

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0008403**  
**Insp Area: 1**

**Site Address: 1515 K ST SAC**  
Parcel No: 006-0121-013 1ST FLOOR - 17,500 SQ FT

Sub-Type: REM  
Housing (Y/N): N

**CONTRACTOR**  
MARKET ONE BUILDERS INC  
1419 N MARKET BL #1  
SACRAMENTO CA 95834

**OWNER**  
W97WLA REALESTATE LTD PTNSP  
101 LINCOLN CTR DR  
FOSTER CITY CA 94404

**ARCHITECT**

**Nature of Work: REMODEL 1ST FLOOR OF EXISTING 6 STORY BUILDING FOR NEW TELECOMMUNICATIONS SWITCHING CENTER - INCLUDING EXTERIOR WORK**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 737694 Date 10/10/00 Contractor Signature Alex Strick

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above-mentioned property for inspection purposes.

Date 10/10/00 Applicant/Agent Signature Alex Strick

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:  
I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number 692-99 0002229

RECEIVED - PLANNING AND DESIGN SERVICES DIVISION  
DATE 10/01/2000

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 10/10/00 Applicant Signature Alex Strick

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

CITY OF SACRAMENTO

**CERTIFICATE OF OCCUPANCY**

For Information Contact (916) 264-5716

Building Address: 1515 K ST Permit No. 0008403

Building Use: OFFICE Occupancy: B

Building Owner: W97WLA REALEST. LTD PTNSP Construction Type: II-FR

Owner Address: 101 LINCOLN CTR DR FOSTER CITY, CA Sprinkled?  Yes  No

Portion of Building Occupied: 1<sup>ST</sup> FL DBA: INFLOW Area: \_\_\_\_\_ Sq. Ft.

3/20/01 Willie Harris DENNIS RICHARDSON  
Date By:Print Sign CITY BUILDING OFFICIAL

[ Finaled By: DP,JM,JZB,GRS,CP]

*This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the City Building Official. No changes shall be made in the character of occupancy or use without approval of the City Building Official.*

**POST IN A CONSPICUOUS PLACE**

CITY OF SACRAMENTO  
PERMIT ASSISTANCE

JUL 4 9 2000

**MARKETONE BUILDERS, INC.**

APPLICATION FOR COMMERCIAL BUILDING PERMIT IN THE CITY OF SACRAMENTO

**RECEIVED**

DEVELOPMENT SERVICES SECTION

1231 I Street, Rm. 200  
Sacramento, CA 95814 (916) 264-7619 FAX (916) 264-7046

ACTIVITY # 0008403 Insp. Area. 1 C

**Applicant MUST complete all unshaded area**

ADDRESS 1515 K Street, 1st Floor  
PARCEL # 000 0121 012

<b>CONTACT</b>		<b>LICENSED CONTRACTOR Lic No. #737694</b>	
Name	Minh Ly	Name	MarketOne Builders, Inc.
Address		Address	1419 N. Market Blvd. Suite 1
Phone	916-928-4692	Phone	916-928-7474
	Fax 916-928-7475	Fax	916-928-7475
E-mail	<u>mly@m1b.com</u>	E-mail	
<b>ARCHITECT/ENGINEER</b>		<b>OWNER <u>W9 + WLA</u></b>	
Name	Burkett Design, Inc.	Name	Legacy Partners <i>Real Estate Limited Partnership</i>
Address	950 17th Street #900 Denver, CO 80202	Address	<del>1515 K Street</del> <i>101 LINCOLN CTR DR. FOSTER CITY 94024</i>
Phone	303-595-4500	Phone	<del>916-443-8569</del>
	Fax 303-595-4505	Fax	<del>916-443-2018</del>
E-mail	<u>cathy.phillips@burkettdesign.com</u>	E-mail	<u>istailey@legacyptr.com</u>

