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DEPARTMENT OF
PUBLIC WORKS

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET, 2nd Floor
SACRAMENTO, CA 95814-2700

DEVELOPMENT SERVICES DIVISION

PH. (916) 264-7995
FAX (916) 264-8450

June 24, 2002

City Council
Sacramento, California

Honorable Members in Session:

APPROVED

JUL 18 2002

OFFICE OF THE
CITY CLERK

AG 2002-119

**SUBJECT: APPROVAL OF FINAL MAP AND SUBDIVISION IMPROVEMENT
AGREEMENT FOR "RYLAND GARDENS - NORTHBOROUGH II LOT G"
(P00-010)**

LOCATION/COUNCIL DISTRICT:

North Natomas - north of Club Center Drive and east of Northborough Drive
Council District 1

RECOMMENDATION:

This report recommends the City Council adopt the attached resolution approving the Final Map and Subdivision Improvement Agreement for Ryland Gardens - Northborough II Lot G.

CONTACT PERSON:

Fritz Buchman, Senior Engineer, 264-7493
Bob Robinson, Supervising Surveyor, 264-8970

FOR COUNCIL MEETING OF: July 18, 2002

SUMMARY:

On March 22, 2001, the City Planning Commission approved a Tentative Subdivision Map by adopting a Notice of Decision. The subdivider, Ryland Homes of California, Inc., a Delaware Corporation, wishes to file the Final Map prior to completing the required subdivision improvements. The deferral of these improvements requires the subdivider to enter into a Subdivision Improvement Agreement with the City wherein the subdivider agrees to complete the improvements at a later date. All other conditions of the subdivision's Tentative Map have been met by the subdivider.

Department of
PUBLICWORKS
CITY OF
SACRAMENTO

City Council
Final Map for Ryland Gardens - Northborough II Lot G
June 24, 2002

The Final Map and the Subdivision Improvement Agreement require approval by the City Council. See Exhibits "A-1" through "A-5" for project location.

COMMITTEE/COMMISSION ACTION:

None.

BACKGROUND INFORMATION:

On March 22, 2001, the City Planning Commission approved a Tentative Subdivision Map by adopting a Notice of Decision.

Pursuant to Sacramento City Code Section 16.28.110, and Government Code Section 66458, the City Council may approve Final Maps by resolution. The map presented conforms to all the requirements of the Government Code and Title 16 of the City Code applicable at the time of conditional approval of the Tentative Map.

The Final Map is consistent with the North Natomas Community Plan. The deferred improvement work has been secured through a Subdivision Improvement Agreement, all other conditions of approval have been met, and the Final Map is presented for approval.

FINANCIAL CONSIDERATIONS:

All subdivision costs are being paid by the subdivider, Ryland Homes of California, Inc., a Delaware Corporation.

ENVIRONMENTAL CONSIDERATIONS:

On March 22, 2001, the City Planning Commission adopted a Notice of Decision ratifying the Negative Declaration and approving the Mitigation Monitoring Plan for this project.

POLICY CONSIDERATIONS:

Pursuant to Sacramento City Code Section 16.28.110, and Government Code Section 66458, the City Council may approve Final Maps by resolution. The map presented conforms to all the requirements of the Government Code and Title 16 of the City Code applicable at the time of conditional approval of the Tentative Map.

City Council
Final Map for Ryland Gardens - Northborough II Lot G
June 24, 2002

ESBD CONSIDERATIONS:

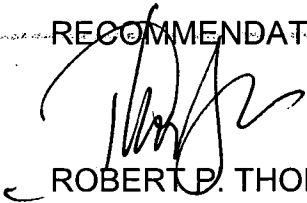
City Council adoption of the attached resolution is not affected by City policy related to the ESBD Program.

