

P97-119 CRADLER VICTORIAN

- REQUEST:
- A. Special Permit to establish a commercial use on the ground floor of an existing structure in the R-5 zone.
  - B. Special Permit to waive 3 required parking spaces for a mixed use development in the R-5 zone.
  - C. Variance to reduce the rearyard setback from 15 feet to 0 feet.
  - D. Variance to reduce the sideyard setback from 3 feet to 0 feet.

LOCATION: 1621 13th Street  
APN: 006-0284-023  
Council District 4  
Central City Community

APPLICANT:	McCabe Pressey Architects, 916-447-4347 1809 19th Street, Sacramento, CA 95814
OWNER:	Ruthmary Cordon-Cradler, 415-344-7646 406 Glendale Rd., San Mateo, CA 94401
APPLICATION FILED:	October 31, 1997
STAFF CONTACT:	Mark Kraft, 264-8116

**SUMMARY:** The applicant is requesting the necessary entitlements to convert a historic two family structure and carriage house into two residential units and 1158 square feet of commercial office space. The project requires a Special permit for the location of the commercial use on the ground floor of a structure in the R-5 zone. The project also requires rearyard and sideyard setback variances for the conversion of the carriage house to residential use, and a Special Permit to waive 3 required parking spaces.

**RECOMMENDATION:** Staff recommends approval of the project, subject to conditions.

This recommendation is based upon the project's consistency with the General Plan and Community Plan designations and zoning for the site, the suitability of the site for the proposed use, the compatibility of the proposed use with surrounding land uses and the preservation and enhancement of a historically significant structure.

**PROJECT INFORMATION:**

General Plan Designation:	High Density Residential (30 + du/na)
Community Plan Designation:	Multi-Family Residential
Existing Zoning:	Multi-Family Residential -R-5
Existing Land Use:	Residential

**Surrounding Land Use and Zoning:**

North:	Multi- Family Residential; R-5
South:	Surface Parking; R-5
East:	Surface Parking; R-5
West:	Surface Parking; R-5

Property Dimensions:	80' x 80' (.16 acres)
Size of Existing Building:	2316 s.f. (Main building), 1100 sf (Carriage House)
Total Required Parking:	3 spaces
Total Proposed Parking:	0 spaces
Street Improvements:	Existing

**OTHER APPROVALS REQUIRED:** In addition to the above land use entitlements, the project will be required to obtain building permits. The project has been reviewed and approved by Design Review Staff (PB96-040).

**BACKGROUND:** The applicant is proposing to rehabilitate an existing two story, two family residential structure, and to convert the ground floor of this structure into 1158 square feet of office space. The second floor would remain a 1158 square foot, 3 bedroom unit, residential unit. The applicant is also proposing to convert the existing carriage house on the site into an 1100 square foot residential unit. The two story structure on the site is a brick Victorian, and was constructed in 1881. It is listed as a priority structure on the City's Official Register. The building has been vacant for 8-9 years.

The applicant is proposing office on the ground level of this structure because its proximity to the Capitol makes it an ideal location for office use, and because the income generated by the commercial space will help to offset the significant cost of the restoration of the buildings. The applicant is requesting to waive the required on-site

parking because they propose to redevelop the Victorian garden which originally existed on the site, and the lot will not support both on-site parking and Victorian period landscaping.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The project is consistent with the General Plan designation of High Density Residential and the Community Plan designation of Multi-Family Residential. The General Plan specifically states (Sec.2-9) that this designation refers to areas planned for development that consists of a mixture of residential densities along with limited commercial or office use, and further states that the mixed use concept provides for close in living which will help reduce transportation needs for those living close to major employment centers.

In providing two newly remodeled multi-family residential units on a site which is currently unoccupied, the project is consistent with General Plan goals and policies encouraging the provision of a variety of quality housing opportunities near major employment centers, as well as policy encouraging efforts to provide new or reconditioned units to the housing stock while eliminating blight and deterioration.

In restoring a priority structure, and providing a revenue source (office use) to facilitate continued maintenance of the site, the project is consistent with General Plan and Central City Community Plan policy encouraging the preservation of architecturally significant structures.

Although not state owned and therefore not subject to the jurisdiction of the State Department of General Services, the project is within the Capitol Area Plan boundary, and is consistent with Capitol Area Plan principles encouraging the development of the Capitol Area as a vibrant mixed use neighborhood of office residential and supporting commercial uses. Retaining the historic structure on the site is consistent with the principle of fostering development of neighborhood identity.

The project is also consistent with the objectives of the Capitol Park Neighborhood Design Plan. Specifically the orientation of the carriage house unit and the victorian garden toward the alley is consistent with the objective of establishing alleys in this area as secondary quiet residential streets, lined with small yards and homes, where parking for residential areas does not negatively impact the pedestrian friendliness of public streets and places. Preservation of the existing structure and restoration of the Victorian garden is consistent with the identity objectives for 13th Street which seeks to capture the romance of the victorian

bungalow houses on 14th Street. The location of the victorian garden at the corner of 13th Street and the alley is consistent with a specific 13th Street block design feature of accent landscaping at alleys.

The project site is also directly to the north of the R Street Corridor which is envisioned as a residential mixed district. The mixed use project proposed is consistent with the vision for this area.

B. Zoning Considerations

1. Special Permit for Commercial Use

The City's Zoning Ordinance specifies that in the R-5 zone, ground floor commercial uses are allowed subject to the granting of a Special Permit by the Planning Commission. In granting a Special Permit, the Commission must find that the project is based upon sound principles of land use, must not be detrimental to the public health, safety and welfare, or result in the creation of a nuisance, and must comply with the objectives of the general or specific plan for the area in which it is to be located. Staff is of the position that the project is based on sound principles of land use in that the project will facilitate the renovation and maintenance of a listed historic structure and ensure the community's continued benefit from the preservation of the architectural features. The professional office use proposed is small and innocuous and will have a low impact on surrounding residential uses in terms of noise and traffic. The hours of operation are proposed to be business hours (8am-5pm, Monday through Friday) so no impact will be experienced by surrounding residential in the evening and weekend hours. The proposed use does not compromise the residential scale and architectural character of the existing building, and is therefore compatible with and not injurious to, the existing or proposed development surrounding the site. And, as discussed in the Policy considerations section of this report, the mixed use nature of the project is consistent with the City's General Plan designation and vision for High Density Residential areas. Staff therefore supports the request for the Special Permit.

2. Height and Area Regulations (Setback Variances)

The project proposes to use the existing structures on the site and proposes no additional height, lot coverage or setback encroachment. However, the project does propose to convert the existing carriage house on the site into a residential unit. The existing carriage house would be considered an accessory structure and therefor require no rear or sideyard setback. However, the conversion of this structure to a residential unit makes the structure subject to a 15 foot rearyard setback and a 3 foot sideyard setback. The carriage house has no setback from either the north (side) or east (rear) property line, therefore, setback variances are

necessary. Given the constraint of the existing location of the building on the site, given the architectural significance of the structure, and given that the project will create an alley corner unit which faces the improved alley, providing the opportunity for natural surveillance by law enforcement both from the alley and from 13th Street, as well as enhancing the alley streetscape by virtue of its orientation, granting of this variance would not constitute a special privilege but rather would be granted to any landowner facing similar circumstances. Staff therefore supports the setback variances.

3. Special Permit to waive three required parking spaces

The proposed project would require 3 parking spaces, per the City's Zoning Ordinance. The two existing residential units previously existing on the site were developed without parking, therefore parking for the two residential units would not be required. However, the 1158 square feet of office use requires 3 spaces. The applicant is requesting a Special Permit to waive the required spaces so that a Victorian garden can be restored at the site. Staff is supportive of this parking waiver for the following reasons:

- 1) Sufficient on-street parking exists to serve both the office employees and visitors and residential tenants of the site:

On January 9, 1998, at 10:00am a survey was conducted within a two block walking radius of the site. At this time, 25 10-hour metered parking spaces were available, as well as 41 spaces in the 2 hour permit parking areas. Also, 3 spaces were available in areas with no parking restrictions. Additionally, although slightly beyond the 2 block radius, parking along 15th Street, between P and Q was virtually unused with only 2 cars parked in the 26 available 2 hour permit parking spaces. After business hours, ample on-street parking is available. The survey indicates that on-street parking can accommodate the three spaces required for the project.

