# EXHIBIT C - SITE PLAN

CRESGATE WEST  
 2 70 UNIT TOWNHOUSE DEVELOPMENT, CA  
 TAYLOR ST. NEAR JESSIE W. JACKSON BL., D113 244-2233  
 CITY DEVELOPMENT CO., 2574 AVENUE 84, D113 244-2233  
 P.O. BOX 857, R.H., SACRAMENTO, CA 95800-0857

**PROJECT STATISTICS**  
 DENSITY 28 UNITS = 14 1/2  
 12 ENHANCED TYPE VOUCHER 120,000.00  
 12 CONVENTIONAL TYPE VOUCHER 120,000.00  
 40 CONVENTIONAL TYPE VOUCHER 400,000.00  
 40 15' WIDE BLDG. 160,000.00  
 TOTAL BLDG. COST 800,000.00  
 2 CARE GARDENS/UNIT = 140  
 GUEST (MCL) 1/40 = 140  
 TOT. 150 PERSONS CARE  
 TOT. BLDG. CONTRACT 2,317,500.00  
 PAYMENT AREA = 59,200 SF  
 REG. FLOOR AREA = 79,600 SF



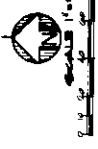
*Chardonray Homes  
 Subdivision*



*Eskaton Skilled Nursing  
 Facility*

*Cederleaf  
 Apartments  
 site*

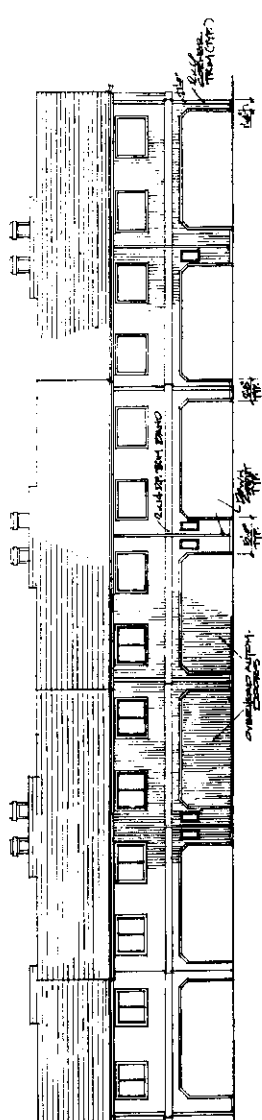
**SITE PLAN** VAC.



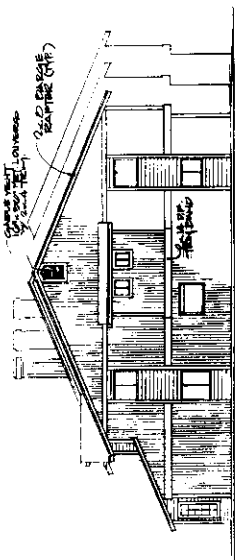
# EXHIBIT D - ELEVATIONS

NO.	DATE	BY	REVISIONS

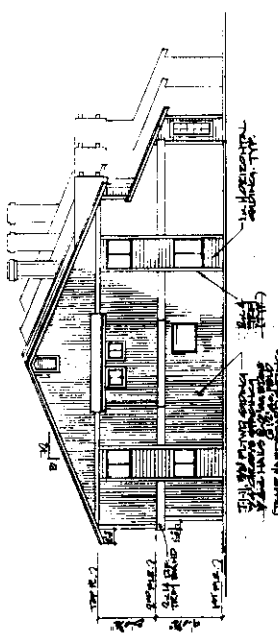
Date: 3.2.89  
 Scale: 1/8" = 1'-0"  
 Drawn: J.A.  
 Sheet: 4 of 7  
**CRESTGATE WEST**  
 4 TO UNIT TOWNHOUSE DEVELOPMENT, CA.  
 TAYLOR ST. NEAR JESSIE WACHSHEIM, CA.  
 CITY DEVELOPERS CO., 2574 AVENUE 24, (916) 944-2323  
 P.O. BOX 507, N.W. BATHURST, CA 95000-0507