Respectfully submitted,



Gary Alm,
Manager, Development Services

~~RECOMMENDATION APPROVED:~~



ROBERT P. THOMAS
City Manager

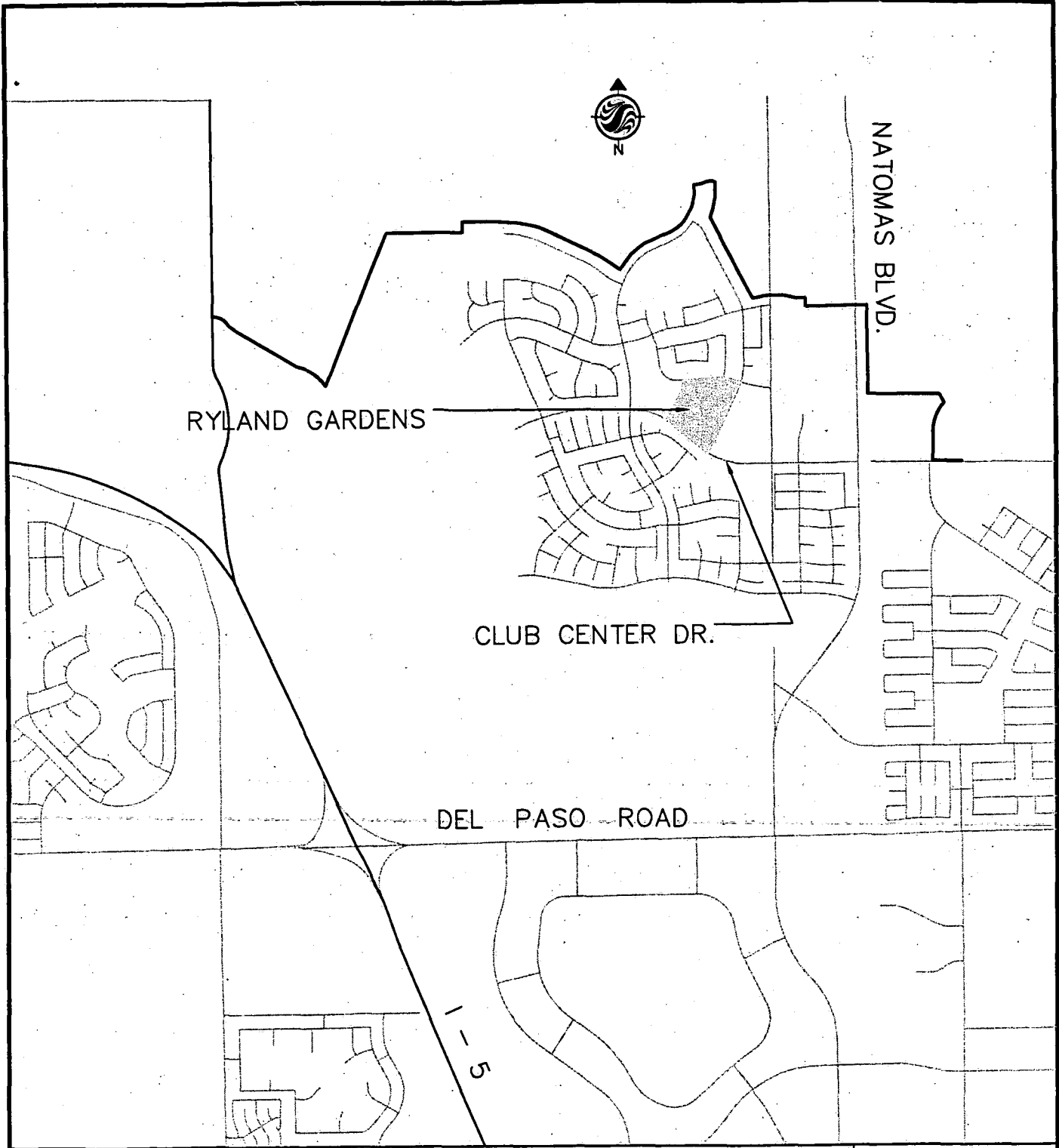
FB/pt

Approved:



Michael Kashiwagi
Director of Public Works

EXHIBIT A-1



Client/Project

Title

RYLAND HOMES
RYLAND GARDENS

VICINITY MAP

DATE: 06/13/02

JOB #: 84634001

DESIGNED BY:

DRAWN BY:

CHECKED BY: .

