

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0006724
Insp Area: 4

Site Address: 2401 MINDEN WY SAC
Parcel No: 201-0360-039 LOT 39 NORTHBR 6-1

Sub-Type: NSFR
Housing (Y/N): N

CONTRACTOR
MORRISON HOMES
11344 COLOMA RD
GOLD RIVER CA 95670

OWNER

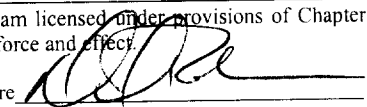
ARCHITECT

Nature of Work: NSFR MP3417 11 RMS 2 STORY

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class 15 License Number 519465 Date 6-27-00 Contractor Signature 

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

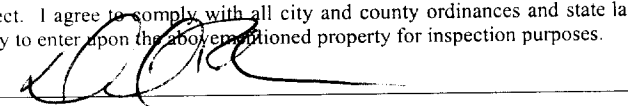
____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date 6-27-00 Applicant/Agent Signature 

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier ZURICH-AMERICAN INS. CO. Policy Number WC2815412-01 Exp Date 11/01/1999

____ (This section need not be completed if the permit is for \$100,000 or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to circumvent the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of the Labor Code, I shall forthwith comply with those provisions.

Date 6-27-00 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Plot Plan

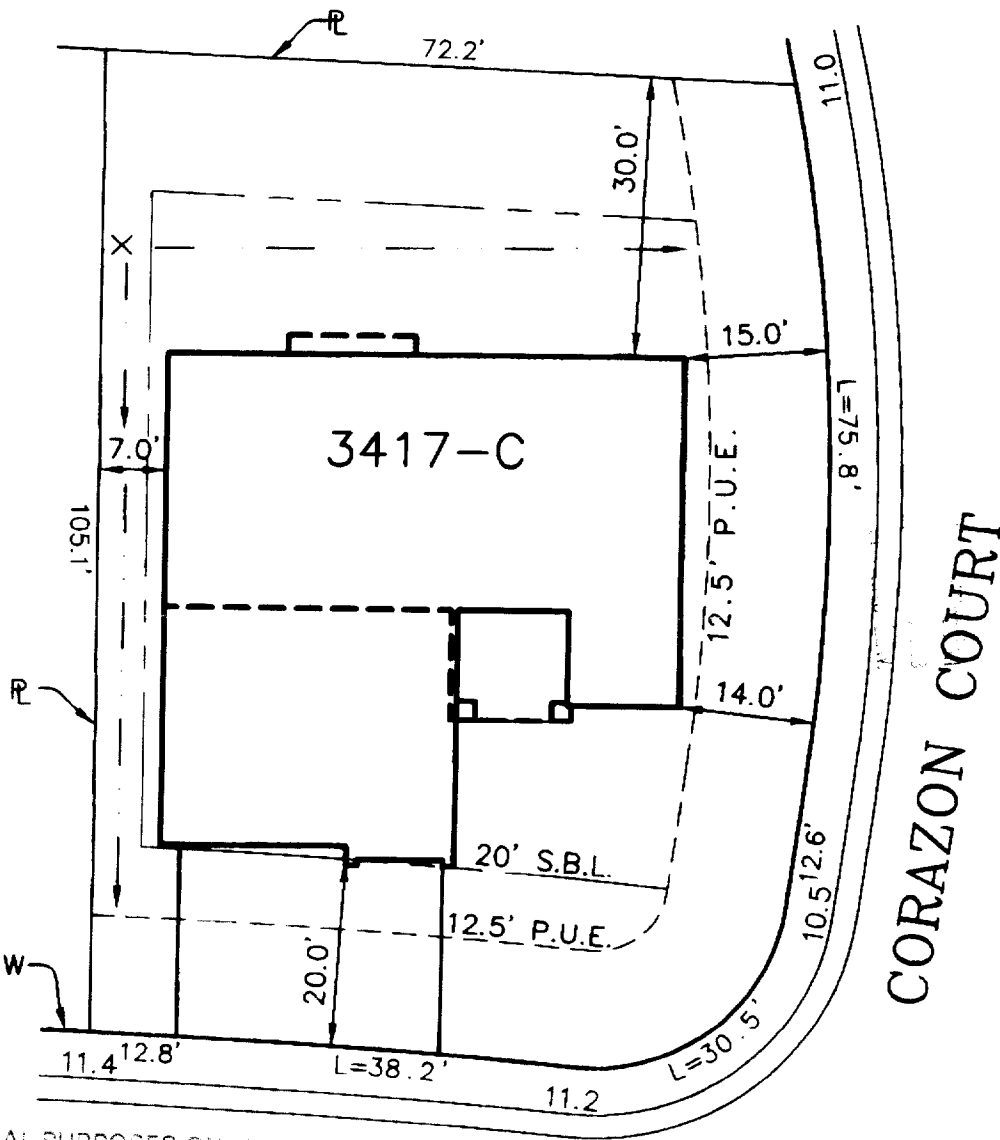
PAD: 13.2

F.F.: _____

Lot conditions dictate custom development of each lot in relation to existing contours, adjacent lots and street improvements. Therefore, the contours of ungraded areas, the slopes and flat pads of graded areas, and the setback dimensions, as shown on the Plot Plan, are approximate and may vary when field construction is completed.

