

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Sacramento City Unified School District, P.O. Box 2271, Sacto., CA 95810
OWNER Sacramento City Unified School District, P.O. Box 2271, Sacramento, CA 95810
PLANS BY H.M.R. Architects, 2300 P Street, Sacramento, CA 95810
FILING DATE /23/86 **ENVIR. DET.** 5/30/86 **REPORT BY** DH:bw
ASSESSOR'S-PCL. NO. 031-020-73; 031-620-11; 031-700-53

APPLICATION: A. Negative Declaration

- B. Special Permit to develop a 420-student elementary school and parking lot on 6.3± vacant acres in the Single Family (R-1) zone
- C. Variance to locate a six-foot high chainlink fence in 25-foot front yard setback in the R-1 zone

LOCATION: South Land Park Drive and Sunwood Way

PROPOSAL: The applicant is requesting the necessary entitlements to construct the Lisbon Elementary School.

PROJECT INFORMATION:

1974 General Plan Designation: Residential/School
1976 Pocket Community Plan Designation: School
Existing Zoning of Site: R-1
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family; R-1	Front:	25'	55'
South: Single Family, Park; R-1	Side(Int):	5'	80'
East: Single Family; R-1	Side(St):	5'	50'
West: Single Family; R-1	Rear:	15'	320'

Parking Required: To be determined
Parking Provided: 41 spaces
Property Dimensions: Irregular
Property Area: 6.3± acres
Square Footage of Building: 25,100 (gross)
Height of Building: 26 feet
Topography: Flat
Street Improvements/Utilities: Existing
Exterior Building Materials: Brick veneer, plaster walls, wood and metal fascias
Roof Material: Concrete tile simulated like shake roof
Employees: 27
Hours of Operation: 7:30 a.m. - 4:30 p.m., Monday through Friday
Capacity: 420 students

PROJECT BACKGROUND: The subject site was created from three subdivisions, Parkway Oaks Unit 4, (P84-138) Windwood Unit No. 3, P-7845 and Delta Park Hills, (P-9131, P-9332). The school district received Planning Commission approval to merge the three parcels into one, 6.3 acre parcel on March 27, 1986 (P86-084).

APPLC.NO. P86-212 **MEETING DATE.** June 26, 1986 **ITEM NO.** 17

The applicant informed staff that rather than comply with the condition of paying off existing assessments, they are not going to proceed with securing a certificate of compliance to merge the three parcels. The project does not require City Building permits. It is reviewed and approved by the State Architect's office and is inspected by the State. Although two buildings appear to be bisected by the property lines, the City cannot legally require the three parcels to be merged.

PROJECT EVALUATION: Staff has made the following findings:

- A. Land Use and Zoning: The subject site contains 6.3⁺ vacant acres of land and is currently zoned Single Family Residential (R-1) zone. The 1976 Pocket Community Plan designates the site for Elementary School/Low Density Residential uses. Surrounding land uses include single family dwellings to the north, east and west and a future park and subdivision to the south. Work is currently proceeding with the new subdivision.
- B. Project Description: The Sacramento City Unified School District proposes to construct 25,100 square feet of school building which includes eight classrooms, an administration and multi-purpose building, a kindergarten-resource module and four portable classrooms. Future expansion plans include space for four to eight more portable classrooms. Playground area includes both grass and hard surface. A 41-space parking lot is provided. A total of 27 full time and part-time employees are projected for the school. Enrollment capacity is 420 students in grades K-6. Transportation will be provided by bus, automobile and personal modes of bicycle and walking. South Land Park Drive will be used for bus loading and automobile arrival and departure.
- C. Site Plan: Staff met with the school district and their architect to review the plans with the following comments to be incorporated into the revised site plan (refer to Exhibit A, Staff Modified Site Plan).
 1. Fencing: The fence located along South Land Park Drive is located on the property line and will be six feet in height. Staff suggested that the fence be reduced in height to three feet, or be set back 25 feet. The applicant responded by indicating a need for the play area for the kindergarten and security for the children provided by a six-foot chainlink fence. The applicant is requesting a variance to allow the six-foot high fence in the front yard setback on the property line. The applicant proposes use of green vinyl covered chainlink fencing to match the lawn area. Staff recommends that the fence be set back 15 feet from the property line and that landscaping, including trees, be installed in the area.
 2. Gates: Gates are not shown on the site plan. Since the fence adjacent to the park site is temporary, staff does not recommend any additional gates on site to provide access.
 3. Parking: The parking lot will be required to meet the City Tree Shading Ordinance of 30% shading within 15 years of landscaping. A revised landscape and irrigation plan should also show trees, shrubbery and living ground cover for the entire site. The parking lot will also serve the future park site located to the south.