- 2) The site is well served by transit:

The project is within 660 feet of the 13th Street Light Rail Station, and is also well served by bus lines (Routes 5,6,38, and 50 travel on P and Q Streets). The site is also walking distance from the Capitol and surrounding state offices. This transit and pedestrian accessibility should minimize the use of the automobile both for the commercial and residential components of the project. Additionally the project will be conditioned to provide accommodations for 2 bicycle parking racks, to provide for this means of alternative transportation.

- 3) Waiving the parking will allow for the full restoration of a Victorian garden

on the site:

The proposed garden, although not public open space, would provide an aesthetic amenity and assist in the Capitol Area plan goal of fostering development of neighborhood identity for the area. The garden is also consistent with Capitol Park Neighborhood Design Plan objectives to help establish a 13th Street identity through the use of accent landscaping at alleys, and the General Neighborhood Identity objective of encouraging landscaping along alleys to establish alleys as secondary pedestrian oriented residential streets.

#### PROJECT REVIEW PROCESS:

##### A. Environmental Determination

The City Environmental Coordinator has determined that the proposed project is exempt from environmental review pursuant to CEQA, Section 15303.

##### B. Public/Neighborhood/Business Association Comments

The proposed project application packet was sent to the Fremont Park Neighborhood Association, the Downtown Neighborhood Association, the CADA Tenants Council, the 17th Street Commons Neighborhood Association, the Stanford Park Neighborhood Association, the Richmond Grove Neighborhood Watch, the Central City Alliance of Neighborhoods, the Sacramento Old City Association and the Neighborhood Association Advisory Group. Land owners within a 500 foot radius of the project site were also notified of the proposed project. No comments were received from land owners or neighborhood associations.

##### C. Summary of Agency Comments

The proposal was routed to several City departments and other agencies. The following summarizes the comments received:

##### 1. Building Division

Change of occupancy requires full compliance for structural, life safety and handicap accessibility for the type of occupancy. The wall next to property line for carriage house to be one hour fire resistive with no opening. Parapet wall is required.

## 2. Police

The parking variance will not create a potential problem for law enforcement. The carriage house gates shall remain unlocked at all times. The alley shall be properly signed to prohibit parking.

## 3. Capitol Area Development Authority (CADA) (Attachment D)

The building is located immediately adjacent to a planned 68 unit detached townhome development, which will include the concept of orienting housing units to both the public streets and public alley right of ways with redevelopment of the alley as a residential street. CADA would support restoration of a Victorian garden area in lieu of on-site parking as part of the rehabilitation of 1621 13th Street because a restored garden area would help recreate the desired aesthetic quality to support the urban residential character we are attempting to create in the Capitol Park neighborhood.

**PROJECT APPROVAL PROCESS:**

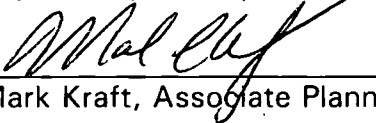
The Planning Commission has the authority to approve or deny the requested Special Permits and Variances. The decision of the Planning Commission may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

**RECOMMENDATION:**


Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to establish a commercial use on the ground floor of an existing structure in the R-5 zone.
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to waive 3 required parking spaces for a mixed use development in the R-5 zone.
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to reduce the rearyard setback from 15 feet to 0 feet.
- D. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to reduce the sideyard setback from 3 feet to 0 feet.

Report Prepared By:

  
Mark Kraft, Associate Planner

Report Reviewed By:

  
Steve Peterson, Senior Planner

ATTACHMENTS

Attachment A

Exhibit A-1

Attachment B

Attachment C

Attachment D

Notice of Decision and Findings of Fact

Site Plans\Landscape Plan

Vicinity Map

Land Use and Zoning Map

Letter from CADA



**ATTACHMENT A:****NOTICE OF DECISION AND FINDINGS OF FACT FOR  
CRADLER VICTORIAN, LOCATED AT 1621 13TH STREET  
SACRAMENTO, CALIFORNIA  
APN: 006-0284-023 (P97-119)**

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At the regular meeting of January 22, 1998, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Approved the Special Permit to establish a commercial use on the ground floor of an existing structure in the R-5 zone.
- B. Approved the Special Permit to waive 3 required parking spaces for a mixed use development in the R-5 zone.
- C. Approved the Variance to reduce the rearyard setback from 15 feet to 0 feet.
- D. Approved the Variance to reduce the sideyard setback from 3 feet to 0 feet.

These actions were made based upon the following findings of fact and subject to the following conditions:

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**FINDINGS OF FACT:**

- A. The Special Permit to establish a commercial use on the ground floor of an existing structure in the R-5 zone is approved subject to the following findings of fact:
  - 1. The Special Permit, is granted upon sound principles of land use in that the proposed use would be compatible with the surrounding land uses.
  - 2. The Special Permit will not be detrimental to the public's health, safety, or welfare, or result in the creation of a nuisance in the proposed office use is of low intensity and is consistent with the mixed use development envisioned for the area.
  - 3. The Special Permit is in conformity with the General Plan and Central City Community Plan policies in that the project will help to preserve an architecturally significant structure and will serve to add units to the City's housing stock while eliminating blight.

- B. The Special Permit to waive 3 required parking spaces for a mixed use development in the R-5 zone is **approved** subject to the following findings of fact:
1. The Special Permit is granted upon sound principles of land use in that alternatives to the automobile are readily available to the project and in that waiver of the parking will allow for the development of a Victorian garden which will be an aesthetic amenity to the community.
  2. The Special Permit will not be detrimental to the public's health, safety, or welfare, or result in the creation of a nuisance in that adequate on-street parking is available to accommodate the proposed use.
  3. The Special Permit is in conformity with the General Plan and Central City Community Plan Policies.
- C. The Variance to reduce the rearyard setback from 15 feet to 0 feet is **approved** subject to the following finding of fact:
1. The Variance does not constitute a special privilege extended to an individual property owner in that the variance would be granted to other property owners facing similar circumstances.
  2. The Variance does not constitute a "use variance" in that the proposed project is allowable, by Special Permit, in the R-5 zone.
  3. The Variance will not be injurious to the public welfare, nor to property in the vicinity of the project.
  4. The Variance is consistent with goals and policies of the General Plan and Central City Community Plan.
- D. The Variance to reduce the sideyard setback from 3 feet to 0 feet is **approved** subject to the following findings of fact:
1. The Variance does not constitute a special privilege extended to an individual property owner in that the variance would be granted to other property owners facing similar circumstances.
  2. The Variance does not constitute a "use variance" in that the proposed project is allowable, by Special Permit, in the R-5 zone.
  3. The Variance will not be injurious to the public welfare, nor to property in the vicinity of the project.

4. The Variance is consistent with goals and policies of the General Plan and Central City Community Plan.

**CONDITIONS:**

- A. The Special Permit to establish a commercial use on the ground floor of an existing structure in the R-5 zone is **approved** subject to the following conditions:
- A1. Prior to issuance of a certificate of occupancy for the project, the structures shall comply with applicable building codes, to the satisfaction of the Building Division.
  - A2. Prior to issuance of a certificate of occupancy for the project the applicant shall develop the site in accordance with the landscape plan, as provided in Attachment A-1.
  - A3. Prior to issuance of a certificate of occupancy for the project, the applicant shall construct a bicycle rack capable of accommodating at least two bicycles, at the western portion of the site.
  - A4. Prior to issuance of a certificate of occupancy for the project, the applicant shall provide exterior lighting for the alley unit, to the satisfaction of the Police Department.
  - A5. Separate street addressing shall be provided for the office space and each of the two residential units.
  - A6. The carriage house gates shall remain unlocked at all times.
  - A7. The alley shall be properly signed to prohibit parking.