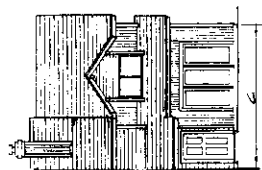
**REAR ELEVATION**



**SIDE ELEVATION**

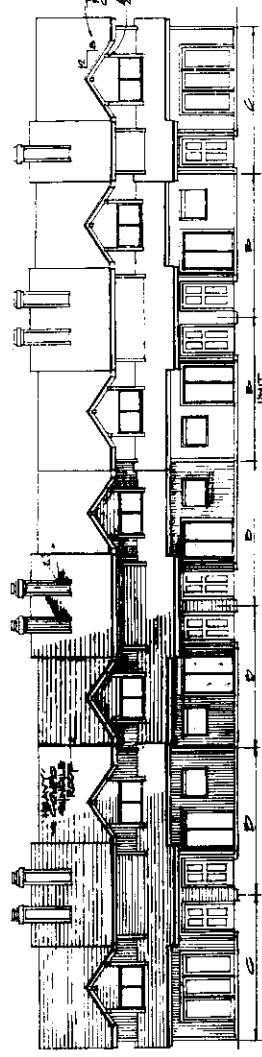


**SIDE ELEVATION**



**FRONT ELEVATION**

**BUILDING NO. 1, 2, NE 11 OPP. HAND**



**FRONT ELEVATION**

**BUILDING NO. 3, 4, 5, 6, 9 OPP. HAND**

P-89-095

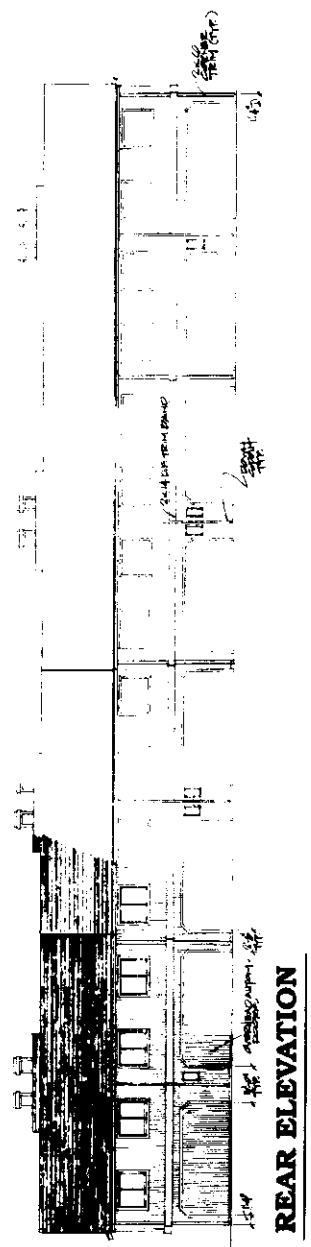
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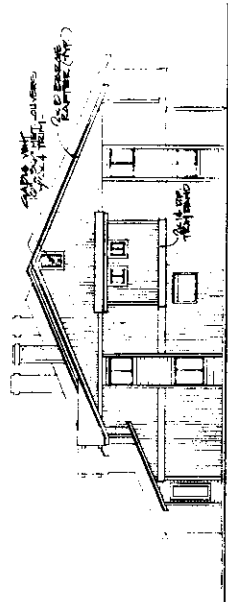
NO.	REVISIONS

CRESTGATE WEST  
 70 UNIT TOWNHOUSE DEVELOPMENT  
 TAYLOR ST. NEAR JESSIE  
 SACRAMENTO, CA  
 City Development Co., 2874 Anderson St., PMB 244-222  
 P.O. Box 827, N.E., Sacramento, CA 95833-0827

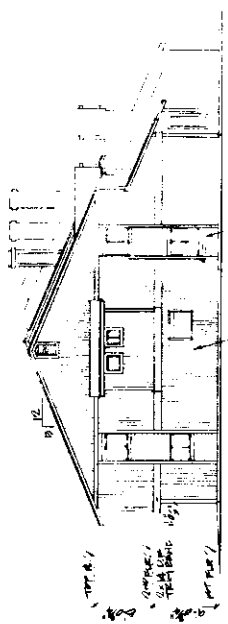
Sheet No. 5  
 of 7  
 Date 12/12/89  
 Drawn by J. [unclear]  
 Checked by [unclear]