4. Masonry Wall: The 41-space parking lot would normally require a masonry wall separating it from the lot to the south. Since the southern parcel is planned for a future park site, the need for a solid masonry wall is not warranted. The six-foot chainlink fence along the south property line is temporary and will be removed once the park is developed.
 5. Lighting: All lighting shall be directed on site and not reflect onto adjacent residential uses. The applicant's plans do not show lighting.
 6. Trash Enclosure: Due to security and surveillance necessary at an elementary school, the dumpster area will be a chainlink fence enclosed area through which adults can oversee children if they wander into the area. Staff suggested wrought iron, but, due to cost, the applicant did not agree with staff. Staff recommends that a minimum of a five-inch aggregate base rock and six-inch Portland cement paving be used for the pad and apron. If the applicant desires to construct a trash enclosure, guidelines are attached as Exhibit B.
 7. Electrical and Gas Meters: Electrical transformers and gas distribution facilities will be located at the south side of the multi-purpose building near the bicycle storage area. They will be enclosed with chainlink fencing but not screened by landscaping. Staff recommends landscape screening of the bicycle storage and utility meter area a height of three feet.
 8. Recreation Plan: Staff requested detailed layout of playing fields and baseball, basketball and other active areas so that they minimize the potential for conflict with the residential neighbors. Staff will review recreational facility layout in terms of keeping high activity areas away from residences.
 9. Relationship with Park: The applicant's plans show a temporary fence separating the park to the south from the school. The school is an "open" campus. The Community Services District has an agreement with the school district to have joint use of playing areas.
 10. Landscaping: Staff recommends the use of climbing vines, shrubbery and trees along fences visible from the public right-of-way. The applicant indicated school district problems with surveillance of school grounds due to landscaping. A three-foot high hedge, vine or shrubbery could break up the flat openness of the playing area as viewed from South Land Park Drive. Clumping of trees and shrubbery could still provide landscape treatment and not prevent surveillance.
- D. Building Moves and Portable Classrooms: The applicant has indicated areas for portable classrooms. All building moves are required to be reviewed and approved by the Design Review staff. In showing the footprints for future placement of portable classrooms, the site plan becomes a master plan for future expansion.
- E. Exterior Building Design: Staff expressed a concern that the two schools, Lisbon and Greenmont Elementary, were described with similar exterior building materials.

The applicant concurs with staff's suggestion to provide different colors, texture and materials for each of the two schools so that each is distinct from the other. The same floor plan and building layout can be used but exteriors will be modified.

F. Agency Review: The proposed project was reviewed by the City Traffic Engineer, Engineer and Community Services Departments with the following comments received:

1. City Engineer: Provide water and sewer and drainage services at the time of obtaining building permits.
2. City Traffic Engineer:
 - a. Driveway permit is required;
 - b. Driveway must approach street at right angle;
 - c. Driveway must be 24 feet in width or more.
3. Community Services:
 - a. Cooperate with the Parks and Community Services Department on joint development of the school/park complex;
 - b. Recommend against having hard court area adjacent to private property (residential).

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator for the City Planning Division has reviewed the proposal and has filed a negative declaration, based on compliance with the mitigation measures outlined below that were identified in a previous environmental assessment of this project:

1. The applicant shall ensure that:
 - Soil is periodically dampened during construction.
 - All vehicles drive at slow speeds when traveling on exposed surfaces.
 - The period of time during which any particular area remains undeveloped is limited.
 - All construction equipment is periodically maintained.
2. The applicant shall protect ground squirrel colonies that support the burrowing owl by:
 - Avoiding nest sites during grading and construction.
 - Avoiding poisoning of ground squirrel colonies.
3. Construction activities shall only occur between the hours of 7:00 a.m. and 5:00 p.m.

4. Construction equipment used for this project shall be equipped with noise-suppressing devices.
5. The applicant shall ensure periodic and proper maintenance of construction equipment, especially exhaust systems.
6. Exterior building materials shall be brick, synthetic plaster, stucco, or wood.
7. Exterior paint shall be light in color.
8. Directional shields shall be used on outdoor lighting.
9. The use of reflective glass shall be avoided.
10. The applicant shall provide appropriate crosswalks, pedestrian signals, traffic control officers, and speed-reducing bumps.
11. If subsurface archaeological or historical remains are discovered during construction of the elementary school, work shall stop immediately at the location of the discovery and a qualified professional archaeologist, as well as a representative of the Native American Heritage Commission, shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impacts to a less than significant level before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratification of the Negative Declaration;
- B. Approval of the Special Permit, subject to conditions and based upon findings of fact which follow; and
- C. Approval of the Variance, subject to conditions and based upon findings of fact which follow.