\_\_\_\_\_  
CHAIRPERSON

ATTEST:

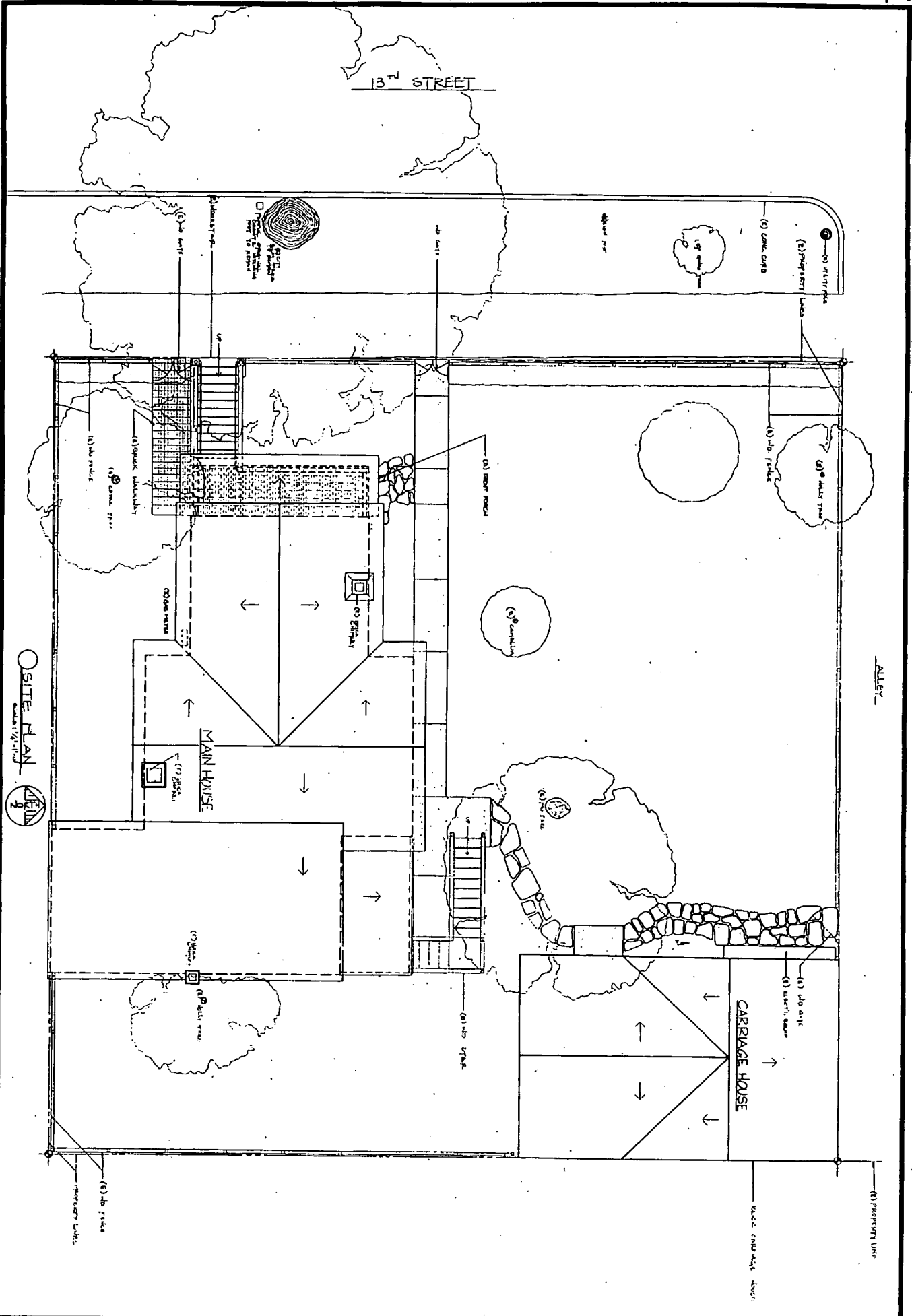
\_\_\_\_\_  
SECRETARY TO THE PLANNING COMMISSION

\_\_\_\_\_  
DATE  
(P97-119)

Attachments

Exhibit A-1

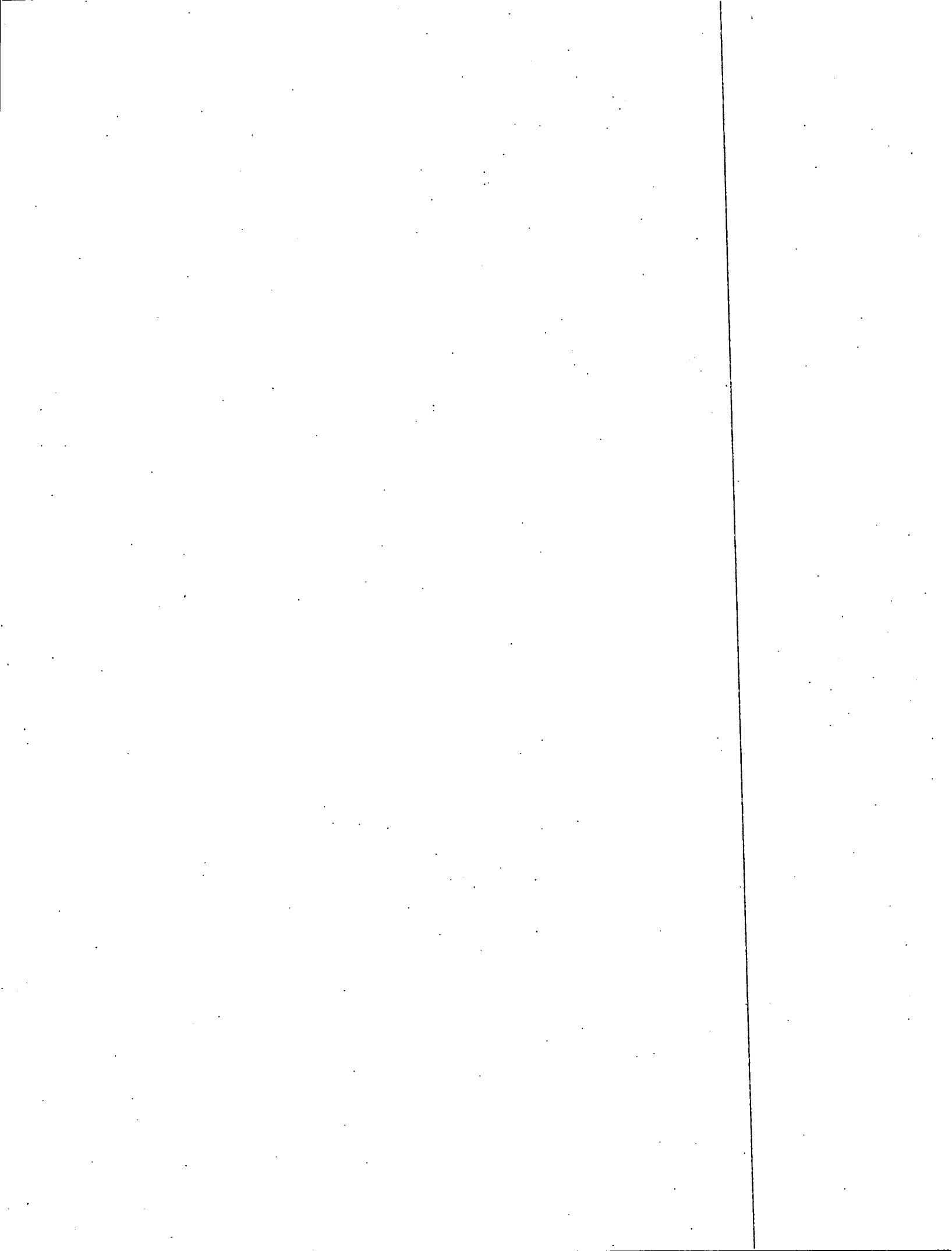
Site Plans\Landscape Plan



SITE PLAN  
SCALE: AS NOTED



1	SITE PLAN	SCALE: AS NOTED	<b>CRADLER VICTORIAN</b>	MCCABE · PRESSEY · ARCHITECTS
	100 No 930-77	1021 13th STREET, CALIFORNIA, SACRAMENTO	1000 14TH STREET · SACRAMENTO · 95811 · 487-4347	DRAWN: MEIER CHECKED: McCABE



P 8.11.8  
A2015

# California State Accessibility Standards

## Restroom and Toilet Facilities

Section 310A(1)  
1. Toilet Facilities. Single Accessible Toilet Facilities. There shall be sufficient space in the toilet room for a wheelchair measuring 30 inches wide by 48 inches long to enter the room and parallel the door to them. There shall be in the room a clear floor space of at least 60 inches in diameter. The door shall measure into the room. The room shall be bounded in a space which provides a minimum 22 inches wide clear space from a wall or side wall. The other side shall provide 12 inches from the top of the door to the wall. A minimum 40 inches of clear space shall be provided in front of the water closet. All doors, frames and hardware shall be as accessible as possible. The minimum clear width of an accessible toilet shall be 30 inches.