Will permittee have any employees on the jobsite?  No  Yes

INSURANCE COMPANY: State Fund

WORKER'S COMPENSATION POLICY# 692-99 Unit 0002229 EXPIRATION DATE: 10-01-00

NATURE OF WORK IN DETAIL: Tenant Improvements

*communication equipment*

OCCUPANT/TENANT Business/Office INFLCW VALUATION \$ 1,500,000

FLOOD TATUS:			S.C.A.T.						
JOB DESCRIPTION			BLDG SHELL APT TI ( ) REM <input checked="" type="checkbox"/>				SW FIRE ADD OTH		
INSPECTION DISCIPLINES			BLDG	MECH	PLUMB	ELEC		SITE	FIRE
# Stories	1st fir Area	Total Area	Use Zone	Occp Group	Const. Type	Fire Req <input checked="" type="checkbox"/> N		Fed Code	Vio. File
<u>4</u>	<u>11500</u>			<u>B</u>	<u>VN</u>	<u>SPR</u>	<u>ALARM</u>	<u>15</u>	<u>H</u> <u>Quad</u>
<u>B</u>	<u>L</u>	<u>P</u>	<u>M</u>	<u>E</u>	<u>F</u>	<u>S</u>		<u>D</u>	<u>PW</u> <u>UTIL</u>

COMMENTS:

REGIONAL SANITATION FEES?  No  Yes HEALTH DEPARTMENT?  No  Yes

WATER FLOW TEST FOR NEW BUILDING OR ADDITIONS?  Provided  Faxed

Date of Request: \_\_\_\_\_

By: \_\_\_\_\_

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION  
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 1515 K St

Assessor's Parcel Number: 006-0121-013

Previous Use: Office building

Description of Request/Proposed Use: Convert all or a portion of this building's floor space to telecommunications switching station.

Is This a Change of Use? yes

Zoning Designation: C-3

Prior Applications for Project Site(P#, Z#, DRPB#): DR00-144, DR 98-163

Comments: A Planning Director's Special Permit is required for new or expansion of existing telecommunication switching stations occupying 25% or more net area of a building. A Planning Ordinance may also be required for elimination of parking spaces.

Are There Any Planning Issues?: (circle one) YES NO

\* Staff Site Plan Check Required? (Circle one) YES NO

\* Field Inspection Required? (Circle one) YES NO

\* Design Review/Preservation Required?: (Circle one) YES NO

Planning Review by/Date: Monica May Oct 9, 2000

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

Note for Planning: 16th Street is a storefront setback (regarding MICROFILM AFTER FINAL setbacks); This site is not along the 75% or 50% ground floor retail frontage requirement area.



1 Copy for each supervisor inspector Insp. Area 10

AUTHORIZATION TO START WORK

CITY OF SACRAMENTO, BUILDING INSPECTIONS DIVISION  
1231 I ST., ROOM 200, SACRAMENTO, CA 95814

Company: Market One Builders PC # 0008403  
Address: 1417 N-Market Blvd. #1 BID App. Mjt  
Job Phone: 928-7424 Office Ph. \_\_\_\_\_ Fee 350  
SUBJECT: Project Address: 1515 K St Suite # \_\_\_\_\_

I request permission to start the following work Interior Demo, New Structural  
T-Rat, etc / Rough installation of Framing, Plumbing, Electrical  
Mechanical only. Do NOT cover up walls  
(NO Heat Rock)

I realize that all work will be at the owner's and contractor's risk without assurance that the permit for the project will be granted. Any code conflicts will be corrected. I agree not to cover or conceal any work or portion thereof. I realize that inspections will not be made on this project until a building permit is issued. All changes required ~~to comply with the approved plans~~ must be completed without dispute. Work affecting the structural integrity of the building shall not be permitted to make any changes or alterations from the approved plans without written permission from the Building Inspection Division.

It shall be determined subsequently that any changes in the design of the building are necessary and the contractor shall not be held responsible and all risk of loss which may result from such changes shall conform to the approved plans as amended without regard to the stage of completion.

This authorization is valid for 30 days while the plans are being processed for permit. These state required declarations must be properly executed before this authorization is valid. This authorization is valid when initialed by authorized Building Department personnel and stamped approved. Keep posted on job site at all times.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ.C.)

Lender's Name \_\_\_\_\_

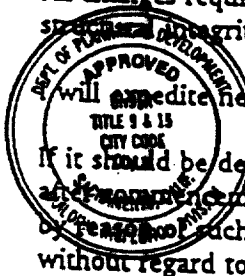
Lender's Address \_\_\_\_\_ Sacramento Building Division

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of the Business and Professions Code and my license is in full force and effect.