Conditions - Special Permit

1. The applicant shall submit revised site plans, elevations and landscape plans for review and approval by the Planning Director prior to submission to the State Architect.
2. All mitigation measures listed in the previous Negative Declaration shall be adhered to.
3. Items 1 to 10 under 'Site Plan' shall be reflected in the revised plans where applicable.
4. A list of exterior building materials, colors and textures for the Lisbon and Greenmont Schools shall be submitted with the revised plans.
5. The applicant shall comply with the requirements of the City Traffic Engineer regarding crosswalk location, designating bus loading and passenger loading areas, and driveway design and location.

6. The applicant shall cooperate with the Parks and Community Services Department on joint development of the school/park complex.

Findings of Fact - Special Permit

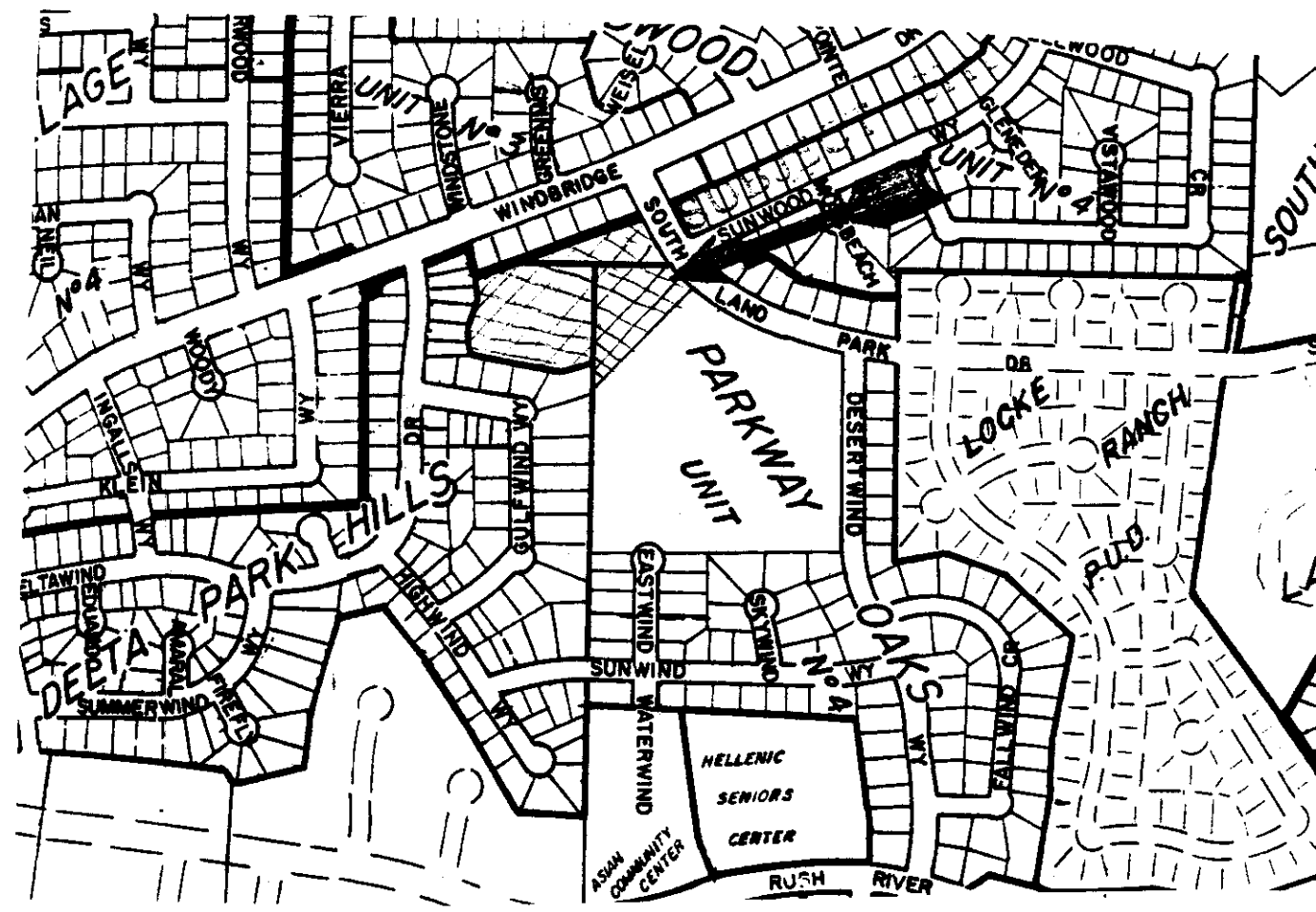
1. The proposed project, as conditioned, is based upon sound principles of land use, in that the proposed school use will serve the educational needs of residents in the Pocket area.
2. The proposed project will not be injurious to the public health, safety or welfare nor to surrounding properties, in that adequate on-site parking will be provided, landscaping and building design will enhance the site and additional outdoor recreational area will be added to the adjacent park site benefiting the area.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for residential/school uses by the 1976 Pocket Community Plan, and the proposed school conforms with the plan designation.

