CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 9912310

Insp Area: 4

Site Address: 5464 BANDERAS WY SAC Sub-Type: NSFR

Parcel No: 201-0380-069 LOT 69 NORTHBOR VIL. 4 Housing (Y/N): N

CONTRACTOR
MORRISON HOMES
[illegible]44 COLOMA RD
GOLD RIVER CA 95670

OWNER

ARCHITECT

Nature of Work: NSFR MP1428 1 STORY 6 RMS

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender'sAddress _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C-[illegible] License Number [illegible] Date 9/28/99 Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars ($500.00):

I as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 9/28/99 Applicant/Agent Signature _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier ZURICH-AMERICAN INS. CO. Policy Number WC2815412-01 Exp Date 11/01/1999

(This section need not be completed if the permit is for $100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date [illegible] Applicant Signature _____

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS ($100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

№ 18914

KWIK KOTE
STUCCO SYSTEM

INSTALLATION CARD

Job Address:
Morrison Vista Collection
Lot 69 5464 Bandera Way
Encto

Stucco System Trade Name: KWIK KOTE
Name Stucco Manufacturer: KWIK KOTE CORP.

ICBO Evaluation Service, Inc.
Report No. 3607
Date of Job Completion _____

Stucco Contractor Kenyon Construction
Name John W. Kenyon, III
Address P.O. Box 2077
North Highlands, CA 95660
Telephone Number (916) 349-8191
Approved Contractor Number as issued by the Stucco Manufacturer: 1

This is to certify that the stucco system on the building exterior at the above address had been installed in accordance with the evaluation report specified above and the manufacturer's instructions.

Signature of authorized representative of stucco contractor

11/10/95
Date

INSULATION CERTIFICATE

WES PAC INSULATION, INC.

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT;

Lot 69 PLAN 14[illegible] LOT # _____ TRACT # _____

STREET 5464 Banderas Wy VILLA [illegible] NATOMAS PARK CITY SACRAMENTO CA

EXTERIOR WALLS:

MANUFACTURER [illegible] THICKNESS/TYPE [illegible] R-VALUE 13

CEILINGS:

BATTS:

MANUFACTURER [illegible] THICKNESS/TYPE 10" R-VALUE 30

BLOWN IN:

MANUFACTURER GREENSTONE THICKNESS/TYPE 8.1" R-VALUE 30

SQUARE FOOTAGE COVERED 1100 NUMBER OF BAGS USED [illegible]

FLOORS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

SLAB ON GRADE:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

WIDTH OF INSULATION _____ INCHES

FOUNDATION WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____

CALIFORNIA CONTRACTORS LICENSE # _____ DATE _____

_____ SIGNATURE _____ TITLE

INSULATION CONTRACTOR WES PAC INSULATION, INC.

CALIFORNIA CONTRACTORS LICENSE # #487478 DATE 1/11/00

[signature] SIGNATURE _____ TITLE

Morrison Homes

February 10, 2000

City of Sacramento
Building Department

Attention: Building Department

This letter states that the grading and landscaping of 69 (lot) located at 5464 BANDERAS WAY (address), permit # 9912310 will be completed within 45 days.

Sincerely,

2-11-00

Builder, Morrison Homes

1130 Iron Point Road · Suite 120 · Folsom, CA 95630
Ph 916-355-8900 · Fx 916-355-8111
ATLANTA AUSTIN FT. LAUDERDALE HOUSTON ORLANDO PHOENIX SACRAMENTO SAN DIEGO TAMPA

RESIDENTIAL BUILDING PERMIT APPLICATION

❑ New Construction ❑ Addition ❑ Remodels ❑ Other

Project Address: 5464 BANDERAS WAY Assessor Parcel # 201-0580-069

OWNER INFORMATION: LOT 69 NB VIL 4

Legal Property Owner: MORRISON Phone # _____

Owner Address: _____ City _____ State _____ Zip _____

CONTRACTOR INFORMATION:

Contractor: _____ Lic. # _____ Phone # _____ Fax# _____

PROJECT INFORMATION:

Land Use Zone _____ Occupancy Group _____ Construction Type _____ Fed Code _____

No. of stories: _____ No. of rooms: _____ Street width: _____

1st Floor Area _____ 2nd Floor Area _____ Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:	EXISTING	NEW
Dwelling/Living		428
Garage/Storage		425
Decks/Balconies		30
Carports		

SCOPE OF WORK: _____

FOR OFFICE USE ONLY

❑ Information above complete
❑ Violation files checked
❑ Standard setbacks
❑ County Sewer
❑ AR Flood Waiver required
❑ Flood Elevation Certificate Required
❑ Water Development Infill Area
❑ Planning Approval
❑ Design Review Approval
❑ Special Fee Districts Apply : _____