"BUILT IN CONFORMANCE WITH 1997 UBC"

SCALE: 1"=20'



FOR INFORMATIONAL PURPOSES ONLY
THE RECORDS SHOULD BE CONSULTED
FOR RELOCATION OF EASEMENTS AND
BOUNDARIES AND EXACT DIMENSIONS.
THIS PLAN DOES NOT REFLECT THE
LOCATION OF UNDERGROUND UTILITIES.

MINDEN WAY

CORAZON COURT

ASSESSOR'S PARCEL NO. 001 0360 039
ADDRESS 5401 Minden Way

NOTE:
It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS.

LOT AREA = 7,774 SF
ALLOWED LOT COVERAGE = 40% = 3,110 SF
ACTUAL LOT COVERAGE = 31% = 2,386 SF

Morrison Homes Rep. _____ Date _____
Owner _____ Date _____

MORRISON HOMES
HACIENDA COLLECTION
LOT# 39
CITY OF SACRAMENTO SACRAMENTO COUNTY CALIFORNIA

APPROVAL: _____
Morrison Homes Rep. _____ Date _____

REVISIONS

3222 Ramon Circle Sacramento CA 95827
(916) 366-3040 Fax (916) 366-3303
R. E. Y. ENGINEERS, Inc.
Civil Engineers / Land Surveyors



JOB NO.	0022007
DRAWN	MMH
CHECKED	BT
DATE	08-1-00
SCALE	1"=20'

NOTE: All setback dimensions and elevations as shown may be adjusted to fit field conditions.

6-6

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 2401 Plindemay Assessor Parcel # 201-0360-037
Lot Number: 35 Subdivision Northborough Village Hacienda

OWNER INFORMATION:

Legal Property Owner: Morrison Homes Phone# (916) 355-8900
Owner Address: 1130 Iron Point Rd #120 City Folsom State CA Zip 95630

CONTRACTOR INFORMATION:

Contractor: Morrison Homes Lic. # 519465 Phone # 355-8900 Fax 355-0100

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A
No. of Stories: 2 No. of Rooms: 11 Street Width:
1st Floor Area 1676 2nd Floor Area 1741 Basement Roof Material
AREA IN SQUARE FOOT OF:
Dwelling/Living 3417
Garage/Storage 710
Decks/Balconies 123
Carports
SCOPE OF WORK: New Single Family Dwelling

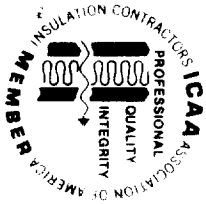
FOR OFFICE USE ONLY

- Information Above Complete AR Flood Waiver Required Planning Approval
Violation Files Checked Flood Elevation Certificate Required Design Review Approval
Standard Setbacks Water Development Infill Area Special Fee Districts Apply:
County Sewer

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
a) Assessor's Parcel Number c) Owners Name
b) New Floor Area d) Project Address

Date: Received by: (staff) Permit #



**INSULATION CONTRACTORS
ASSOCIATION
OF AMERICA**

INSULATION CERTIFICATE
43336

1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0396

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

Morrison Homes LOT # 39 TRACT # _____

STREET _____ CITY _____

EXTERIOR WALLS:

MANUFACTURER ST/12 THICKNESS/TYPE 3 R- VALUE 13

CEILING:

BATTS: MANUFACTURER ST/11 THICKNESS/TYPE 10 R- VALUE 30

BLOWN IN MANUFACTURER CF/1 MINIMUM THICKNESS 12 R- VALUE 30

SQUARE FOOTAGE COVERED 226 NUMBER OF BAGS USED 20

FLOORS MANUFACTURER _____ THICKNESS TYPE _____ R- VALUE _____

SLAB ON GRADE MANUFACTURER _____ THICKNESS TYPE _____ R- VALUE _____

MANUFACTURER _____ THICKNESS TYPE _____ R- VALUE _____

METHOD OF INSULATION _____ INCHES _____

FOUNDATION WALLS MANUFACTURER _____ THICKNESS TYPE _____ R- VALUE _____

MANUFACTURER _____ THICKNESS TYPE _____ R- VALUE _____

GENERAL CONTRACTOR _____

CALIFORNIA CONTRACTORS LICENSE # _____ DATE _____

SIGNATURE _____ TITLE _____

INSULATION CONTRACTOR ARCADE INSULATION

CALIFORNIA CONTRACTORS LICENSE #263784

11-29-08 DATE

[Signature] SIGNATURE ARCADIA TITLE

OMEGA PRODUCTS INTERNATIONAL, INC.

DIAMOND WALL INSULATING STUCCO SYSTEM

JOB ADDRESS:

ICBO Report #4004

Morrison Homes
HAVERDALE

Date of Job Completion 11/9/00

PLASTERING CONTRACTOR:

Name: STUCCO WORKS INC

Address: 5900 WAREHOUSE WAY SACRAMENTO CA

Telephone No: (916) 383 66 99

Contractor Number of Diamond Wall System 2175

This is to certify that the exterior coating system on the building exterior at the above address has been installed in accordance with the evaluation report specified above and the manufacturer's instructions.

11/29/00
Date

[Signature]
Signature of authorized representative of
Plastering Contractor

This installation card must be presented to the building inspector after completion of work and before final inspection.