Conditions - Variance

1. The chainlink fence along South Land Park Drive shall be constructed of green vinyl clad material rather than galvanized chainlink fencing, and be landscaped with low shrubbery or vines.
2. This fence shall be set back 15 feet from edge of the sidewalk. Setback area shall be landscaped with ground cover and trees.

Findings of Fact - Variance

1. Granting the variance will not be injurious to the public welfare nor to property in the vicinity, in that the six-foot vinyl clad chainlink fence will keep children in the yard area, provide visibility for security, patrol, and be painted a color to blend in with the lawn area.
2. Granting the variance does not constitute a use variance, in that schools are allowed in residential zones, subject to securing a special permit, and fences are required to prevent children from running into the street.
3. The project, as conditioned, does not constitute a special privilege extended to one individual property owner, in that schools require fencing for active play areas which are located near kindergarten classrooms, and the play area cannot be located elsewhere on the property.
4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for school uses by the 1976 Pocket Community Plan, and the use conforms with the plan designation.



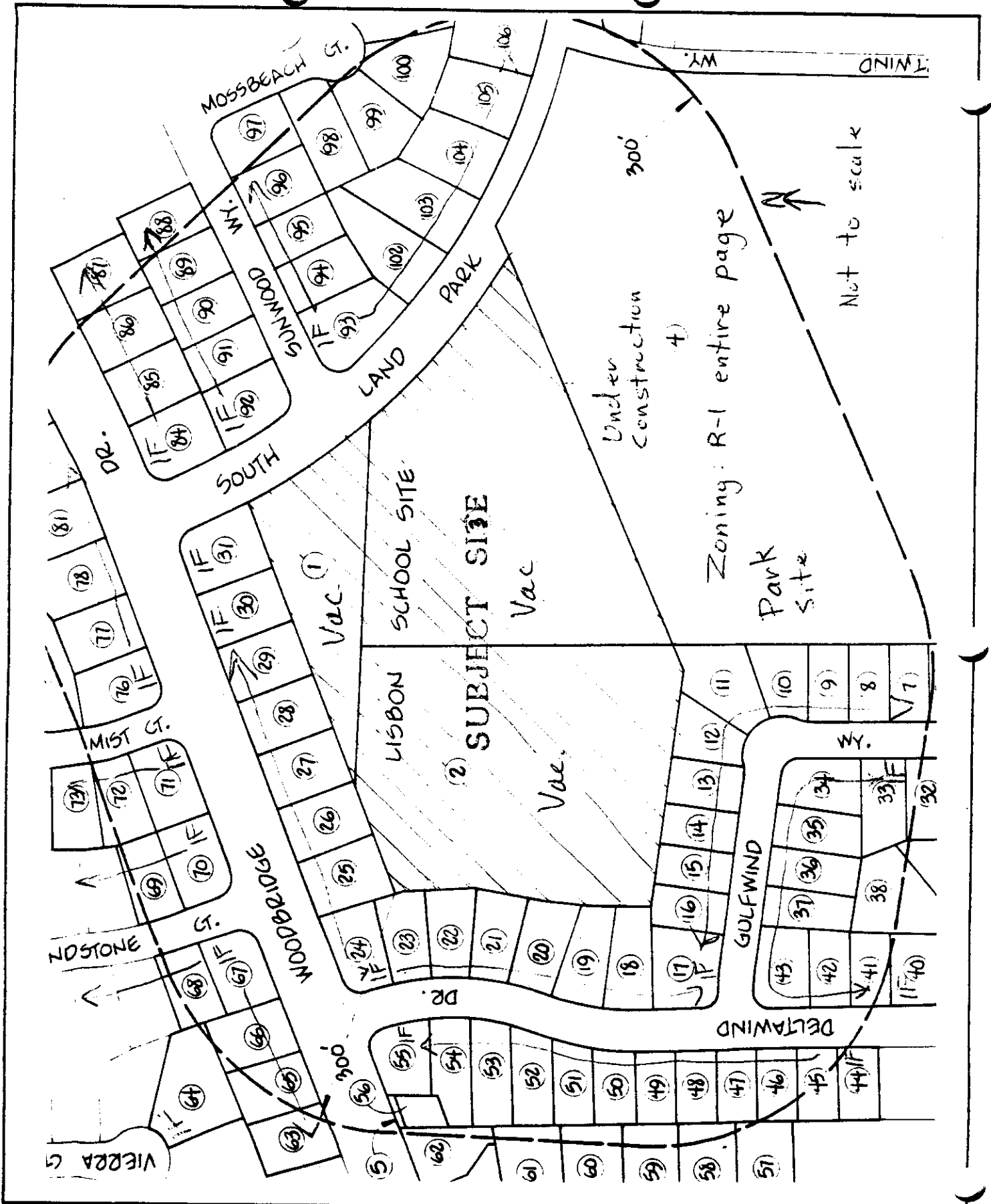
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VICINITY MAP