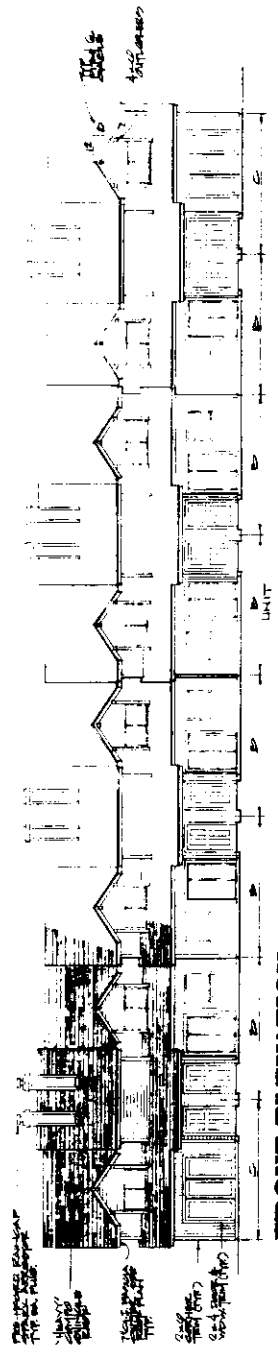
**REAR ELEVATION**



**SIDE ELEVATION**



**SIDE ELEVATION**




**FRONT ELEVATION  
 BUILDINGS NO. 6 AND NO. 8**



# EXHIBIT F - FLOOR PLAN

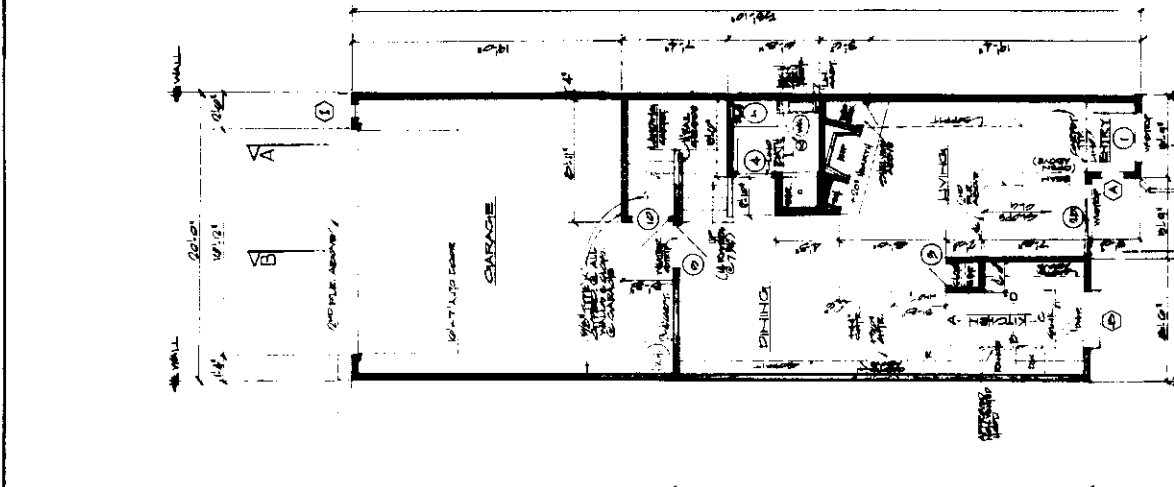
**CRESGATE WEST**  
 A 70 UNIT TOWNHOUSE DEVELOPMENT  
 TAYLOR ST. NEAR JESSIE BACCHAMTTO, CA.  
 CITY DEVELOPMENT CO., 8774 AVENUE 24, (916) 344-2333  
 P.O. BOX 8877, N.E. BURNHAM, CA 95000-0877

DATE: 6/18/89  
 DRAWN BY: J.A.  
 CHECKED BY: J.A.

**ARCHITECTURAL DESIGN ASSOCIATES**  


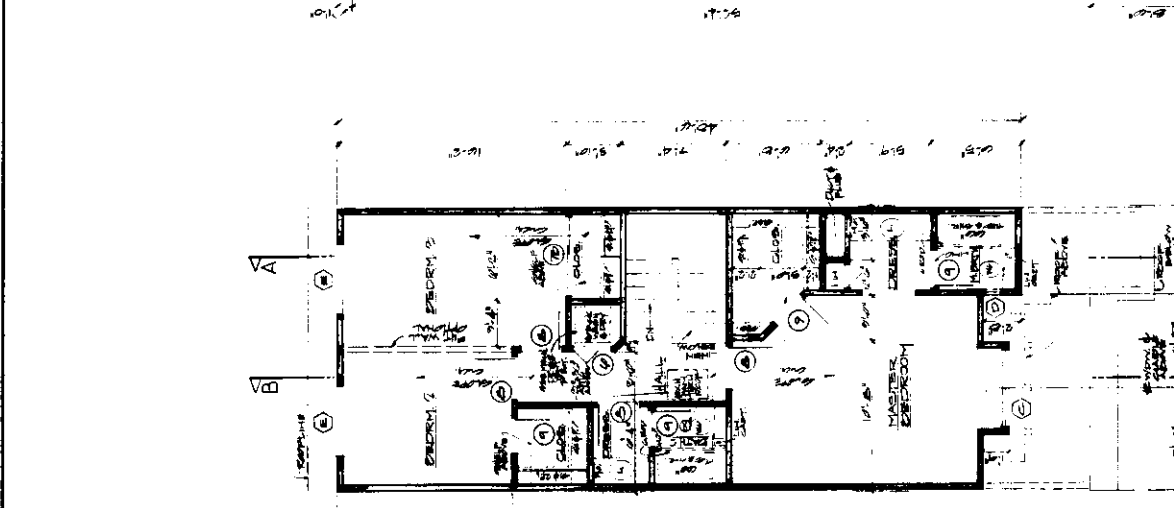
### 1ST FLOOR PLAN

445 sq. ft.



