



CITY OF SACRAMENTO

19

CITY PLANNING DEPARTMENT
827 TENTH STREET
SUITE 300
SACRAMENTO, CA 95814
TELEPHONE (916) 449-5604

MARTY VAN DUYN
PLANNING DIRECTOR

February 3, 1982

APPROVED
BY THE CITY COUNCIL

FEB 9 1982

OFFICE OF THE
CITY CLERK

City Council
Sacramento, California

Honorable Members in Session:

SUBJECT: 1. Environmental Determination (Exempt 15073)
2. Tentative Map (P-8868)

LOCATION: 6407 Elder Creek Road

SUMMARY:

This is a request to divide a 6.4 acre site into three single family lots and one air space condominium parcel. The condominium site is 5 acres and consists of 44 units. The staff recommends approval of the request.

BACKGROUND:

The subject tentative map was originally approved by the City Council on May 27, 1980. Subsequently, it was never recorded and the tentative map expired on November 27, 1981. Prior to its expiration, the applicant filed for a map extension. The request for extension was not processed at that time because the Council expressed a concern with not being able to require parkland dedication requirements as part of a map extension. The Council directed staff to develop an alternate processing procedure which would basically allow a one-year extension and the ability to require parkland dedication and/or in lieu fees.

On December 29, 1981, the Council adopted a new procedure to allow the map extensions and to require parkland dedication and/or fees. The subject request is being processed in accordance with the new procedure.

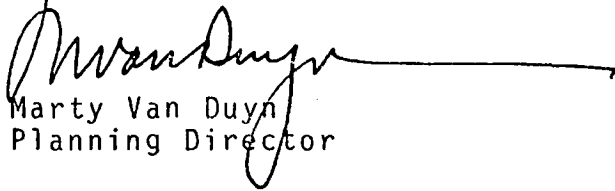
Pursuant to the Parkland Dedication Ordinance, staff has determined that .4319 acres of land are required for parkland dedication purposes and that fees are to be charged in-lieu of the required parkland dedication.

Staff also recommends that the original conditions of approval of the tentative map be required as indicated on the attached resolution.

RECOMMENDATION

Staff recommends that the City Council approve the project by adopting the attached resolution.

Respectfully submitted,


Marty Van Duyn
Planning Director

FOR CITY COUNCIL INFORMATION
WALTER J. SLIPE
CITY MANAGER

MVD:HY:cp
Attachments
P-8905

February 9, 1982
District No. 6

MA

CITY PLANNING COMMISSION

NOV 16 1981
RECEIVED
NEWTON ASSOCIATES

128262
ENGINEERING
DESIGN
CONTRACTING

483-9860
NOV. 5, 1981

Sacramento City Planning Dept.
927 10th Street, Suite 300
Sacramento, California 95814

Gentlemen:

This is to request a one year extension on Tentative Map approval and resolutions for property located at 6407 Elder Creek Road and known as Elder Green Estates (p-8868).

Sincerely,

Robert Newton
Robert Newton

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RESOLUTION No. 82-080

Adopted by The Sacramento City Council on date of

February 9, 1982

RESOLUTION ADOPTING FINDINGS OF FACT, APPROVING
A REQUEST FOR TENTATIVE MAP FOR ELDER GREEN
CONDOMINIUMS (APN: 38-210-65, 38-182-10 & 05)
(P-8868)

WHEREAS, the Planning staff has submitted to the City Council its report and recommendations concerning the Tentative Map for Elder Green condominiums located at 6407 Elder Creek Road, (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on February 9, 1982, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Colonial Community Plan in that the plans designate the subject site for residential uses.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion, or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage and will not substantially and avoidably injure fish, wildlife, or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator, who has determined that the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment or substantially and avoidably injure fish, wildlife, or their habitat pursuant to CEQA, Section
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.
- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision, in that there are no access easements for use by the public at large on the subject site.