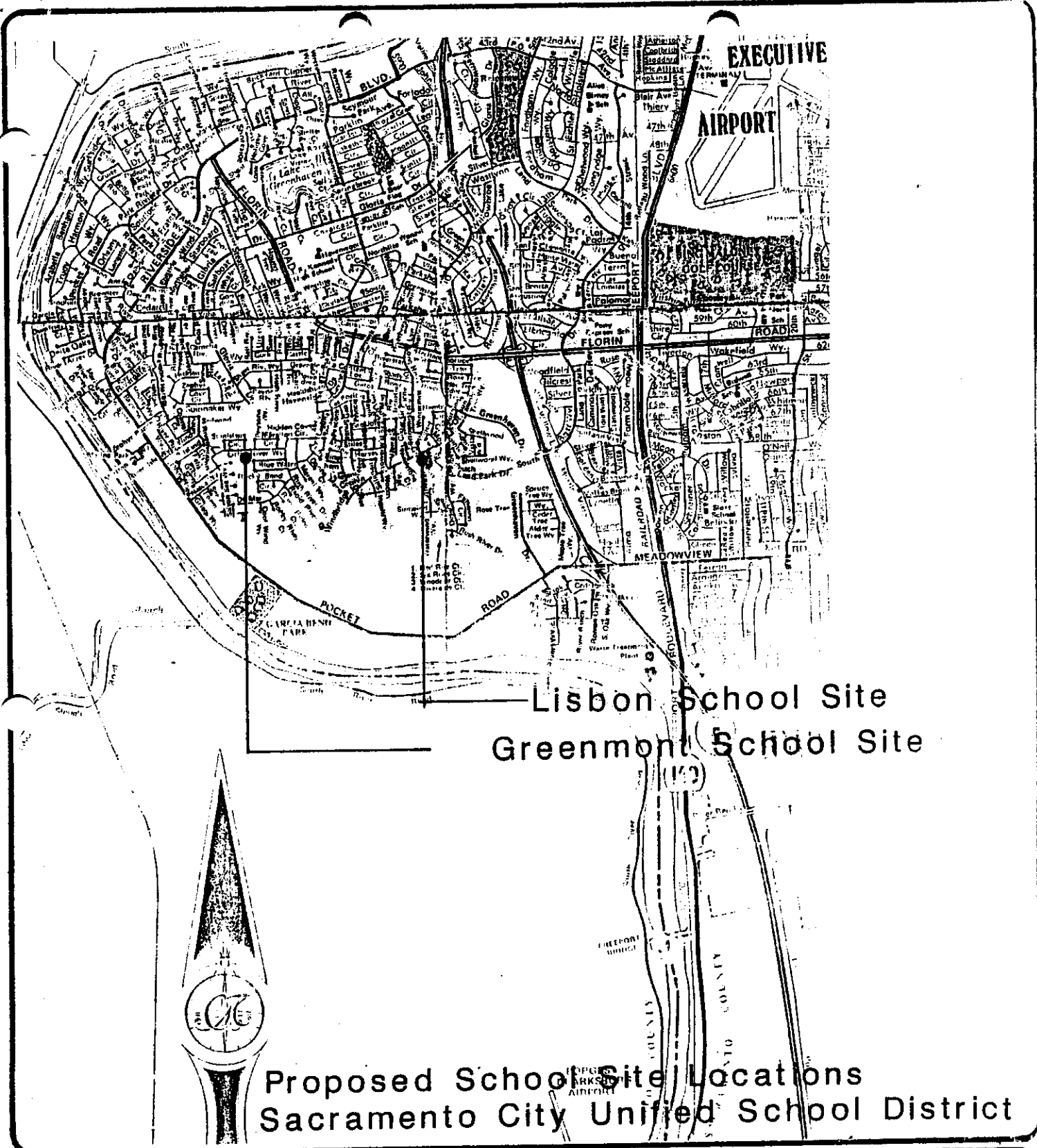
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LAND USE & ZONING MAP