Lic. Class: B Lic. Number: 737694 COMPANY NAME: MARKET ONE BUILDERS, INC.  
Alex Strick SIGNATURE DATE: 8/31/00

Ron Yasin



PAID CITY OF SACRAMENTO AUG 31 2000 NEIGHBORHOODS, PLANNING AND DEVELOPMENT DEPARTMENT

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Section 703.1, Business and Professions Code: Any city or county which requires a permit to construct, alter, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvement are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

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I am exempt under Sec. \_\_\_\_\_ B & P Code for this reason \_\_\_\_\_

SIGNATURE

DATE

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I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: STATE FUND INS. exp. 10-00

Policy No.: 692-99-0002229

I certify under penalty of perjury that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Alex Strick  
SIGNATURE

8/31/00  
DATE

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In issuing this permit, the applicant represents, and the City relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or the accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read, understand and agree to the above conditions. I certify under penalty of perjury that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.

Alex Strick  
SIGNATURE OF APPLICANT OR AGENT

8/31/00  
DATE

1515 K St  
0008403

STRUCTURAL CALCULATIONS  
FOR  
24" RAISED ACCESS FLOOR

1c

\*\*\*\*\*

PROJECT

ISSUED

INFLOW

1515 "K" STREET

DEPT OF SACRAMENTO  
DEVELOPMENT SERVICES

SACRAMENTO, CA

\*\*\*\*\*

CLIENT

PUGLIESE INTERIOR SYSTEMS, INC.

ONE BENDIX

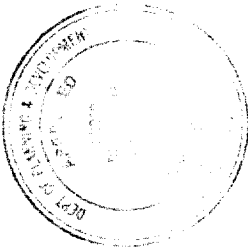
IRVINE, CA 92618

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00-096-33



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Department. If you find a violation of any City Ordinance, please call 311.



*John Tang*

JOHN H. HAIGH & ASSOCIATES, INC.

*Structural Engineers*

479 S. Marengo Ave., Suite A / Pasadena. CA 91101  
Phone (626) 395-7451 Fax: (626) 395-7454



## SEISMIC ANALYSIS

### Tate Access Floors, Inc.

TATE ACCESS FLOORS, INC.  
7510 Montevideo Road  
Jessup, MD 20794  
Tel: 410-799-4200  
Fax: 410-999-4207  
www.tateaccessfloors.com

SEISMIC ENVIRONMENT: Zone 3  
PROJECT: Inflow - Sacramento, CA  
FINISHED FLOOR HEIGHT: 24"

The lateral force due to seismic loads is determined by using the guidelines set forth in the 1997 Uniform Building Code (UBC) Section 1632.2, Equation 32-1.

Equation 32-1:  $F_p = ((a_p C_s I_p) / R_p) (1 + 3 \cdot h_x / h_r) W_p$ , except that:

$F_p$  shall not be less than  $0.7 C_s I_p W_p$ , and need not be more than  $4.0 C_s I_p W_p$

$F_p$  = Lateral forces on a part of the structure and in the direction under consideration.

$a_p$  = Component Amplification Factor:  $a_p = 1$ . Given for access floors [Table 16-O].

$C_s$  = Seismic Coefficient for zone 3, which depends upon Soil Profile Type [Table 16-Q].

**Project Requirement:  $C_s = 0.36$**  [coefficient for Soil Type  $S_D$  in zone 3].

$I_p$  = Occupancy Category [Table 16-K].

**Project Requirement:  $I_p = 1.0$**

$R_p$  = Horizontal force Factor:

$R_p = 1.0$  for floors where pedestal anchorage is constructed by use of adhesive.

$R_p = 3.0$  for floors where pedestal anchorage is constructed by use of expansion bolts.  
[Section 1632.2]

**Project Requirement:  $R_p = 1.0$**

$h_x/h_r$  represents the position of access floor within the building in relation to overall building height, where:

$h_x$  represents the component attachment elevation with respect to grade

$h_r$  represents the structure roof elevation with respect to grade

**Project Requirement: Ground floor, therefore,  $h_x/h_r = 0$**

$W_p$  = (Live load X 25%) + (dead load) + (partition load)

Live load = The load superimposed by the use or occupancy of the building not including wind, earthquake or dead load. [Table 16-A]

ISSUED

ENVIRONMENTAL SERVICES



Live loads:                      Computer Rooms:      100 lb./sq.ft.  
    General Office:      50 lb./sq.ft.  
    **Project Requires:**      100 lb./sq.ft.

**Dead load** = The vertical load due to the weight of all permanent structural and non-structural components of a building such as walls, floors, roofs, and fixed service equipment.