SCALE: 1"=2000'

CODE:

DRAWING #:



Stantec

Stantec Consulting Inc. Tel. 916.925.5550
2590 Venture Oaks Way Fax. 916.921.9274
Sacramento, CA 95833-3288 www.stantec.com

FINAL MAP OF
RYLAND GARDENS
NORTHBOROUGH II-LOT G
SUBDIVISION NO. P00-010
BEING ALL OF PARCEL 14 OF THE
"MASTER PARCEL MAP OF NORTHBOROUGH II,
BOOK 162 P.M. 8
CITY OF SACRAMENTO STATE OF CALIFORNIA
JUNE, 2002
Stantec Consulting Inc.
SHEET 1 OF 4

LEGAL DESCRIPTION:

PARCEL 14, AS SHOWN ON THE "MASTER PARCEL MAP OF NORTHBOROUGH II, FILED IN THE THE OFFICE OF THE RECORDER OF SACRAMENTO COUNTY, CALIFORNIA, ON SEPTEMBER 05, 2001 IN BOOK 162 OF PARCEL MAPS, MAP No.8.

OWNER'S STATEMENT:

THE UNDERSIGNED HEREBY STATE THAT THEY ARE THE ONLY PERSONS HAVING ANY RECORD TITLE INTEREST IN THE REAL PROPERTY INCLUDED WITHIN THIS FINAL MAP AND THEY HEREBY CONSENT TO THE PREPARATION AND FILING OF THIS FINAL MAP OF "RYLAND GARDENS NORTHBOROUGH II-LOT G" AND OFFER FOR DEDICATION AND DO HEREBY DEDICATE TO ANY AND ALL PUBLIC USES, THE WAYS AND DRIVE SHOWN HEREON AND OFFER FOR DEDICATION AND DO HEREBY DEDICATE FOR SPECIFIC PURPOSES THE FOLLOWING:

(A) PUBLIC EASEMENTS FOR ELECTROLIERS, TRAFFIC CONTROL DEVICES, WATER AND GAS PIPE, AND FOR UNDERGROUND WIRES AND CONDUITS FOR ELECTRIC, TELEVISION AND TELEPHONE SERVICES, TOGETHER WITH ANY AND ALL APPURTENANCES PERTAINING THERETO ON, OVER, UNDER AND ACROSS STRIPS OF LAND 12.5 FEET IN WIDTH LYING CONTIGUOUS TO THE WAYS AND DRIVE SHOWN HEREON AND DESIGNATED "PUBLIC UTILITY EASEMENT" (P.U.E.).

(B) PUBLIC EASEMENTS FOR ELECTROLIERS, TRAFFIC CONTROL DEVICES, WATER AND GAS PIPE, AND FOR UNDERGROUND WIRES AND CONDUITS FOR ELECTRIC, TELEVISION AND TELEPHONE SERVICES, TOGETHER WITH ANY AND ALL APPURTENANCES PERTAINING THERETO ON, OVER, UNDER AND ACROSS CLUSTER LOT DRIVEWAYS, LOTS 142-181 AND 5 FEET ADJACENT THERETO.

(C) AN EASEMENT FOR LANDSCAPING AND ALL APPURTENANCES APPERTAINING THERETO LYING ON, OVER AND ACROSS STRIP OF LAND SHOWN HEREON AND DESIGNATED "LOT A" A LANDSCAPING EASEMENT, SAID STRIP TO BE KEPT OPEN AND FREE FROM BUILDING.

RYLAND HOMES OF CALIFORNIA, INC., A DELAWARE CORPORATION

[Signature]
PRINT NAME: Michael McKeonick
TITLE: Res. President

NOTARY ACKNOWLEDGMENT:

STATE OF California
COUNTY OF Colusa

ON June 8, 2002 BEFORE ME Michelle Ng (NAME, TITLE OF OFFICER), PERSONALLY APPEARED Michael G. McKeonick

[] PERSONALLY KNOWN TO ME --OR-- [] PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THEIR PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL

[Signature]
Michelle Ng
PRINT NAME



MY PRINCIPAL PLACE OF BUSINESS IS IN THE COUNTY OF Colusa MY COMMISSION EXPIRES: 11-17-02

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RYLAND HOMES OF CALIFORNIA, INC., A CALIFORNIA CORPORATION, IN DECEMBER 2001. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP; THAT THE MONUMENTS WILL BE OF THE CHARACTER AND WILL OCCUPY THE POSITIONS INDICATED AND WILL BE SET BY MARCH 2003, AND THAT SAID MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