EXCEPTION: In an existing building a single accessible toilet facility may have the water closet fixture located in an area which provides a clear space of not less than 34 inches wide by 42 inches long in front of the water closet.

(2) Washroom. A clear space measured from the face to a height of 37 inches above the floor, within the restrooms facility room, of sufficient size to accommodate a wheelchair not less than 48 inches. Doors may not protrude into this space.

(3) Clear Space. A water closet fixture located in a compartment shall provide a minimum 22 inches wide clear space from a wall. The other side of the water closet shall provide 12 inches from the centerline of the water closet to the wall. A minimum 40 inches long clear space shall be provided in front of the water closet. Check here shall not project more than 1 inches into the clear space or unobstructed floor.

2. Toilet Room Provisions and Accommodations. A. Lavatory Provisions. The requirements of this section shall apply to lavatory facilities, restrooms and toilet rooms.

(1) A clear floor space 30 inches by 48 inches shall be provided in front of a lavatory to allow a forward approach. Such clear floor space shall extend or overlap an accessible route and shall extend one foot and ten percent beyond the lavatory.

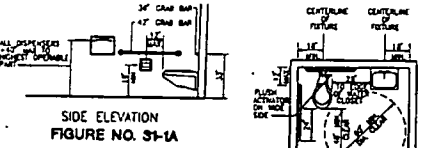
(2) Mirrors shall be mounted with the bottom edge no higher than 40 inches from the floor.

3. Travel, Sanitary Supplies, Waste Receptacles. When travel, sanitary supplies, waste receptacles, and other similar dispensing and disposal fixtures are provided, at least one of each type shall be located with all accessible paths, including rest rooms, within 40 inches from the finished floor.

C. Toilet Paper Dispensers. Toilet paper dispensers shall be located on the wall within 12 inches of the front edge of the water closet. Dispensers that require insertion of a coin and printed instructions paper shall not be used. NOTE: See Figure 31-1A.

3. Handicap Facilities. In other than existing units, when areas have been a research, hand, non-slip surface such as polished concrete, terrazzo, epoxy tile or other approved material which provides slip resistance shall be provided in the toilet room. Walls within water closet compartments and water closets 24 inches of the base and sides of water closets shall be finished to a height of 48 inches and, except for structural elements, be finished with a slip-resistant surface to a height of 48 inches or otherwise indicated by contract documents. The accessible side of each toilet shall be a type which is not adversely affected by moisture.

4. A. Check Basin (2) Location. Check basins located on each side, or one side and the back of the accessible water closet compartment, shall be normally situated 32 inches above and parallel to the floor, except that where a back-siphon check is used, the minimum clearance shall be 32 inches, the gap between the top of the basin and the floor shall be at least 42 inches long with the front and rear and minimum 34 inches in height of the water closet seat. Check basins on the back shall be not less than 32 inches long. NOTE: See Figures 31-1A and 31-1C.



SIDE ELEVATION  
FIGURE NO. 31-1A

SECTION THROUGH TYPICAL GRAB BAR  
FIGURE NO. 31-1C

THE ABOVE DRAWINGS ARE SUBJECT TO THE PROVISIONS OF THE CALIFORNIA STATE ACCESSIBILITY STANDARDS AND CONSTRUCTION

(3) Structural Strength. The structural strength of grab bars, set and support walls, fixtures, and mounting devices shall meet the following specifications:

a. Grab bars shall be a pipe bar or not reduced by the maximum loading amount from the application of a 250-pound point load shall be less than the allowable stress for the material of the pipe bar or not.

b. Clear space adjacent to a grab bar or not by the application of a 250-pound point load shall be less than the allowable stress amount for the material of the grab bar or not, and of supporting hardware or other support is required to be fully supported, they shall not exceed the maximum load or moment the allowable stress amount.

c. Show bars installed in between or overlapping doors from the application of a 250-pound point load shall be less than the allowable stress level of the frame of mounting device or the supporting structure, including in the smaller allowable load.

d. Toilets be installed in a bathroom by a direct means from a 250-pound point load, the allowable stress from the application of a 250-pound point load shall be less than the allowable stress level between the fixture and supporting structure.

e. Check bars shall not cross within their length.

(4) Handrails. A grab bar and any wall or other surface adjacent to a grab bar of any shape or design shall have a minimum radius of 1/4 inch.

## WALL CONSTRUCTION

INTERIOR WALLS  
2x4 WOOD STUDS 16" ON CENTER WITH 5/8" TYPE "X" GYPHUM HALLOWARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 80 GAGE OR HOLLOWARD NAILS AT 1" ON CENTER WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE.

CEILING CONSTRUCTION  
BASE LAYER 5/8" TYPE "X" GYPHUM HALLOWARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1/4" TYPE "B" OR TYPE "X" DRYWALL SCREWS 24" O.C. FACE LAYER 5/8" TYPE "X" GYPHUM HALLOWARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGH BASE LAYER WITH 1/4" TYPE "B" OR TYPE "X" DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER JOINTS OFFSET 24" FROM BASE LAYER JOINTS. 1/2" TYPE "X" DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS 12" O.C.