APPROVED
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FEB 9 1982

OFFICE OF THE
CITY CLERK

(4)

- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing County of Sacramento treatment plants have a design capacity for which the discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

The Tentative Map be approved subject to the following conditions:

1. The applicant shall provide standard subdivision improvements, including a minimum 24-foot wide paved access from Elder Creek through the site to the existing pavement on 63rd Street, pursuant to Section 40.811 of the Subdivision Ordinance, except sidewalk for 180+ foot portion of the west side of proposed Elder Green Drive as specified by the City Engineer, and for curbs, gutters and sidewalks along proposed Elder Green Drive west of the knuckle to 63rd Street.
2. The applicant shall prepare a sewer and drainage study for review and approval of the City Engineer.
3. The applicant shall provide a round corner at the intersection of proposed Elder Green Drive and 63rd Street to the satisfaction of the City Engineer.
4. The applicant shall deed the remaining strips of land north and south of the extension of proposed Elder Green Drive from the knuckle to 63rd Street to the respective land owners to the north and south.
5. The applicant shall check with the County Sanitation District and meet all requirements.
6. The applicant shall center the 50-foot radius knuckle so that the east line of the radius is six feet east of the extended east right-of-way.

7. The applicant shall design all private driveways and/or private streets to enter proposed Elder Green Drive at right angles or radial to a curve.
8. The applicant shall prepare a soils report and complete any corrective measures as recommended by the findings of the report prior to the filing of the final map.
9. The applicant shall dedicate 50-foot right-of-way for proposed "Elder Green Drive".
10. The applicant shall provide a six-foot high decorative masonry sound wall along 65th Street Expressway.
11. The applicant shall name the private drive.
12. Pursuant to the City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

MAYOR

ATTEST:

CITY CLERK

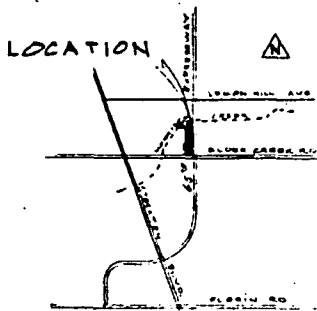
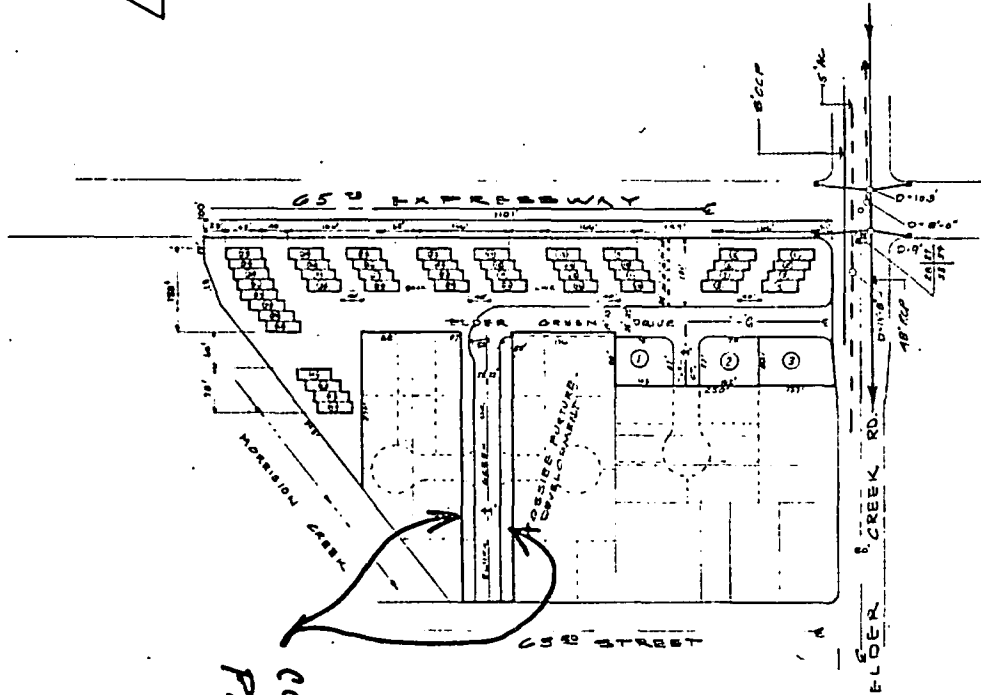
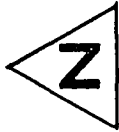
P-8868

P-8868

3-27-80

4/10/80-4-31-80

NA 10/6/82



KEY MAP TO BE MADE

PREPARED BY NEWTON ASSOCIATES 716-483-9860
DATE: 10/10/79
PROJECT NO. 100273

CONVEY TO ADJACENT PROPERTIES

Exhibit "B"
Revised Map
to address
SRC's Concerns

TENTATIVE MAP FOR ELDER GREEN

CITY OF SACRAMENTO
OCTOBER 1979

DESCRIPTION

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 4 NORTH, RANGE 5 EAST, M.D.E. 4 M.