June 7, 2002 DATE SIGNATURE: *[Signature]*
TERRY FLETCHER L.S. 5634
EXP. 6-30-04



CITY ENGINEER'S STATEMENT:

I HEREBY STATE THAT I HAVE EXAMINED THIS FINAL MAP ENTITLED "RYLAND GARDENS NORTHBOROUGH II- LOT G" AND FIND IT TO BE SUBSTANTIALLY THE SAME AS THE APPROVED TENTATIVE MAP AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND ALL APPLICABLE CITY ORDINANCES HAVE BEEN COMPLIED WITH. ADDITIONALLY, I ACCEPT ON BEHALF OF THE PUBLIC THE PUBLIC EASEMENTS SHOWN HEREON OFFERED FOR DEDICATION, AND THAT I AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT.

ROBERT T. ROBINSON
FOR THE DIRECTOR OF PUBLIC WORKS
CITY OF SACRAMENTO

DATED: _____ 2002

CITY CLERK'S STATEMENT:

I HEREBY STATE THAT THE CITY COUNCIL OF CITY SACRAMENTO HAS APPROVED THIS FINAL MAP ENTITLED "RYLAND GARDENS NORTHBOROUGH II- LOT G" AND HAS ACCEPTED ON BEHALF OF THE PUBLIC, ALL THE RIGHT OF WAYS AND EASEMENTS HEREON OFFERED FOR DEDICATION.

DATED: _____ 2002
CITY CLERK
CITY OF SACRAMENTO

RECORDER'S STATEMENT:

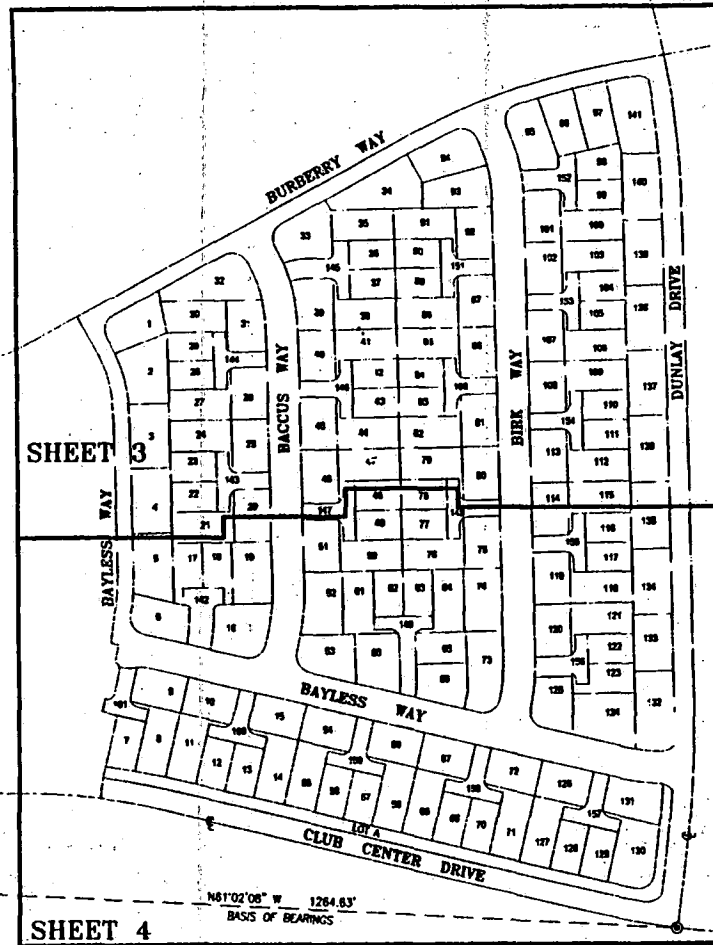
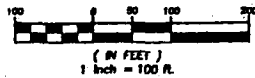
FILED THIS _____ DAY OF _____ 20___, AT _____ M IN BOOK _____ MAPS, AT PAGE _____ AT THE REQUEST OF _____ TITLE TO THE LAND INCLUDED IN THIS SUBDIVISION BEING VESTED AS PER CERTIFICATE NO. _____ ON FILE IN THIS OFFICE.