## GENERAL NOTES

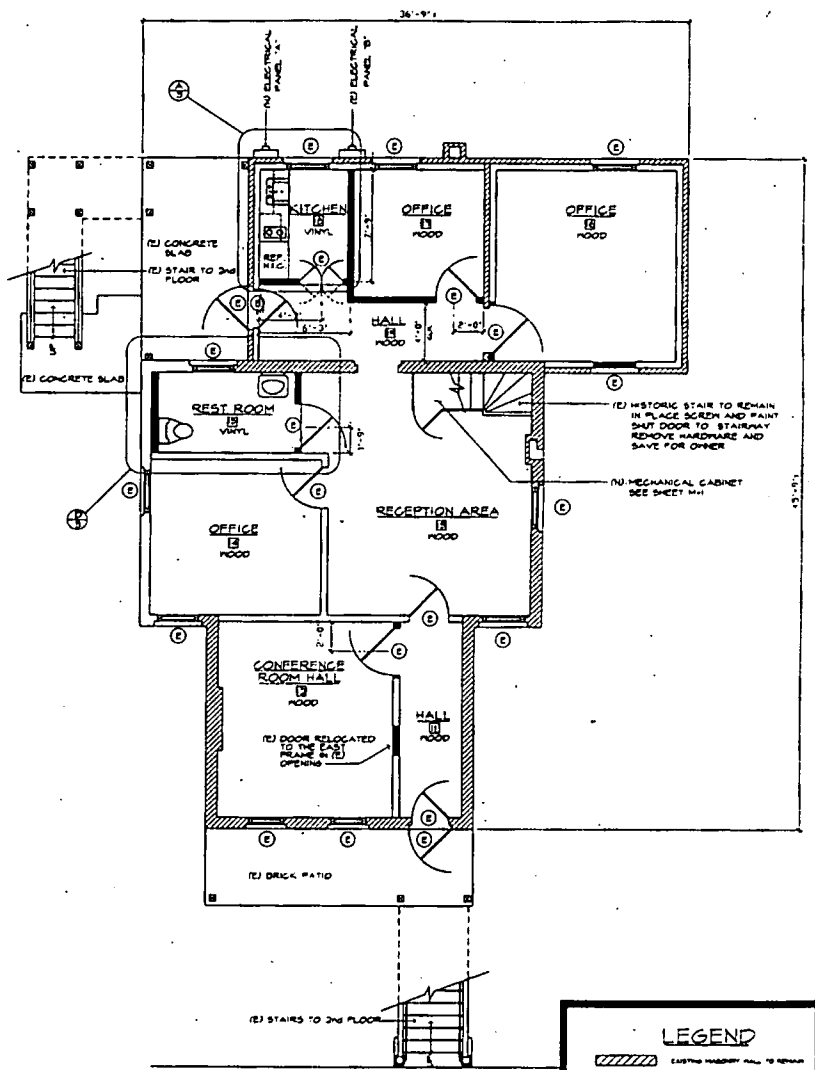
1. NEW STUD WALLS SHALL BE 2-4 @ 16" O.C.
2. NEW STUDS IN WALLS THAT HAVE ORIGINAL 2x4 STUDS SHALL BE SHIMMED AS NECESSARY TO KEEP ALL FINISH SURFACES FLUSH AND EVEN.
3. ORIGINAL 1-4 @ 16" O.C. BEAD HISTORIC PLANKSOT SHALL BE REPLACED AROUND ALL WALLS EXCEPT AT THE REST ROOM. SEE SHEET FOR REST ROOM FINISH.
4. ORIGINAL 1-4 @ 16" O.C. BRAIN D FIR FLOORING TO BE RESTORED IN ROOMS HALL (1), CONFERENCE ROOM (2), RECEPTION AREA (3), AND OFFICE (4). USE (E) FLOORING FROM REST ROOM (5) IF NECESSARY.
5. NEW 1-4 @ 16" O.C. BRAIN D FIR FLOORING TO MATCH (E) FLOORING TO BE INSTALLED IN ROOMS OFFICE (4), OFFICE (5), AND HALL (6).
6. ALL FINISHED WALLS SHALL BE FILLED WITH FULL THICKNESS FIBERGLASS INSULATION. 2x4 WALLS: R-10.
7. ALL DOORS ARE EXISTING. UNPANELED DOORS, REBUILD AS NECESSARY TO PROVIDE 2" MIN CLEARANCE UNDER DOOR AT 1/2".
8. ALL DOORS TO BE UNDERGUT AS NECESSARY FOR RETURN AIR FROM EACH ROOM.
9. REPLACE DOOR HARDWARE TO PROVIDE ADA COMPLIANT LEVER ACTION HARDWARE AT ALL DOORS.

Water Closets  
Section 310A  
The height of accessible water closets shall be a maximum of 17 inches and a minimum of 15 inches measured to the top of a maximum 2-inch-high water seat, except that 2-inch seats shall be permitted only in alterations where the existing fixture is less than 15 inches high. Closets shall be operable with one hand, and shall not require tight grasping, pinching or twisting of the wrist. Controls for the flush valve shall be mounted on the side of the water closet, not more than 44 inches above the floor. The flush valve shall be operable with one hand. The flush valve shall be at least 17 inches from the floor of the fixture.

Lavatories  
Section 310A  
(1) Lavatories adjacent to a wall shall be operated with a minimum clearance of 18 inches to the centerline of the fixture. All accessible lavatories shall be operated with the side or center surface no higher than 34 inches above the finished floor and with a clearance of at least 20 inches from the floor to the bottom of the basin with hand clearance under the flow by extending a minimum of 30 inches in width and 8 inches minimum depth at the top. The clearance shall be the same width and shall be a maximum of 4 inches high from the floor and a maximum of 17 inches deep from the floor of the fixture.  
(2) The water and drain pipes accessible water lavatories shall be installed or otherwise covered. There shall be no sharp or obtrusive surface water lavatories.  
(3) Floor drains and opening mechanisms shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist. The basin required in accessible lavatories shall be no greater than 21 in. Lavatories, pedestal-type and floor-mounted lavatories are not required in accessible lavatories. Lavatories shall be finished to the floor minimum 48 inches from the floor of the fixture.

Accessibility to Group B Occupancies  
Section 310A(1)  
Group B Occupancies shall be accessible as provided in the chapter. See also the general requirements listed in Section 310A(2).

1. General. The provisions of this section apply to the specific types of facilities and identify specific requirements of accessibility and usability which shall be provided for each of the listed occupancy use requirements. Facilities shall conform to the provisions of this section.
2. Office Buildings and Personal and Public Service Facilities. Office buildings and personal and public service facilities shall conform to the provisions of this section.
3. Facilities Covered. Facilities covered in this section are those that are used by the public or customers, which require or which are potentially places of employment and shall include, but not be limited to the following categories:  
(a) All types of general and specialized business professional offices, including those related to professional activities or advisory, operations, real estate, insurance, credit business activities, counseling, or consulting.  
(b) Retail and professional offices. Areas to be made accessible include:  
(i) Check and counter areas and office areas, together with related built-in areas shall be made accessible.  
(ii) Conference rooms, meeting rooms or other not smaller areas shall be made accessible.  
(iii) Employee work areas shall have a minimum of 36 inches clear space, unless so certified in other portions of these regulations. See section 3113.1(i) and (j).