Lisbon School Site
 Greenmont School Site

Proposed School Site Locations
 Sacramento City Unified School District

HMR

HMR ARCHITECTS INC.
 2300 P St. Sacramento, California
 95816 Tel. (916)-444-5973

JUNE 21, 1986

SHEET 06 OF 011

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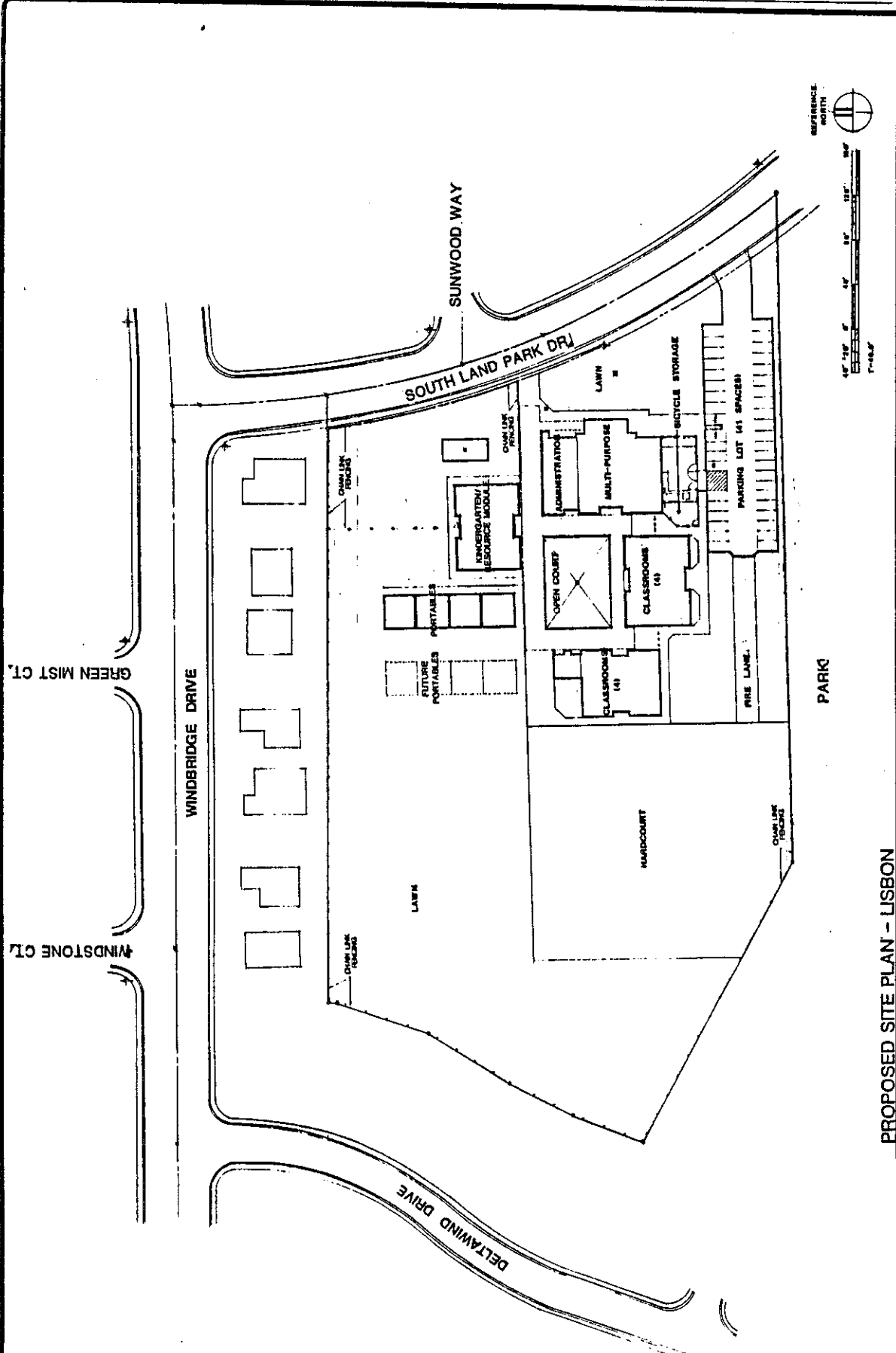
George C. Hyman (C-2503)

Eric M. Morrow (C)