NEW STRUCTURES & ADDITIONS

❖ THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PLAN REVIEW

❑ 2 COMPLETE PLANS, LEGIBLE & DRAWN TO SCALE
❑ 3 SETS IF PROJECT IS IN A DESIGN REVIEW AREA

❖ *Plans to include: site plan, floor plan, elevations, roof/ceiling plan, foundation and structural framing details, and structural calculations for non-conforming structures.*

❑ Title 24 Energy Compliance documentation
❑ Grading and Erosion Control Questionnaire
❑ 11" x 17" copy of floor plan for County Assessor
❑ Plan Review Fees

Date: _____ Received by: (staff) _____

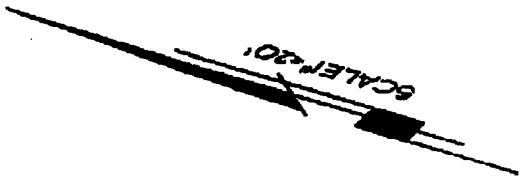
ACTIVITY/PERMIT #

residentialapp [rev 3/09/99]

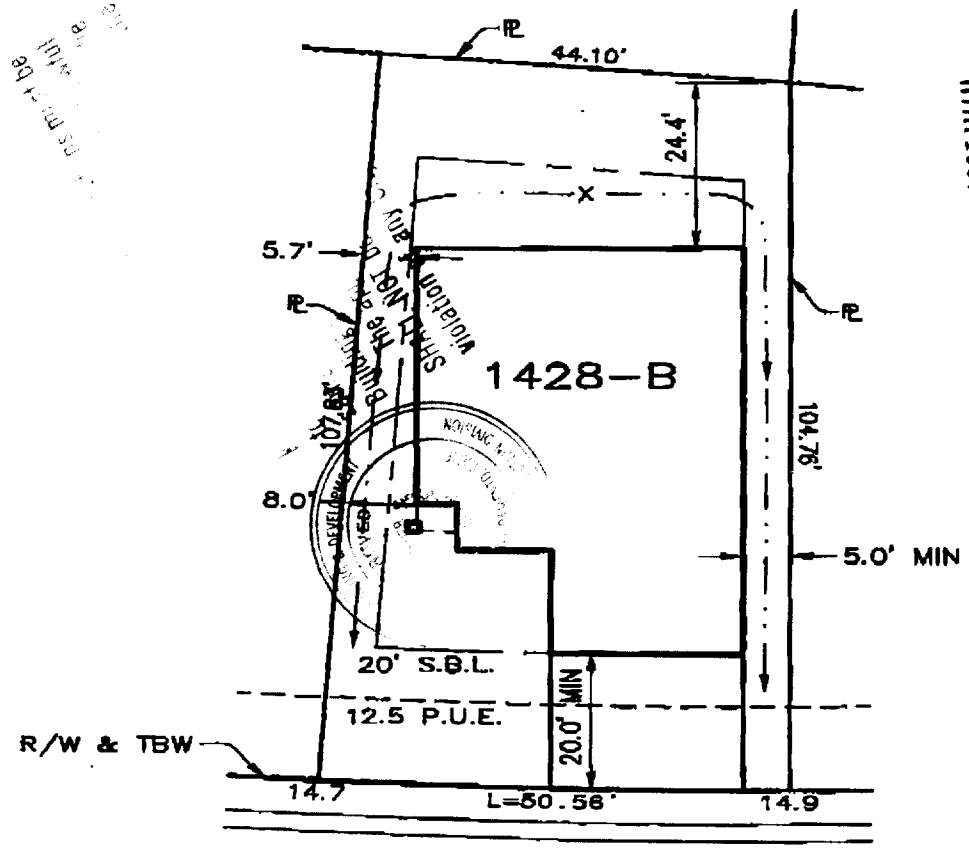
Plot Plan

PAD: 16.4
F.F.:

Lot conditions dictate custom development of each lot in relation to existing contours, adjacent lots and street improvements. Therefore, the contours of ungraded areas, the slopes and flat pads of graded areas, and the setback dimensions, as shown on the Plot Plan, are approximate and may vary when field construction is completed.



FOR INFORMATIONAL PURPOSES ONLY. TITLE RECORDS SHOULD BE CONSULTED FOR LOCATION OF EASEMENTS AND BOUNDARIES AND EXACT DIMENSIONS. THIS PLAN DOES NOT REFLECT THE ... OF UNDERGROUND UTILITIES.



BANDERAS WAY

Northborough Village 4

ASSESSOR'S PARCEL NO. 201-038-69
ADDRESS 5464 Banderas Way

LOT AREA = 5036 SF
ALLOWED LOT COVERAGE = 45% = 2266 SF
ACTUAL LOT COVERAGE = 37% = 1853 SF

NOTE:
It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS.