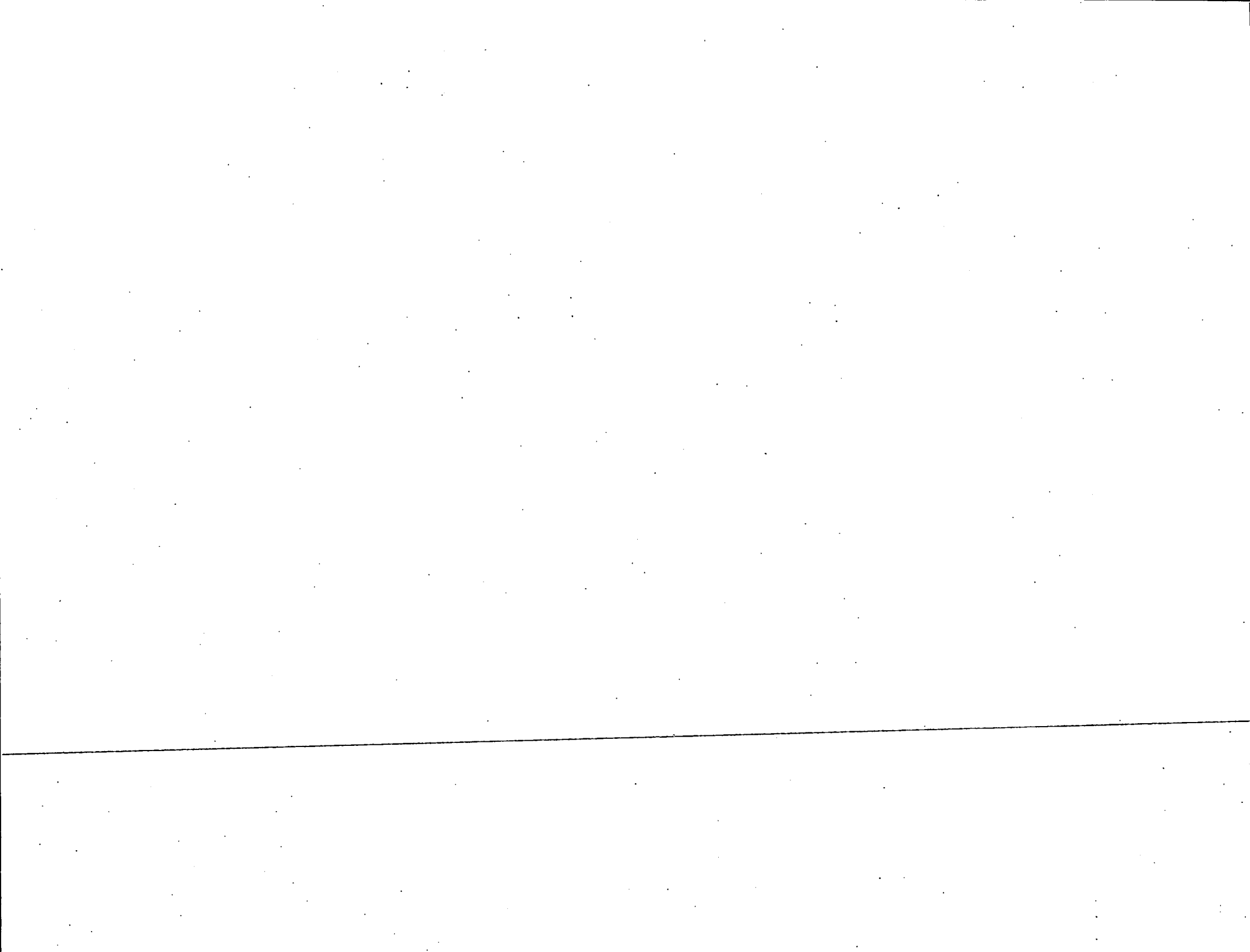


▲ FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

NOTE:  
EXTERIOR AND STRUCTURAL REPAIRS ARE CURRENTLY UNDER REVIEW. THIS SET OF DOCUMENTS IS FOR TENANT IMPROVEMENTS FOR 1st FLOOR ONLY.

LEGEND	
	EXISTING HARDWOOD FLOOR TO REMAIN
	EXISTING WALL TO REMAIN
	NEW WALL AND/OR PARTITION
(E)	EXISTING
(N)	NEW

INTERIORS CALLED OUT WITH RED SYMBOLS. SEE SHEET 101-11-11 FOR DETAILS.  
INTERIORS CALLED OUT WITH GREEN SYMBOLS. SEE SHEET 101-11-12 FOR DETAILS.

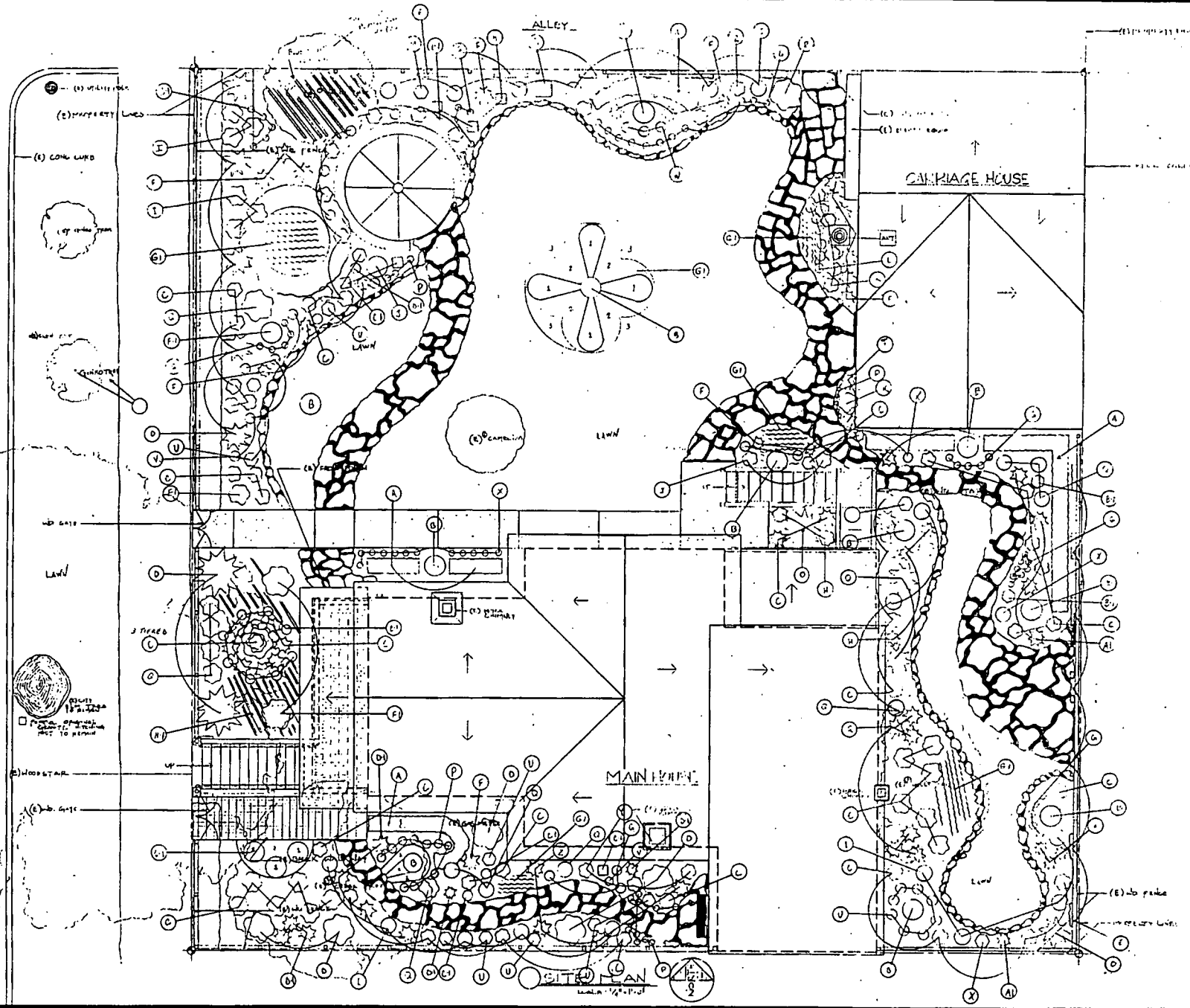




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JHON 47

EXHIBIT - LANDSCAPE PLAN

- PLANT LIST**
- A\* Boxwood Hedge
  - B Dwarf Alberta Spruce
  - C Azalea
  - D Camelia Tree
  - E Climbing Rose
  - F Rose
  - G Geranium
  - H Salvia Splendus
  - I Hydrangea
  - J Escallonia Compacta
  - K Escallonia Newport Dwarf
  - L Phlox Stolonifera 'Creeping Phlox'
  - M Phlox Panzofata 'Summer Phlox'
  - N Budding 'Burrhead' Bush
  - O Blue Lobelia
  - P Rhododendron
  - Q Tree Peony
  - R Oregon Grape 'Holly Grape'
  - S Stachys Byzantina 'Lamb's Ears'
  - T Pannas 'Pam'
  - U Delphinium
  - V Acer 'Frasera'
  - X Abies
  - Y Dark
  - Z Ivy
  - AI Heather
  - BI Rosemary
  - CI Anemone
  - DI Digitalis Purpurea 'Foxglove'
  - EI Cactus
  - FI Viburnum 'Snowball'
  - GI Annuals - Numbers demonstrate a planting pattern
  - HI English Ivy