### 2ND FLOOR PLAN

870 sq. ft.



**NOTES:**

1. All construction shall comply with the IBCS before construction begins.
2. The contractor shall perform the work in accordance with all drawings, specifications, and instructions.
3. The contractor shall verify all dimensions, materials, and quantities before construction begins.
4. The contractor shall be responsible for all construction means, methods, equipment and procedures for the work, and all safety precautions during the work.

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	6/18/89	ISSUED FOR PERMIT

**FOUNDATION:**

Foundation shall have a minimum compressive strength of 4000 P.S.I. at 28 days.

Reinforcement for foundation shall be bent and true to line with all loose material removed from excavation.

All reinforcing bar splices shall have a 24 inch minimum overlap.

Foundation anchor bolts shall be 1/2" dia., 3" long, embedded 2" into concrete, spaced as shown on the drawings, and within 1 foot of ends and corners of all plates.

Foundation shall be constructed in line with steel reinforcement.

**WALLS, CEILING & FLOORING:**

All masonry construction shall be constructed in line with steel reinforcement.

All masonry shall be constructed in line with steel reinforcement.

All masonry shall be constructed in line with steel reinforcement.

**ROOF FINISHES:**

Roof finishes shall be designed by licensed Engineer for applicable live loads and dead loads.

Roof framing shall be submitted to a licensed official and the Architect prior to fabrication.

Trusses shall be manufactured by an approved assembly method.

**DOOR & WINDOW FINISHES:**

Doors and window frames shall be hung per manufacturer's instructions.

Doors shall be hung per manufacturer's instructions.

Windows shall be hung per manufacturer's instructions.

**MECHANICAL:**

Mechanical systems shall be installed in accordance with manufacturer's instructions.

Mechanical systems shall be installed in accordance with manufacturer's instructions.

Mechanical systems shall be installed in accordance with manufacturer's instructions.

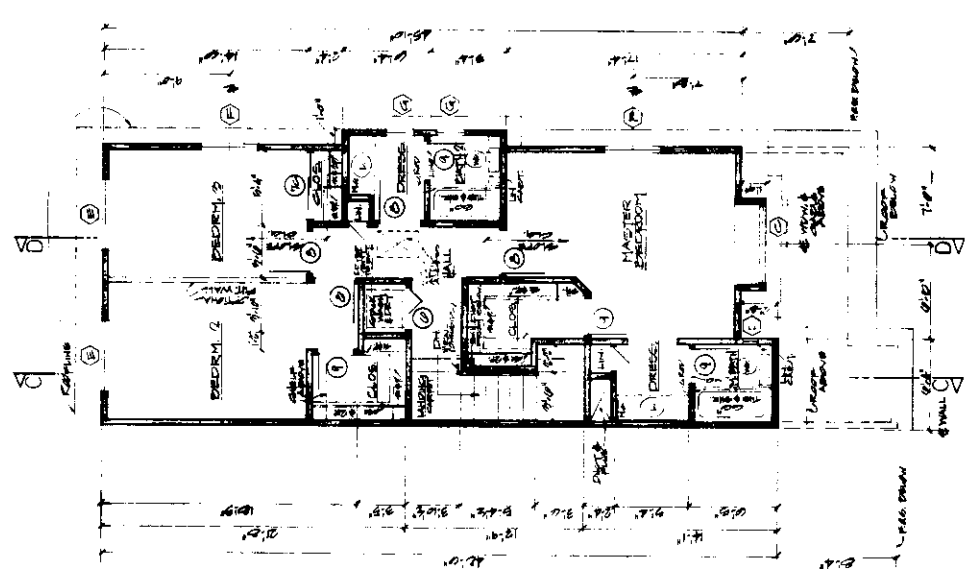
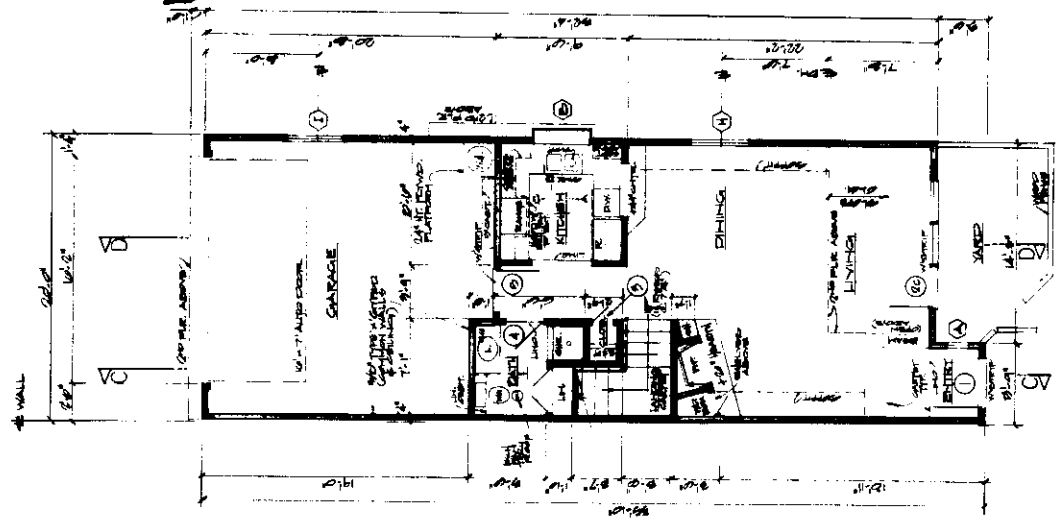
P-89-095