ASSESSOR'S PARCEL NOS.

38-210-05, 38-182-10, 38-182-05

OWNER

COBURG PROPERTIES
848 PICCILLI CIR. SACTO, CA. 95811-0752

SUBDIVIDER

NEWTON ASSOCIATES
142 BOX 160273 SACTO. 95811-483-9860

ENGINEER

NEWTON ASSOCIATES 716-483-9860
142 BOX 160273, SACRAMENTO

ZONING

R-1, R-3, R-3-R PROPOSED R-2A

IMPROVEMENTS

AS REQUIRED BY THE CITY OF SACRAMENTO
DEPT OF PUBLIC WORKS

TOTAL NO OF LOTS

3 HOUSE LOTS
1 CONDOMINIUM LOT/47 UNITS

ACREAGE

6.7 AC.

DENSITY

7.5 UNITS/AC GROSS
CONDOMINIUM - 9.4 UNITS/AC NET

MINIMUM LOT SIZE

HOUSE LOTS 8700 SQ. FT.
CONDOMINIUM 5 AC/47 UNITS

AVERAGE LOT SIZE

HOUSE LOTS 8500 SQ. FT.
CONDOMINIUM 5 AC/47 UNITS/150 SQ. FT./UNIT

PARK REQUIREMENTS

AS PER CITY OF SACRAMENTO REQUIREMENTS

SEWAGE CITY OF SACRAMENTO

WATER CITY OF SACRAMENTO

DRAINAGE CITY OF SACRAMENTO

FIRE SACRAMENTO FIRE DEPARTMENT

SCALE: 1" = 100'



DATE	10/10/79
BY	NEWTON ASSOCIATES
CHECKED	NEWTON ASSOCIATES
APPROVED	NEWTON ASSOCIATES
PROJECT NO.	100273
CITY	SACRAMENTO
ADDRESS	716-483-9860
ELDER GREEN TENTATIVE MAP ROAD ELDER CREEK ROAD	
SCALE	1" = 100'
DATE	10/10/79
BY	NEWTON ASSOCIATES
CHECKED	NEWTON ASSOCIATES
APPROVED	NEWTON ASSOCIATES