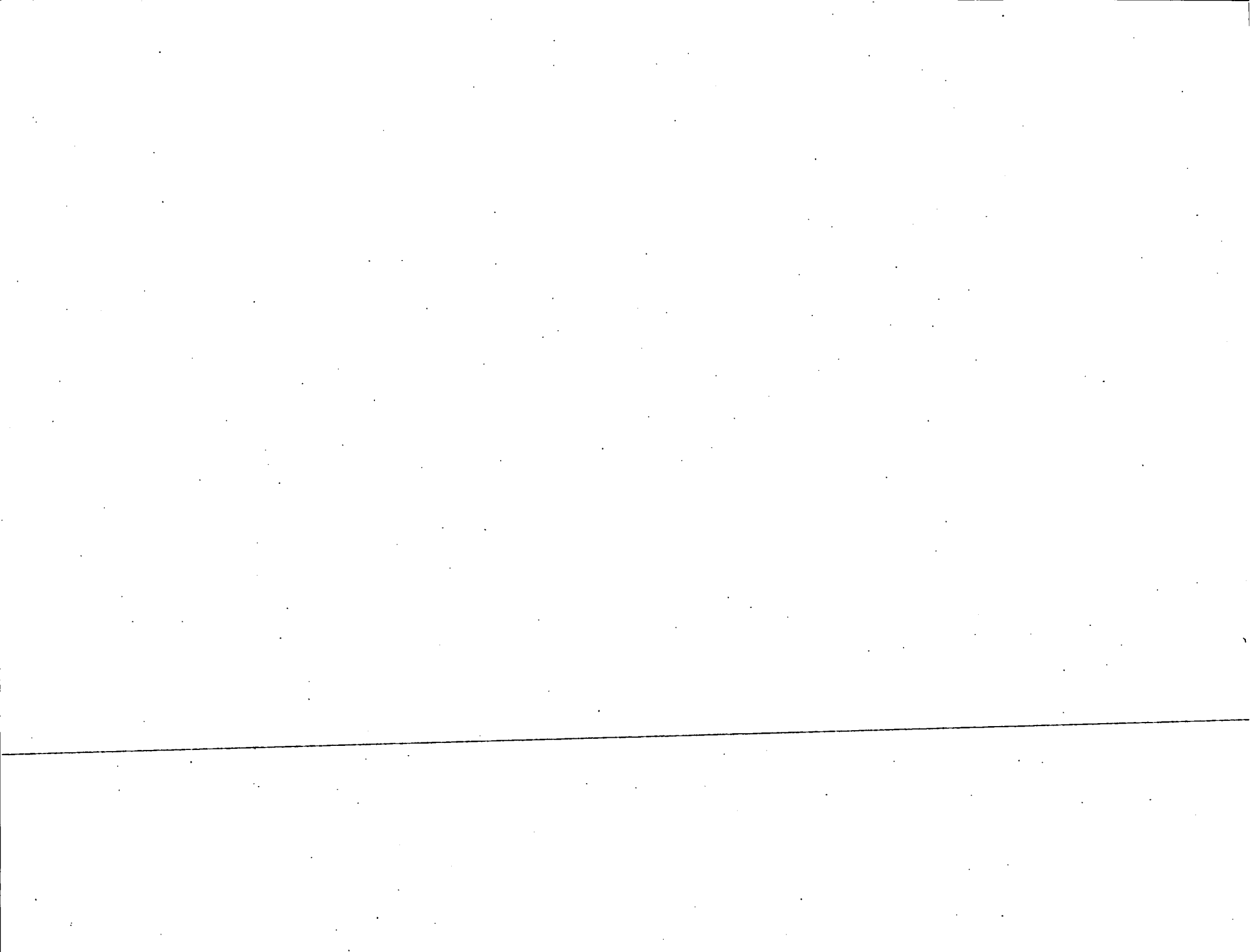
**CRADLER VICTORIAN**  
 1821 13th Street - Sacramento, California

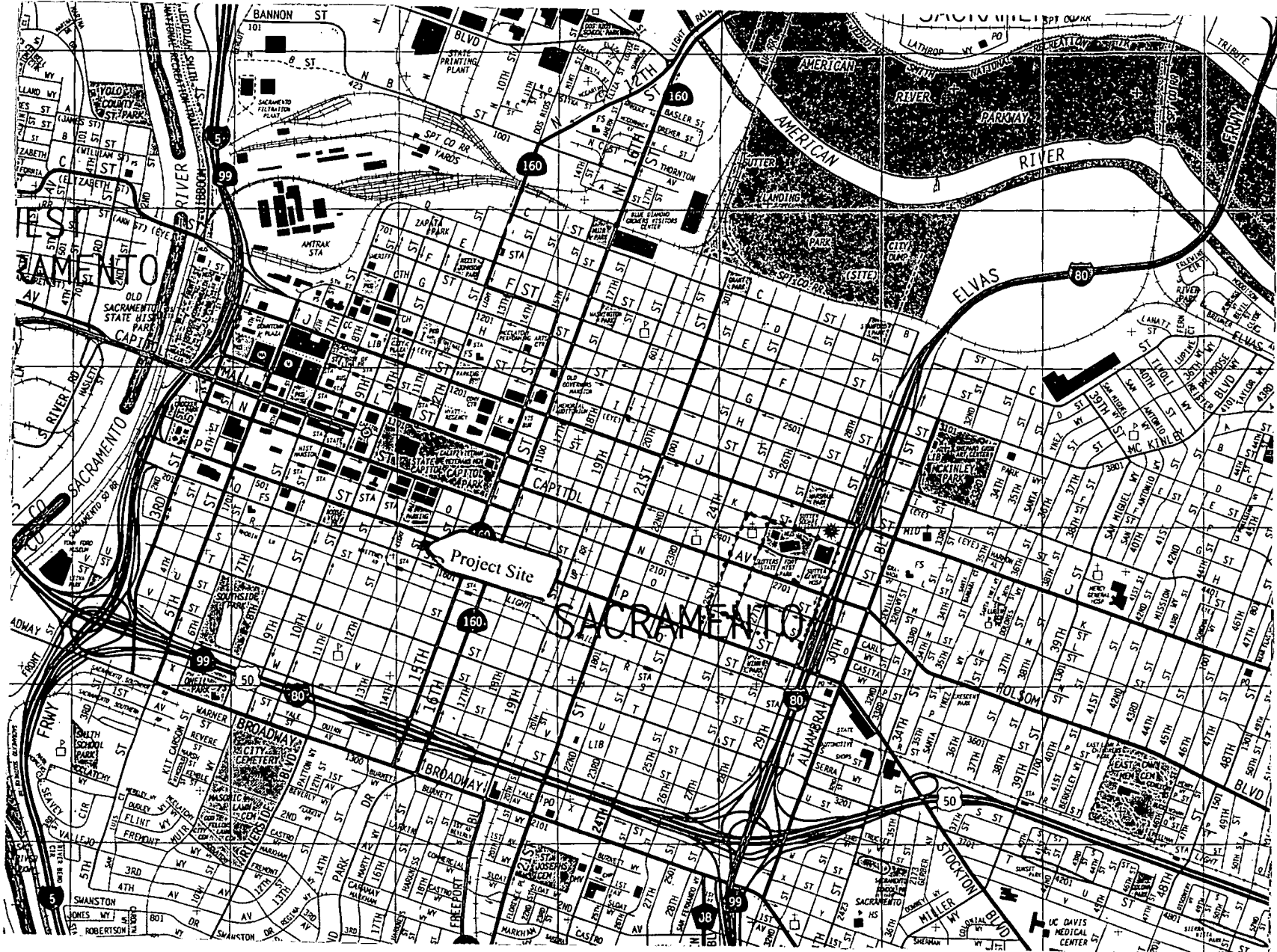
**ZUKE'S**  
 3113 Harbor Ct., CA 95827  
 Ph. 391-3364 Fax. 876-9723