SIGNED: _____ BY: _____
COUNTY RECORDER DEPUTY

**FINAL MAP OF
RYLAND GARDENS
NORTHBOROUGH II-LOT 6**
SUBDIVISION NO. P00-010

BEING ALL OF PARCEL 14 OF THE
MASTER PARCEL MAP OF NORTHBOROUGH II,
BOOK 162 P.M. 8
CITY OF SACRAMENTO STATE OF CALIFORNIA
JUNE, 2002

Stantec Consulting Inc.
SHEET 2 OF 4



FD. PK. NAIL
PER 256 B.M. 7

NORTHBOROUGH DRIVE

N61°02'08" W 1284.83'
BASIS OF BEARINGS

LEGEND:

DIMENSION POINT	○
SET 1-1/2" LONG x 1/4" DIA. PK NAIL	⊙
FOUND PK NAIL AS NOTED	⊙
PUBLIC UTILITY EASEMENT	P.U.E.
RADIAL LINE	(R)
RECORD REFERENCE 162 B.M. 8	(R1)
RECORD REFERENCE 256 B.M. 7	(R2)
SET WELL MONUMENT PER CITY STDS.	⊙
SET 5/8" REBAR TAGGED L.S. 7802	⊙

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL WITH 152 P.M. 15 AS DETERMINED BY FOUND MONUMENTS SHOWN THEREON.
1) A FOUND PK NAIL MARKING THE NORTHWEST CORNER OF PARCEL 2, 152 P.M. 15, ALSO BEING THE CENTERLINE INTERSECTION OF NORTHBOROUGH DRIVE AND CLUB CENTER DRIVE, PER 256 B.M. 7.
2) A FOUND PK NAIL MARKING THE CENTERLINE INTERSECTION OF CLUB CENTER DRIVE AND DUNLAY DRIVE.
BEING NORTH 81°02'08" WEST BETWEEN SAID MONUMENTS.
SEE THIS SHEET FOR DETAIL.

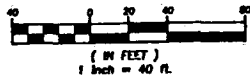
NOTE:

1. THIS SUBDIVISION CONTAINS 15.597 ACRES, GROSS.
2. ALL CURVE DIMENSIONS SHOWN ARE ARC LENGTH AND DELTA, ALL DISTANCES SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF.
3. THE SUM OF THE PARTS OF A LINE OR CURVE MAY NOT BE EQUAL TO THE WHOLE LENGTH DUE TO ROUNDING OF DISTANCES.
4. ALL REAR LOT CORNERS WILL BE SET WITH A 5/8" REBAR AND TAGGED L.S. 7802 AND ALL FRONT CORNERS SHALL BE REFERENCED BY A SCRIBE MARK AT THE BACK OF SIDEWALK AT THE INTERSECTION OF THE PROJECTION OF EACH LOT LINE.
5. LOT 1A IS BEING DEEDED TO THE CITY IN FEE TITLE FOR LANDSCAPING PURPOSES.
6. THE IRREVOCABLE OFFER OF DEDICATION (I.O.D.) PER 162 P.M. 8, NOT SHOWN HEREON IS ABANDONED PURSUANT TO SECTION 86499.20 1/2 OF THE GOVERNMENT CODE.
7. THE PUBLIC UTILITY EASEMENT (P.U.E.) PER 162 P.M. 8, NOT SHOWN HEREON IS ABANDONED PURSUANT TO SECTION 86499.20 1/2 OF THE GOVERNMENT CODE.
8. ALL LOTS BEING CREATED BY THIS MAP INCLUDE FEE TITLE TO THE CENTERLINE OF THE DRIVE, WAY AND CIRCLES AS SHOWN.
9. LOTS 142-161 TO BE DEEDED TO THE HOMEOWNERS ASSOCIATION.
10. PK NAIL TO BE SET BY OCTOBER, 2002 PER 291 B.M. 9
11. FOUND MONUMENT WELL AT DUNLAY DRIVE AND BURBERRY WAY PER 291 B.M. 9 NOT IN PLACE