P-8888

3-27-88

4/19/88-4-24-88

No. 4662

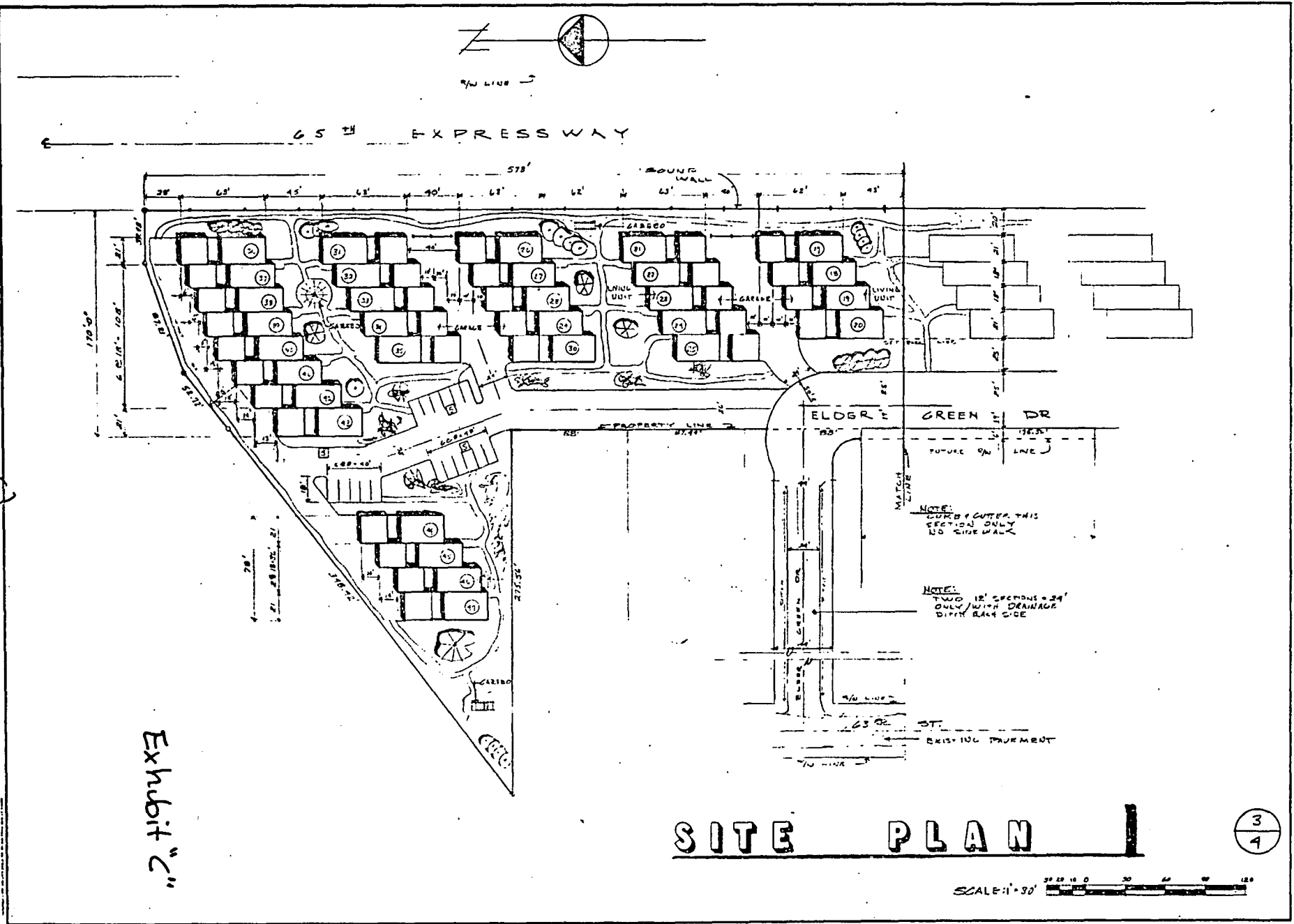


Exhibit "C"

SITE PLAN I

SCALE: 1" = 30'