6-8-89

item

# EXHIBIT G - FLOOR PLAN

<b>CRESTGATE WEST</b>	A 70 UNIT TOWNHOUSE DEVELOPMENT, TAYLOR BL. NEAR LESSEE, SACRAMENTO, CA.	CITY DEVELOPERS CO., 2874 ARCADIA BL., (916) 244-2333 P.O. BOX 287, N.E. SACRAMENTO, CA 95800-0287	ARCHITECTURAL DESIGN ASSOCIATES 2800 ARCADIA BL., SACRAMENTO, CA 95833	SHEET NO. 1 DATE 6/8/89 DRAWN BY [blank] CHECKED BY [blank]	<b>UNIT C</b>
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**UNIT C**

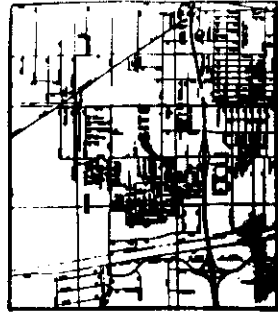
P-89-095

6-8-89

item

EXHIBIT I

PROPOSED NORTH  
SUBDIVISION  
(P-89-121)



NEIGHBORHOOD MAP  
NO SCALE

Taylor  
Street  
Elementary  
School

ROPERA SCHOOL DISTRICT

COWLING  
237-120-2

237-070-1E

237-070-1E

SUNRISE  
WINDSWORTH  
237-070-2E

BELL  
AVE.