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2800 S ST. SACRAMENTO, CALIF.
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SACRAMENTO, CA.
SITE PLAN

8001
SHEET NO. **ONE**
OF ONE

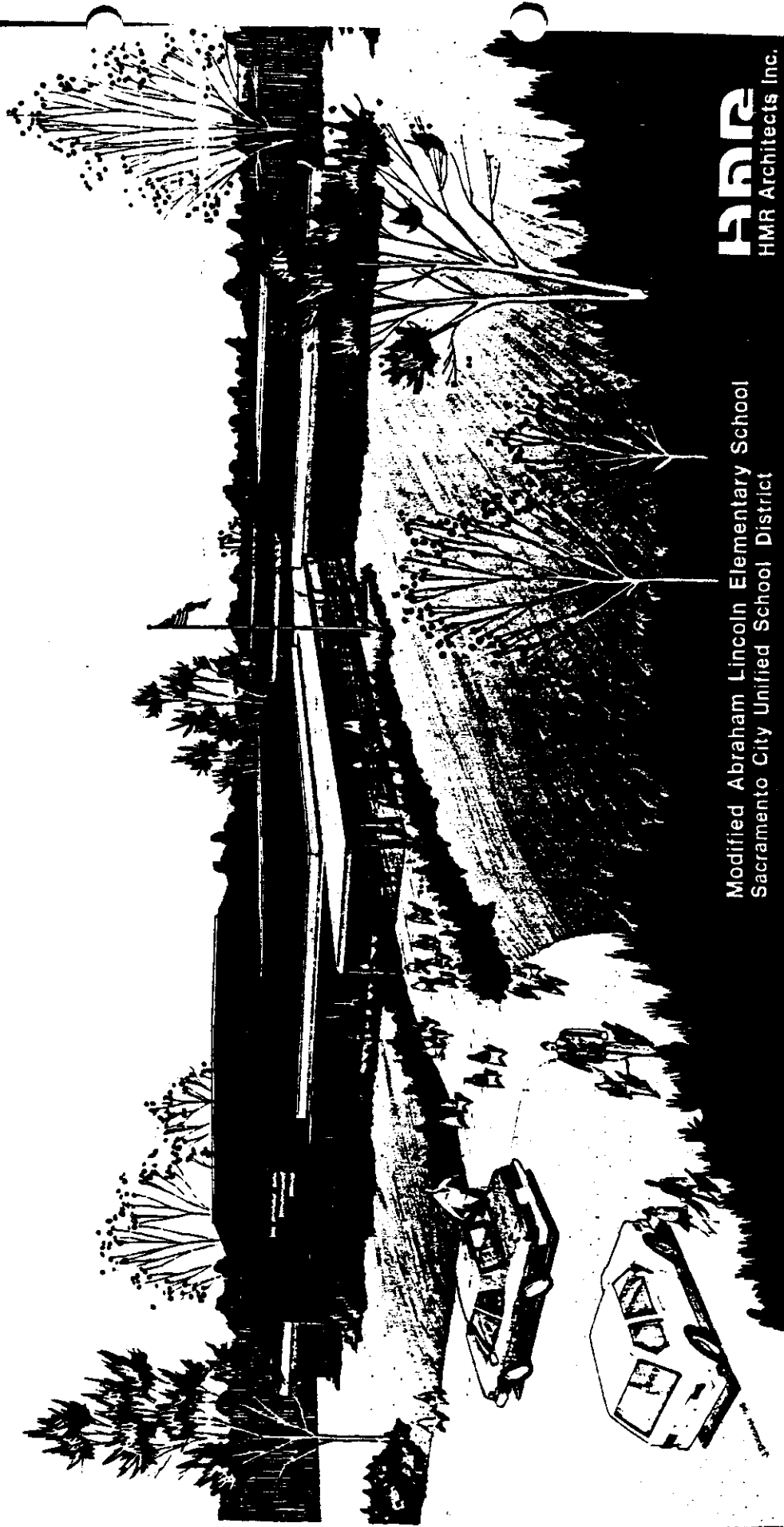


PROPOSED SITE PLAN - LISBON

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HMR
HMR Architects Inc.