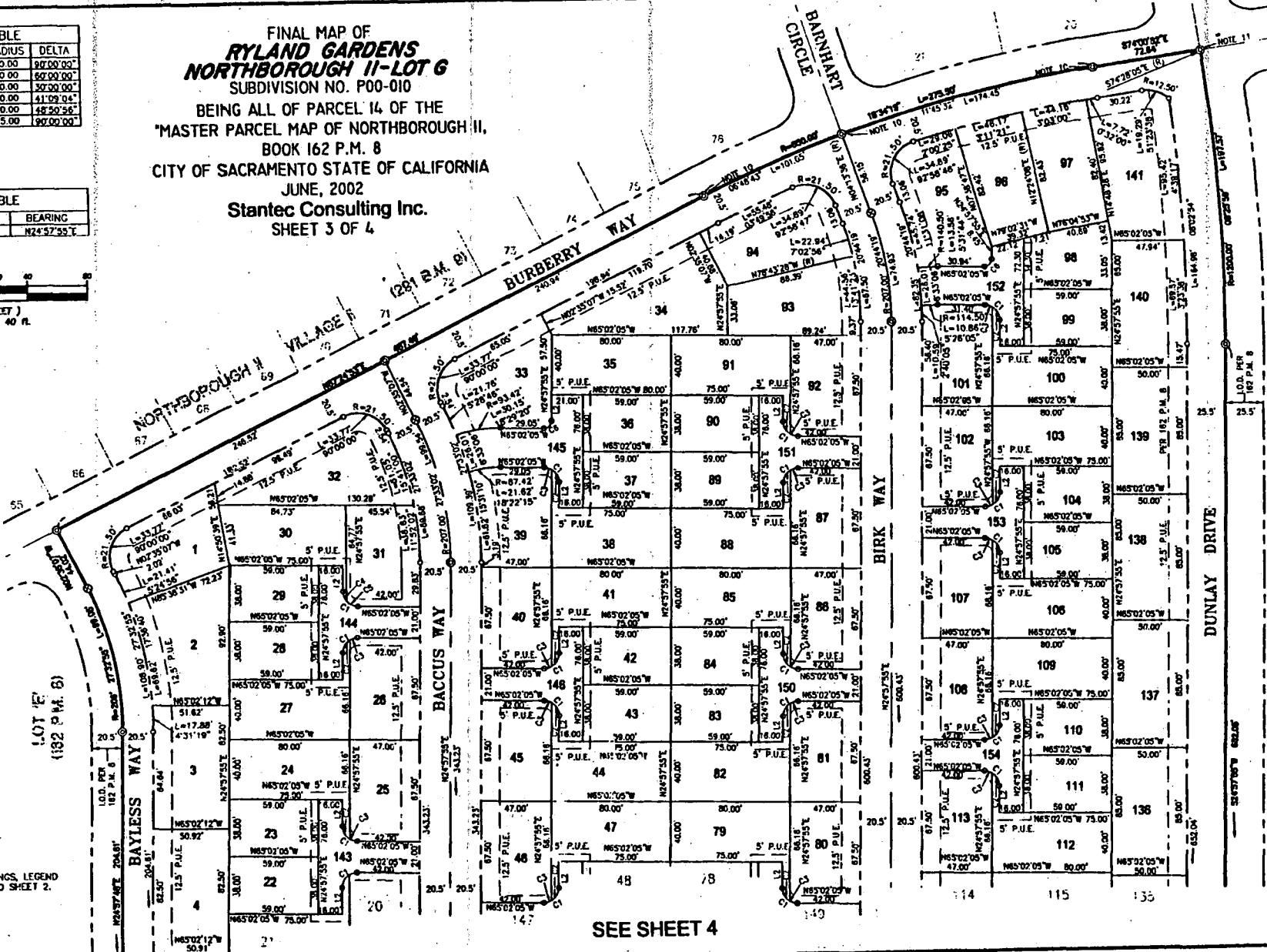
EXHIBIT "A-3"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	15.71'	10.00'	90°00'00"
C2	10.47'	10.00'	90°00'00"
C3	5.24'	10.00'	90°00'00"
C4	7.18'	10.00'	41°09'04"
C5	8.53'	10.00'	48°50'56"
C6	7.85'	5.00'	90°00'00"