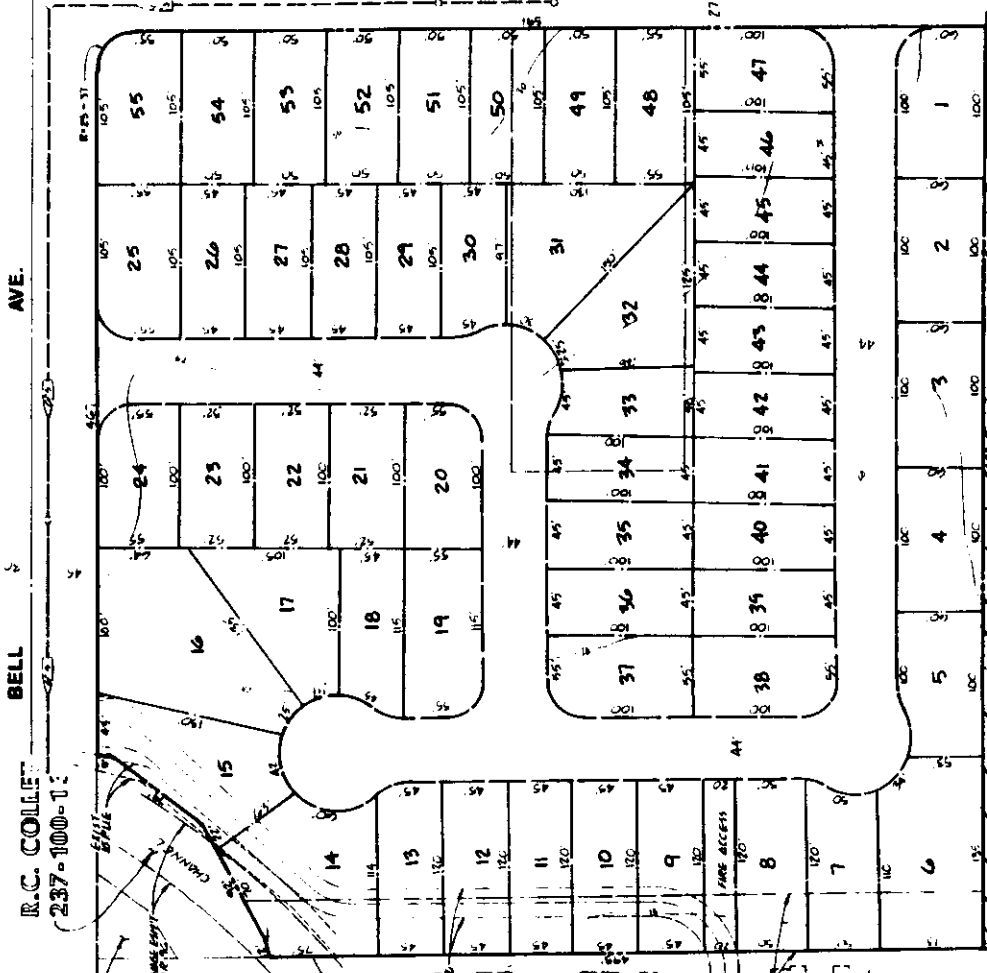
R.C. COLLET  
237-100-1E

R.C. COLLET  
237-100-10

FITZGIBBON  
237-100-1E

CEDARLEAF  
APARTMENTS

SUBJECT STENHOUSE  
237-100-6



DATE PREPARED	DATE	BY	PROJECT
DATE REVISION	NO.	DESCRIPTION	APPROVED DATE
DATE	SCALE	FORM NO.	VERT. 1"
COMPUTED	REMARKS	BY	DATE
DESIGNED	BY	DATE	BY
DRAWN	BY	DATE	BY
INSTRUMENTED	BY	DATE	BY

TENTATIVE SUBDIVISION MAP  
CHARDONNAY HOMES  
OF  
SACRAMENTO CITY

MORTON & PITALO, INC.  
CIVIL ENGINEERS - PLANNERS - SURVEYORS

MP

FILE NO. 846034

P-89-095

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STATEMENT OF INTENT

PROPOSAL

City Developers Co., as subdivider-developer, proposes to develop this five acre site situated in the North Sacramento area of the City of Sacramento on the west side of Taylor Street between Jessie and Bell Avenues and construct thereon a total of seventy two-story single family condominiums for sale. Purchase of the site by City Developers Co. is currently in escrow.

In order to make the project possible this application for rezoning and a special permit is being filed. The site is presently zoned agricultural. A rezoning to R1-A is being sought. The parcel is contiguous to properties zoned A and R-2B-R.

To facilitate the processing of all documents required for this development the tentative subdivision map is being filed simultaneously with this application. Concurrent processing of the application for rezoning, the special permit and the tentative subdivision map along with the environmental questionnaire is requested.

INFORMATION PERTINENT TO APPLICATION

The site is well situated and suited for the proposed self-contained development for a variety of reasons. No major development problems are presented.

The land is somewhat higher than the bordering street and is quite level requiring a minimum of grading for site drainage, streets and building pads.

Water, sanitary sewer and storm drain facilities are available in Taylor Street and appear to be adequate to serve the subject site. Utilities including power, gas and telephone are available, and according to the utilities, of sufficient capacity to serve the development.

The Regional Transit Bus is available at Norwood and Jessie Avenues together with bus transportation to schools.

Ingress and egress to and from the project will be off Taylor Street.

A circulating private street layout on the site has been designed to provide convenient access for both occupants and emergency vehicles. There will be no through traffic.

A total of seventy condominium lots will be created varying in size from 1128 square feet to 1181 square feet.

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Based on gross acreage a density of fourteen units is proposed and on a net acreage based density of 14.43 units is suggested.

Twelve two-story buildings will occupy the site. The buildings will consist of two, four, seven and eight each with an enclosed two car garage. All dwelling units will include three bedrooms. Dwelling units will range in size from 1455 square feet to 1560 square feet. Each will be provided with three baths and space for washer and dryer. Fenced front patios will offer some outdoor living area together with privacy and security for children and pets.

Masonry trash bin enclosures and an open area are included in the plan. Adequate street, building and common area lighting is designed to meet City of Sacramento minimum street lighting standards and to improve security.

A total of 160 off-street parking spaces will be provided of which 140 will be in enclosed garages. Twenty guest parking stalls, including one stall for handicapped persons make up the total.

Extensive common landscaped areas provide an open setting for the twelve buildings.

Building elevations incorporate design variations and present a pleasing appearance with the use of attractive exterior colors.