Modified Abraham Lincoln Elementary School
Sacramento City Unified School District

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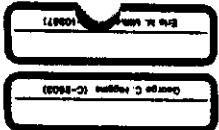
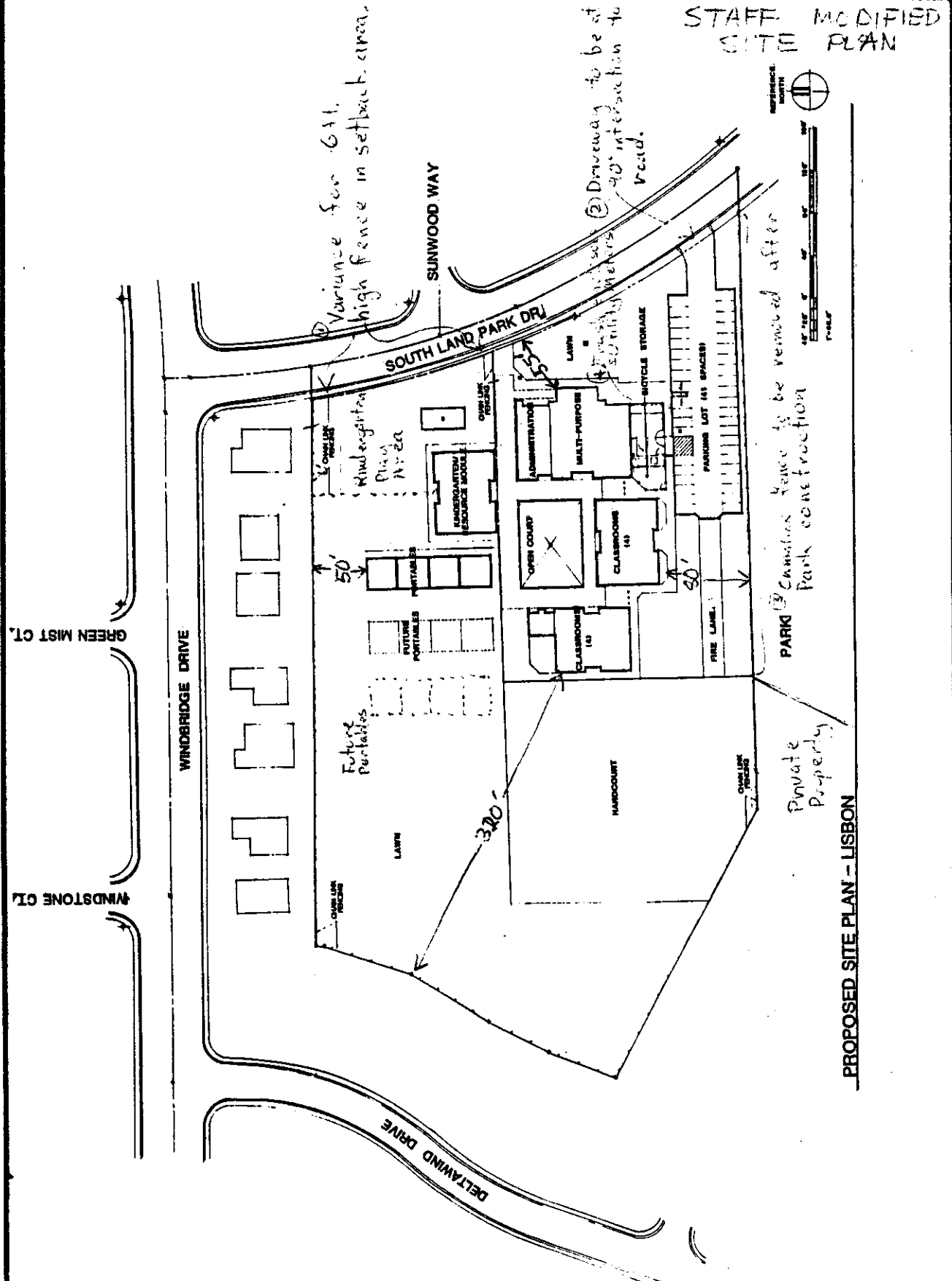


EXHIBIT A

PROPOSED LISBON SCHOOL
SACRAMENTO CITY UNIFIED
SCHOOL DISTRICT



STAFF MODIFIED SITE PLAN



① Variance for 6ft. high fence in setback area.

② Driveway to be at 90° intersection to road.

③ Canvas fence to be removed after Park construction.

PROPOSED SITE PLAN - LISBON

Private Property

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TRASH ENCLOSURE GUIDELINES

The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main structure(s).

The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position. The hinges shall be sufficient in size, strength and number to adequately support the metal gates.

The trash enclosure facility shall be designed to allow walk-in access by janitors without having to open the main enclosure gates;

The walls shall be a minimum six feet in height, more if necessary for adequate screening.

The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing evergreen vines.

A concrete apron shall be constructed in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at the point of dumpster pickup;

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10 feet or width of enclosure facility; length 20 feet. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technician (Plan Checker);

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

A trellis structure covering the trash facility shall be constructed to screen these units from view from the upper floors of the office building.