3
4

NEWTON ASSOCIATES
 ARCHITECTS & ENGINEERS
 916-483-9860

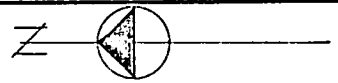
CONDOMINIUM
 ELDER GREEN DR
 CITY OF SACRAMENTO

NO. 4662
1" = 30'
RU
PLANS
3

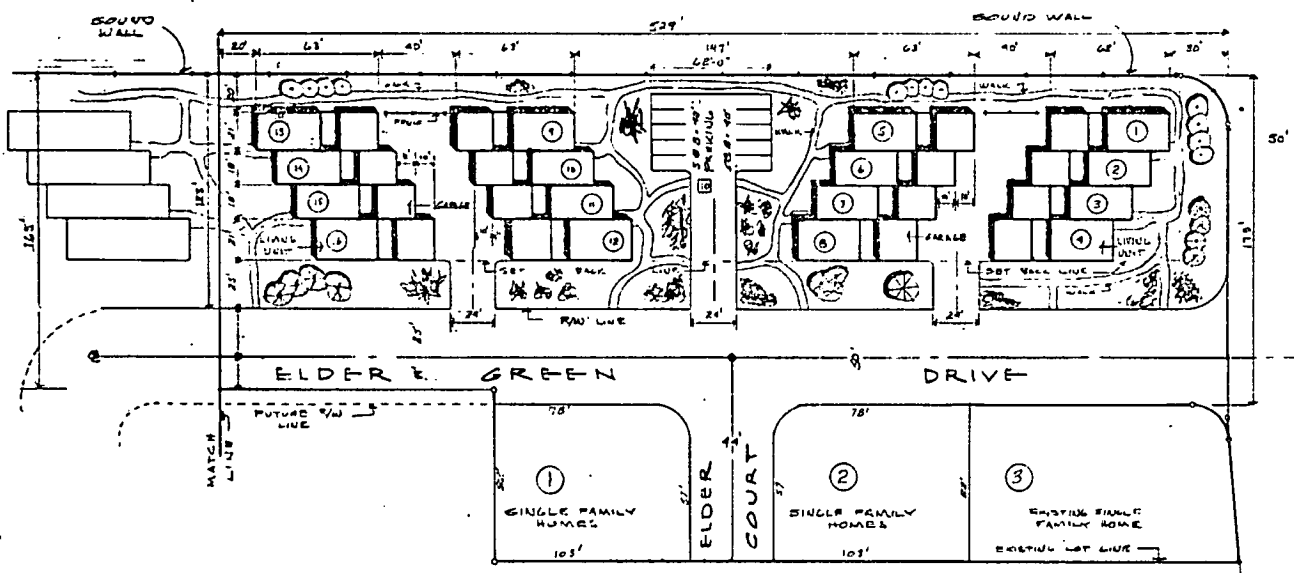
P-8868

3-27-80
4/1/80
4-31-80

No. 416



65TH EXPRESSWAY

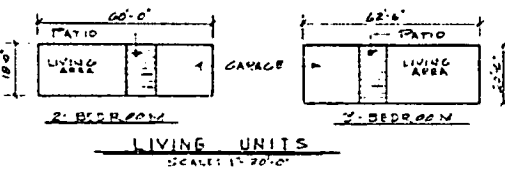


ELDER CREEK RD. S.

NOTES

- 1. 47 CONDOMINIUM UNITS
- 2. 2 HOUSE LOTS
- 3. 94 GARAGE SPACES
- 4. 15 VISITOR SPACES
- 5. RATIO SPACES/UNIT = 2.53
- 6. BUILDING SPACINGS TO BE SET WHERE NOTED
- 7. WALK-PATHS VARY 3'-6" TYPICAL
- 8. HARD SURFACE AREAS - MIX OF CONCRETE, TERRAZZO, SAND, RED WOOD
- 9. GARAGE: REDWOOD FRAMING
- 10. ALL PARKING TO MEET CITY STDS.
- 11. 2" SET BACK (MIN)
- 12. RAISED EARTH MOUNDS NOT SHOWN
- 13. FENCE (1'-6" HIG) NOT SHOWN
- 14. CURB & BUTTER NOT SHOWN

Exhibit "C"



LEGEND

- 1. BUILDING UNIT
- 2. ASPHALT AREAS
- 3. GREEN AREAS
- 4. UNIT OR HOUSE NUMBERS
- 5. NUMBER PARKING SPACES
- 6. WALK-PATHS

SITE PLAN

SCALE: 1" = 30'



NEWTON ASSOCIATES
ARCHITECTS & ENGINEERS
916-483-9860

CONDOMINIUM
CONCEPT
ELDER GREEN
CITY OF SACRAMENTO

DATE: 11-28-79
BY: R.M.
CHECKED BY: J.A.
SCALE: 1" = 30'



CITY OF SACRAMENTO

OFFICE OF THE CITY CLERK

915 I STREET
CITY HALL ROOM 203

SACRAMENTO, CALIFORNIA 95814
TELEPHONE (916) 449-5426

LORRAINE MAGANA
CITY CLERK

February 10, 1982

Newton Associates
P.O. Box 160273
Sacramento, CA 95816

Dear Gentlemen:

On February 9, 1982, the Sacramento City Council took the following action(s) for property located at 6407 Elder Creek Road (P-8868):

Adopted a Resolution adopting findings of Fact and approving a Tentative Map to divide a 6.4 acre site into three single family lots and a condominium parcel containing 44 units

Enclosed, for your records, is a fully certified copy of above referenced resolution.

Sincerely,


Lorraine Magana
City Clerk

LM/mm/19
Enclosure

cc: Planning Department