#### INFORMATION AND REASONING JUSTIFYING REQUEST

There is a demonstrated and sizable need on the Sacramento market for single family dwelling units of three bedrooms and several baths in the median price range which can be purchased on more reasonable terms than generally available. This is particularly true for the first time home buyer and larger families. This proposed development will help meet this need and offer these advantages.

In order to achieve this goal a site large enough to create its own internal neighborhood environment had to be acquired at an economic cost. This was possible by acquiring a site with a market price based on a lesser zoning than that required for a condominium project but within an area suited for a higher density development and contiguous to property with compatible zoning.

The many other features contributing to an economic development of this particular sit have already been described. The availability of public facilities, utilities and the natural condition of the land all contribute to an economic lot development cost, a major item in any dwelling purchase.

The higher density of the proposed development follows the growing trend toward increasing residential densities on remaining suburban land and is compatible with the long term community plans for this area. The general plan for the City of Sacramento, adopted January 1989, and the Community Plan, adopted March 1984, both project a maximum density of fifteen single family units per acre for the subject site, a density lower than the maximum unit provided in both plans.

ATTACHMENT A  
DISCUSSION OF INITIAL STUDY FOR CRESTGATE WEST TOWNHOMES  
(P89-095)

The applicant is requesting approval of various entitlements to allow development of 70 townhouse condominium units and a clubhouse on 4.88 net acres in the North Sacramento Community. The site is located on the west side of Taylor Street, north of Jessie Avenue and south of Bell Avenue. The site is vacant presently and is surrounded by vacant lands, single family residences, a school and a convalescent hospital. Interstate 80 is south of the site and the main north-south runway of McClellan Air Force Base is west of the site.

Land Use (8)

The requested entitlements include a rezone from Agricultural (A) to Single Family Alternative (R1-A) zone, a tentative map to subdivide the site into 70 condominium lots and a remaining common area, and a special permit to develop 70 condominium townhouses. The site is designated for urban development, Low Density Residential (7-15 du/net acre) on the City's General Plan and Residential (7-15 du/net acre) on the North Sacramento Community Plan. The project proposes 30 units on 4.88 net acres which results in a density for the site of 14 du/net acre. A goal of the North Sacramento Community Plan is to substantially increase private development in underutilized areas with the objective of encouraging development north of I-880 (now called I-80), in a manner which emphasizes neighborhood cohesiveness and a variety of housing types. Townhouse-Condominiums are one of the listed single-family housing types. The project is consistent with the goals for urban development of this area.

Earth (1b), Water (3b,i), Plant Life (4), Animal Life (5)

The site is presently vacant but was historically used for agricultural and grazing purposes. Urban development on the site will result in removal of the vacant field vegetation and associated wildlife. No endangered or threatened plant or animal species are known to occur on the site. The soil will be overcovered in areas where structures and parking are located. The drainage of the site will be engineered to be collected by the existing City storm drainage system and runoff volume will be slightly increased due to the increased amount of non-absorbent surface area. These are normal effects from urban development. As discussed above, urban development is consistent with the planned land use of the area and has been previously evaluated in EIR's associated with the land use designation. These effects are therefore not considered to be significant impacts.

Noise (6b)

The site is located adjacent to I-80 and McClellan Air Force Base. A city-wide noise study was conducted for the EIR for the 1986-2006

City General Plan which identified the site as being potentially subject to noise levels of 60-70 dB Ldn. The noise element of the General Plan identifies noise levels in excess of 60 dB Ldn as being conditionally acceptable for residential development, permitted only after evaluation by an acoustical engineer. An acoustical report was prepared for this site and the conclusions of the report are summarized below.

The site is impacted mainly by roadway traffic on Interstate 80 and some by traffic on Taylor Street and Bell Avenues and some by military aircraft operations out of McClellan Air Force Base. There is a little noise influence due to activities at the nearby elementary school, small aircraft operations out of Rio Linda Airport and train movements on the Union Pacific east main line. The principal noise sources are expected to remain the same to the design year of 2016, though there will be additional noise due to human activity and probably a decrease in noise due to birds and insects. The mission for McClellan Air Force Base is expected to remain equivalent to today (1) and thus its noise impact will be unchanged. However, the traffic on Taylor Street, Bell Avenue, and Interstate 80 are expected to increase greatly. As a result, the impact from these sources will grow. As the townhouses at Crestgate West are constructed and occupied, the new residents will contribute to the increase in traffic volume but this will add less than 0.5 dB to the day-night average sound level, Ldn.