LINE TABLE		
LINE	LENGTH	BEARING
L2	17.50'	N24°57'55"E



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 SHEET 3 OF 4

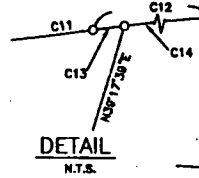
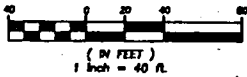


NOTE:
FOR BASIS OF BEARINGS, LEGEND
AND NOTES REFER TO SHEET 2.

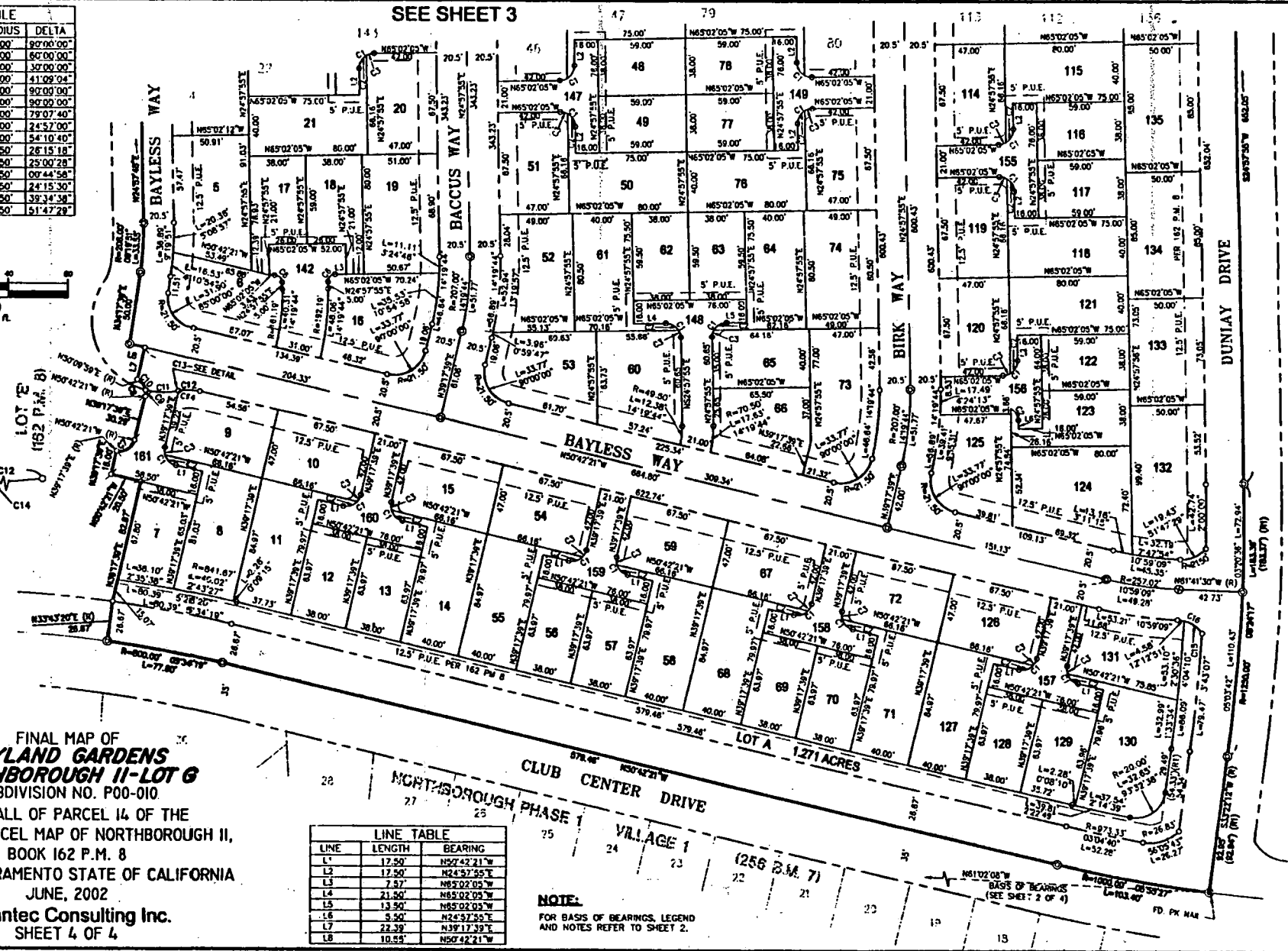
SEE SHEET 4

EXHIBIT "A-4"

CURVE	LENGTH	RADIUS	DELTA
C1	19.71'	10.00'	80°00'00"
C2	10.47'	13.00'	86°00'00"
C3	5.24'	10.00'	36°00'00"
C4	7.18'	10.00'	41°08'04"
C6	7.85'	5.00'	90°00'00"
C7	15.71'	10.00'	90°00'00"
C8	13.81'	10.00'	79°07'40"
C9	4.35'	10.00'	24°57'00"
C10	9.46'	10.00'	54°10'40"
C11	22.22'	48.50'	28°15'18"
C12	13.75'	31.50'	30°00'28"
C13	0.41'	31.50'	00°44'58"
C14	13.34'	31.50'	24°15'30"
C15	14.85'	21.50'	39°34'58"
C16	19.43'	21.50'	51°47'29"



SEE SHEET 3



**FINAL MAP OF
RYLAND GARDENS
NORTHBOROUGH II-LOT 6
SUBDIVISION NO. P00-010**

BEING ALL OF PARCEL 14 OF THE
MASTER PARCEL MAP OF NORTHBOROUGH II,
BOOK 162 P.M. 8
CITY OF SACRAMENTO STATE OF CALIFORNIA
JUNE, 2002

Stantec Consulting Inc.
SHEET 4 OF 4

LINE	LENGTH	BEARING
L1	17.50'	N50°42'21"W
L2	17.50'	N24°37'55"E
L3	7.57'	N85°02'05"W
L4	21.50'	N85°02'05"W
L5	13.50'	N85°02'05"W
L6	9.50'	N24°37'55"E
L7	22.39'	N39°17'39"E
L8	10.59'	N50°42'21"W

NOTE:
FOR BASIS OF BEARINGS, LEGEND
AND NOTES REFER TO SHEET 2.

EXHIBIT "A-5"

APPROVED

JUL 18 2002

OFFICE OF THE
CITY CLERK

RESOLUTION NO. 2002-461

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

**APPROVING FINAL MAP AND SUBDIVISION IMPROVEMENT
AGREEMENT ENTITLED "RYLAND GARDENS -