Morrison Homes Rep. _____ Date _____

Owner _____ Date _____

APPROVAL:
[signature] 9-21-99
Morrison Homes Rep. Date

NOTE: All setback dimensions and elevations as shown may be adjusted to fit field conditions.

MORRISON HOMES
VILLA COLLECTION
LOT# 69

CITY OF SACRAMENTO SACRAMENTO COUNTY CALIFORNIA

REVISIONS

3222 Ramos Circle Sacramento CA 95827
(916) 366-3040 Fax (916) 366-3303
R.E.Y. ENGINEERS, Inc.
Civil Engineers / Land Surveyors

JOB NO. 6081001
DRAWN NH
CHECKED BT
DATE 09-16-99
SCALE 1"=20'

Plot Plan

PAD: 16.4
F.F.:

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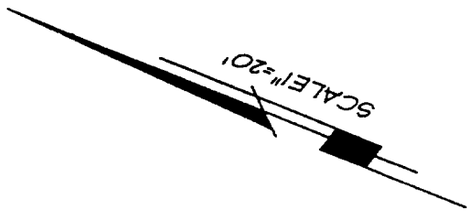

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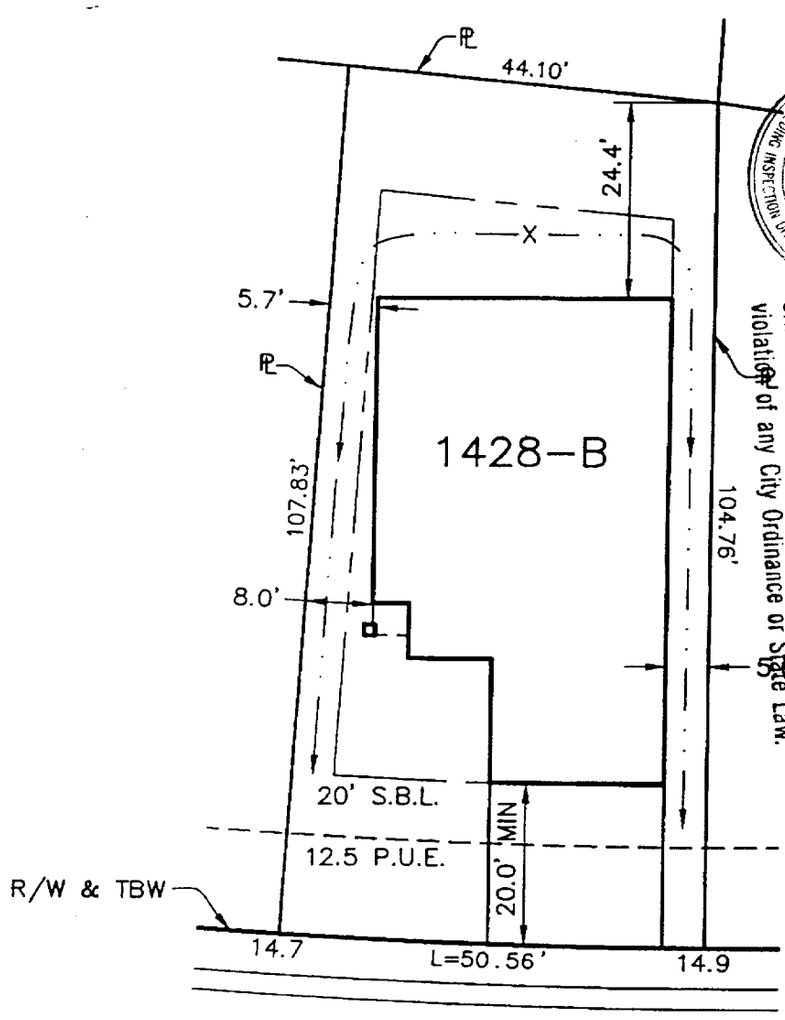

"BUILT IN CONFORMANCE WITH 1997 UBC"

This set of plans and specifications [illegible] make any changes or alterations [illegible] same without [illegible] permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

BANDERAS WAY

Northborough Village 4

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Morrison Homes Rep. Date

Owner Date

APPROVAL:
[signature] 9-21-99
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MORRISON HOMES
VILLA COLLECTION
LOT# 69

CITY OF SACRAMENTO SACRAMENTO COUNTY CALIFORNIA

REVISIONS

3222 Ramos Circle Sacramento CA 95827
(916) 366-3040 Fax (916) 366-3303
R.E.Y. ENGINEERS, Inc.
Civil Engineers / Land Surveyors

JOB NO.	6022.007
DRAWN	KJM
CHECKED	BT
DATE	09-16-99
SCALE	1"=20'

S:\6022\007\VILLAGE4\LOT069