Exterior day-night average sound levels will be at or below the 60 dB limit specified in the City of Sacramento Noise Element (3) in the year 2016 for front yards/patios and common activity area with direct line of sight to Taylor Avenue. Excluding the influence of structures between Interstate 80 and Crestgate West, it is estimated that the sound level throughout the development would be 60 or 61 dB. At least 5 dB noise reduction is expected because of the shielding provided by structures. Taylor Street sound levels at the 25 foot setback will be about 57 dB, Ldn. The site lies within the 57 to 62 day-night average sound level, Ldn contour for McClellan AFB. It is outside the standard noise contours, but several military aircraft flew over or near the site during field noise surveys. Interior sound levels will not exceed the 45 dB limit if construction is completed as proposed with sound rated doors and windows. Jet flyovers, truck passage or motorcycle drive-by appeared to determine maximum sound levels. Maximum aircraft noise was about 80 dB (A). Dramatic increases in traffic volumes on Bell Avenue, a large increase in Taylor Street traffic volumes and a doubling of the volume on Interstate 80 will greatly increase the roadway noise impact by the year 2016. Noise contours over the project due to Taylor Street and Bell Avenue traffic will range from 55 to 58 dB. The total day-night average sound level on the development will vary from a high of 62 dB near Taylor Avenue to 59 dB in the west section of the development.

The noise impact will be low both for future and existing residents near the roadway and interior to the project. Any mild exterior noise impacts can be lessened by constructing privacy fences next to Taylor Street that do not have any openings for air to pass through. The property would ordinarily be classified as "Normally Acceptable" or "Conditionally Acceptable". It will be possible to design the dwellings to meet interior Ldn requirements using sound rated doors and windows and insuring that residents have heating and ventilating systems to permit the windows to remain closed. It will be possible to construct the houses to meet maximum interior level requirements by using higher grade windows and better wall construction.

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Minimal interior and no exterior sound reduction is required to meet the City of Sacramento Noise Element Ldn limits. Interior limits can be assured by requiring that all windows have a minimum Sound Transmission Class (STC) rating of 29. Exterior doors must include complete door seals and have a minimum rating of STC 30. Sliding glass doors must have an STC rating of 31. To meet maximum interior noise limits, windows will have to have a minimum STC rating of 34 and resilient channels will have to be used between the studs and the gypsum wallboard.

In formulating the building construction and materials needed to comply with an interior day-night average sound level of 45 dB, a 2 dB margin of safety has been designed in to account for sound flanking paths and construction that might not be perfect. The general construction details applicable to the reduction of exterior sound levels to meet the 45 dB limit are given below.

The following mitigation measures are recommended to reduce noise impacts to a less than significant level:

1. All joints in exterior walls shall be grouted or caulked airtight.
2. All penetrations of exterior wall shall include a 1/2 inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
3. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
4. All sleeping spaces shall be provided with carpet and pad.
5. There shall be no through the door or through the wall mail or paper chutes.
6. Windows must have a minimum STC rating of 29 or better. Windows should comprise less than 30 percent of the wall area. Windows should comprise less than 30 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile hour wind per ASTM standards.

7. Sliding glass doors must carry an STC rating of 31 or better. They should be double glazed and they must meet or exceed the window air infiltration rating given above.
8. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.

#### Light and Glare (7)

Parking areas and buildings will be lighted for the safety and convenience of the residents. This could potentially cause stray light to fall upon adjacent residents in areas such as bedrooms creating a nuisance for those residents. The following mitigation measure is recommended to reduce this impact to a less than significant level:

1. Lighting for the project shall be oriented such that stray light does not fall over the boundaries of the project site.

#### Transportation/Circulation (13)

The traffic study for the 1986-2006 General Plan EIR assumed residential density for the site at 7-15 du/net acre. Urban densities were also assumed for surrounding properties. Norwood Avenue between Main Avenue and I-80 is presently operating at Level of Service C/D wherein moderate congestion occurs, Bell Avenue and Taylor Avenue operate at LOS A, freeflowing conditions. Construction of the project will not in itself create significant adverse impacts to local road segments or intersections.

Under full buildout of the City's General Plan projected for the year 2016, traffic volumes are expected to increase such that the segment of Norwood Avenue between Main Avenue and I-80 is expected to be degraded to an operational service level of LOS F, experiencing severe congestion or total breakdown. Bell Avenue is expected to operate at LOS C. Taylor Avenue will not experience congestion. The City Council evaluated the projected significant adverse traffic impacts under the cumulative Buildout scenario for the General Plan and declared that some of these impacts were not mitigatable. This segment of Norwood Avenue was one of the identified street segments. The City Council adopted Findings of Fact and Statements of Overriding Considerations on January 19, 1988.

#### Public Services (14), Utilities (16)

The site is designated for urban development and will be served by existing City services and hooked up to the existing infrastructure. The development is not expected to require any substantial increases in service requirements for City services or utilities.