NORTHBOROUGH II LOT G" (P00-010)**

**WHEREAS, THE CITY COUNCIL OF THE CITY OF SACRAMENTO FINDS AND
DETERMINES AS FOLLOWS:**

- A. The Final Map for Ryland Gardens - Northborough II Lot G, located in North Natomas - north of Club Center Drive and east of Northborough Drive, with provisions for its design and improvement, is consistent with the North Natomas Community Plan.
- B. The Final Map is in substantial compliance with the previously approved Tentative Map.

**NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF
SACRAMENTO AS FOLLOWS:**

- 1. The Final Map for this subdivision is hereby approved subject to the execution by all parties of its Subdivision Improvement Agreement.
- 2. All dedications shown on said map are hereby accepted subject to the improvement thereof required by the Subdivision Improvement Agreement.
- 3. The City Manager and City Clerk are authorized and directed to execute on behalf of the City of Sacramento that certain Subdivision Improvement Agreement between the City and Ryland Homes of California, Inc., a Delaware Corporation to provide for the subdivision improvements required by the Subdivision Map Act, Title 16 (Subdivision Regulations) of the Sacramento City Code, and the adopted conditions of the approved Tentative Map.

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

4. The City Clerk is authorized and directed to record the above-mentioned agreement in the official records of Sacramento County.

MAYOR

ATTEST:

CITY CLERK

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____