**MCCABE - PRESSEY - ARCHITECTS**  
 1400 17th Street - Sacramento - 95811 - 441-1147  
 Ph. 391-3364 Fax. 876-9723

DATE: 5/13/74

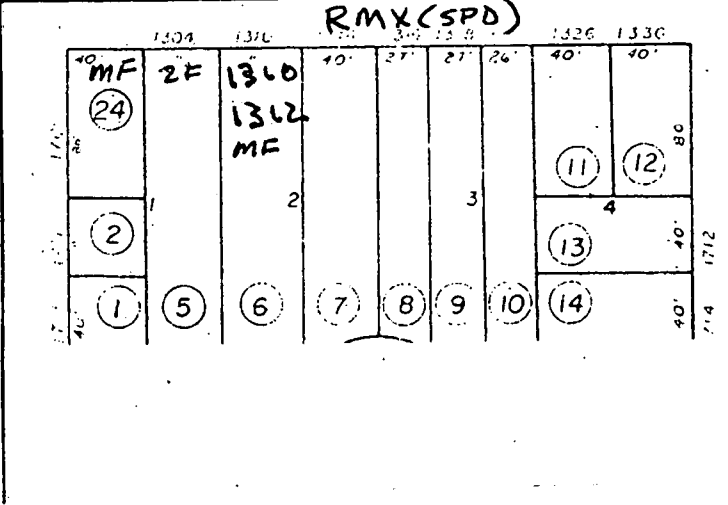
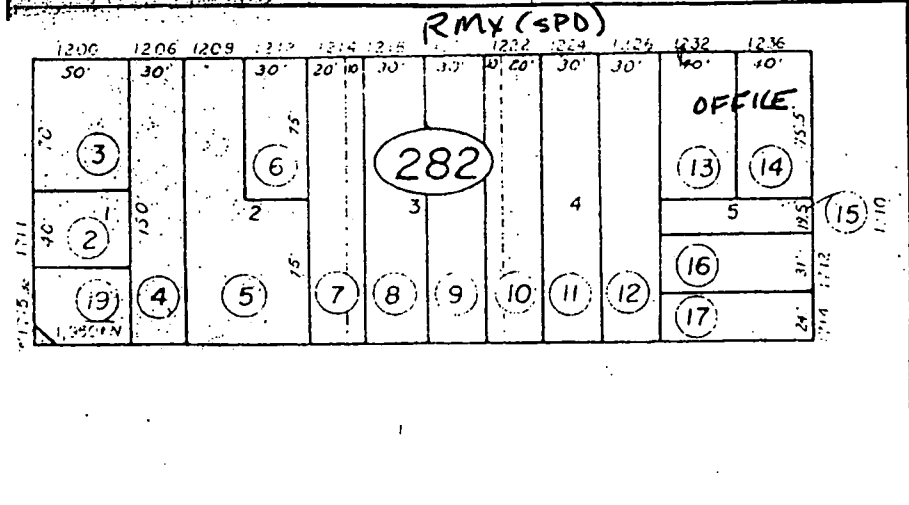
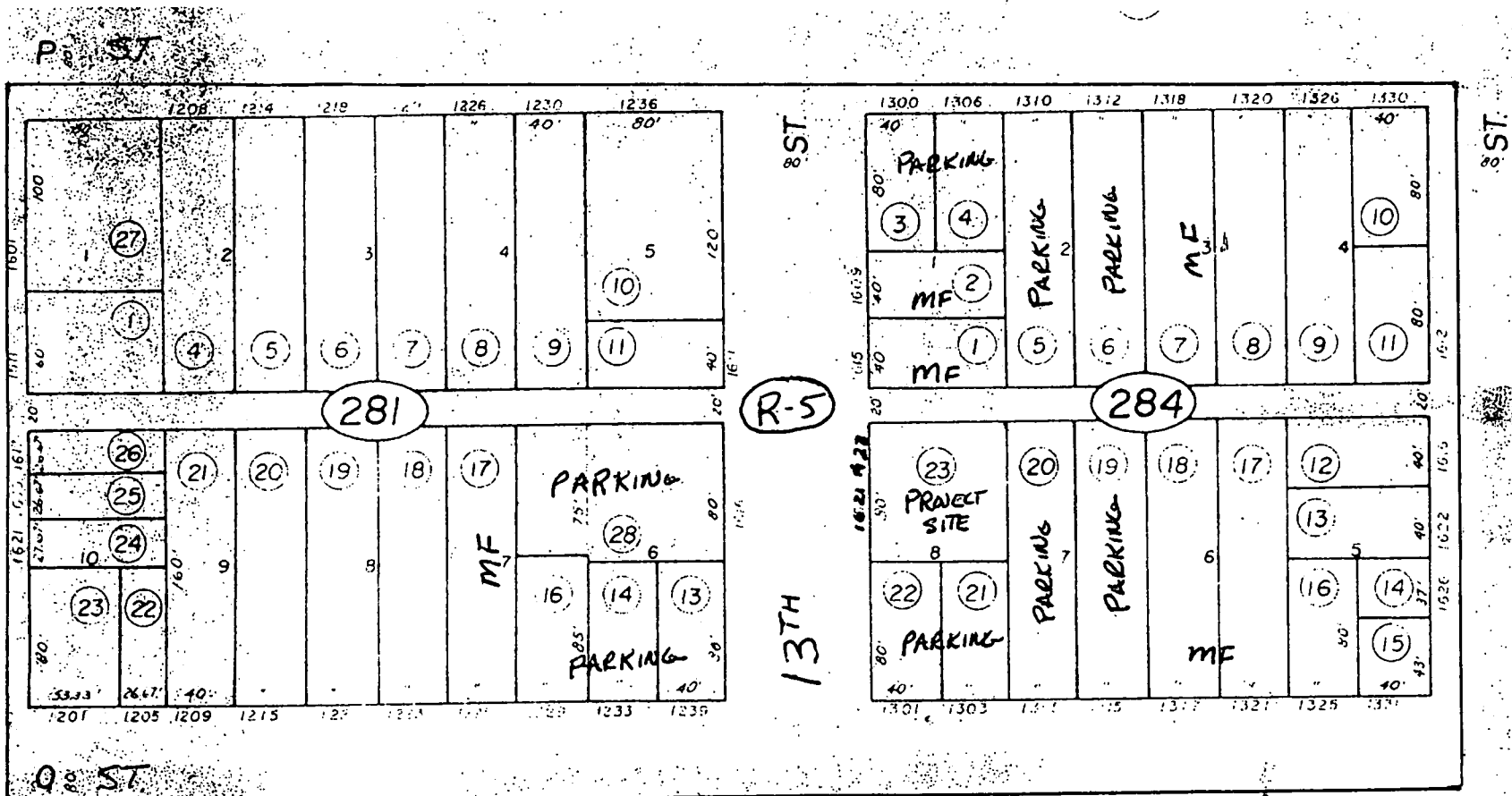
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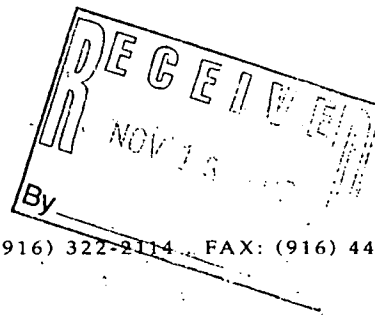
Attachment B  
Vicinity Map

Attachment C  
Land Use and Zoning Map





CAPITOL AREA  
DEVELOPMENT  
AUTHORITY



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1530 Capitol Ave . Sacramento, CA 95814 . (916) 322-2114 . FAX: (916) 441-1804

November 6, 1997

Gary Stonehouse, Director  
Development Services  
City of Sacramento  
1231 I Street, Room 300  
Sacramento, CA 95814

Subject: Rehabilitation of 1621 13th Street

Dear Gary:

This letter is in regards to the rehabilitation of the existing building at 1621 13th Street and the issue of potentially required on-site parking for the project.

It is our understanding that the subject building is being rehabilitated for both commercial office (one unit) and residential use (two units), and that such use might require the provision of some on-site parking. It is also our understanding that providing such on-site parking would eliminate the proposed restoration of a Victorian garden area near the northwest corner of the subject property.

Rehabilitation of the existing historic building at 1621 13th Street is clearly a positive activity for the Capitol Park Neighborhood. The building is located in an area that is planned for future residential and neighborhood commercial retail uses, and is located immediately adjacent to a planned 68 unit detached townhome development to be privately developed in conjunction with CADA on state-owned property. The proposed townhome project will include the concept of orienting housing units to both the public streets and public alley right-of-ways with redevelopment of the alley as a residential street. A restored garden area would be much more of an asset for the planned project in that the restored garden would be more consistent with the character of a redesigned alley as a residential street.

It is very common in the Central City to have residential units and/or office space without on-site parking. We have found, through our experience of directly managing over 770 residential units and 40 commercial retail spaces in the Capitol Park Neighborhood, that it is possible to lease such spaces without the provision of on-site parking through the City of Sacramento residential parking permit program.

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CADA would support restoration of a Victorian garden area in lieu of on-site parking as part of the rehabilitation of 1621 13th Street because a restored garden area would help recreate the desired aesthetic quality to support the urban residential character we are attempting to create in the Capitol Park Neighborhood and in particular the area immediately surrounding the subject building.

Please feel free to contact me at 322-2114 should you have any questions or need additional information.

Sincerely,



RONALD L. ALVARADO  
Executive Director