Dead Loads:                      Access Floors:              10 lb./sq.ft.  
    Partitions:                      10 lb./sq.ft.

SSUED

Substituting the project requirement values into equation 32-1:

$$F_p = (a_p C_s I_p / R_p) (1 + 3 h_v / h_r) W_p$$

$$F_p = [1.0 (0.36) 1.0] / 1.0 [1 + (3 \cdot 0.0)] [(100 \times 25\%) + 10 \text{ lb./sq.ft.} + 10 \text{ lb./sq.ft.}]$$

$$F_p = 16.2 \text{ psf}$$

In addition, the minimum value for  $F_p$  shall be  $0.7 C_s I_p W_p$ , and the maximum shall be  $4.0 C_s I_p W_p$ .

$$\text{Minimum: } F_p = 0.7(0.36)(1.0)(45) = 11.34 \text{ psf}$$

$$\text{Maximum: } F_p = 4.0(0.36)(1.0)(45) = 64.8 \text{ psf}$$

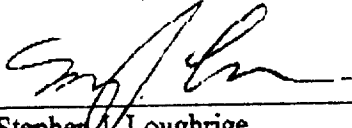
The lateral force at the top of one pedestal is:  $16.2 \text{ psf} \cdot 6 \text{ sq.ft.} = 97.2 \text{ lb.}$  (6 sq.ft. is tributary area due to basket-weave grid pattern)

With a 24" pedestal attached to the sub-floor and mechanically fixed at the top to a four-foot basket-weave stringer grid, the effective moment arm height is 12" (1/2 of the actual finished floor height).

If 97.2 lb. of force is applied to the top of a 12" moment arm, an overturning moment of 1166.4 in.-lb. is created.       $(97.2 \text{ lb.}) (12 \text{ in.}) = 1166.4 \text{ in.-lb.}$

The understructure system proposed for this project is Tate's four-foot bolted stringer system, constructed in a basket weave grid pattern, for ConCore 1250 panels. The following test report verifies that Tate's Type 3A pedestal design, when attached to the sub-floor with Seal Bond 95 pedestal adhesive, will meet the overturning moment requirements of Seismic Zone 3 force for a 24 inch finished floor height with a minimum safety factor of 2.23.  
 $(2610 \text{ in.-lb.}) / (1166.4 \text{ in.-lb.}) = 2.23.$

Compiled by:

  
 Stephen A. Loughrige  
 Sales Support Engineer  
 October 5, 2000



CHEMISTS / ENGINEERS / INSPECTORS

ES-111  
11  
PENNIMAN & BROWNE, INC.  
DEVELOPMENT GROUP

6252 FALLS ROAD / P.O. BOX 65309 / BALTIMORE, MD 21209-0309 / PHONE 410-825-4131 / FAX 410-321-7384 / E-mail pandb@bellatlantic.net

## OVERTURNING MOMENT TEST

Date: May 5, 2000  
Base assembly type: Type 3A Steel, 5"x5"x .156" Base plate, Resistance welded  
Adhesive type: Seal Bond 95  
Sealer: No sealer  
P&B Lab Number: 40-0281


The following test was performed in accordance with the "Recommended Test Procedures for Access Floors: Section 6 Pedestal Overturning Moment Test" as published by the CISCA organization and as described herein:

Five Tate base assemblies were secured to an unsealed concrete surface with a 1 part Seal Bond 95 pedestal adhesive. They were cured for 7 days in ambient air.

A horizontal load was applied by a calibrated force gauge against a moment arm above the concrete surface of 12 in. to the top of the stud just below the pedestal head. The failure for the first and second was due to the bond between the adhesive and the concrete. The failure for the third fourth and fifth was due to the tube weld breaking. In all cases there was no bond failure between the adhesive and the steel plate. The results are noted below:

1. Horizontal Load 190.6 lbs. x Moment Arm 12 in = 2287 in. lbs.
2. Horizontal Load 233.2 lbs. x Moment Arm 12 in = 2798 in. lbs.
3. Horizontal Load 224.8 lbs. x Moment Arm 12 in = 2698 in. lbs.
4. Horizontal Load 233.6 lbs. x Moment Arm 12 in. = 2803 in. lbs.
5. Horizontal Load 205.2 lbs. x Moment Arm 12 in. = 2462 in. lbs.

Average = 2610 in. lbs.

  
Thomas C. Simon, P.E., 5/5/00  
Penniman & Browne, Inc

