

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT HMR Architects, 2321 P Street, Sacramento, CA 95816
OWNER Capitol City Foods, 930 Florin Road, Ste. 200, Sacramento, CA 95831
PLANS BY HMR Architects, 2321 P Street, Sacramento, CA 95816
FILING DATE 12/18/86 ENVIR. DET. _____ REPORT BY DJH/kr
ASSESSOR'S-PCL. NO. 027-0081-11, 12, 13, 37, 38

APPLICATION: A. Special Permit to construct a 129 seat fast food restaurant with drive-through window on 0.87 vacant acres in the General Commercial (C-2) Zone.

B. Lot Line Adjustment to merge five vacant lots into one lot of 0.87 acres.

LOCATION: Southwest Corner of Fruitridge and Power Inn Roads.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a Burger-King drive-through restaurant and merge five parcels into one parcel.

PROJECT INFORMATION:

1974 General Plan Designation: Commercial

1986 South Sacramento Community

Plan Designation: Commercial

Existing Zoning of Site: C-2

Existing Land Use of Site: Vacant

Surrounding Land Use and zoning:

Setbacks: Required Provided

North: Commercial Restaurant, Bank; C-2

Front: 0' 112'

South: Vacant; R-1 & C-1

Side(Int): 0' 43'

East: Office & Commercial; M-2(s)

Side (St): 0' 65' to canopy

West: Vacant, Billboard; C-2

Rear: 10'(R-1) 18'

Zone

Parking Required: 43 spaces

Parking Provided: 56 spaces

Property Dimensions: 216' X 174'

Property Area: 0.87+ acres

Square Footage of Building: 3,472 sq. ft.

Height of Building: One story, 16'

Topography: Flat

Street Improvements: Existing

Utilities: Existing

Exterior Building Materials: Brick, tile, masonite

Roof Material: Concrete tile, metal panels, glass panels, & anodized frames

Hours of Operation: 7 a.m. to 11 p.m., 7 days per week

Employees: Per shift - 12, Total - 24

Seating Capacity: Indoor - 97 seats, Outdoor - 32 seats

APPLC. NO. P87-023

MEETING DATE January 22, 1987

ITEM NO. 19

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning:

The subject site consists of five vacant parcels, one of which was once formerly a gas station site which has been demolished. The site is zoned General Commercial (C-2) zone and requires a special permit to allow a drive-through window facility. The 1986 South Sacramento Community Plan designates the site for commercial uses. The proposed project is consistent with the general plan designation. Surrounding land uses include commercial uses to the north and east with vacant parcels to the south and west.

B. Proposed Project:

Restaurant with drive-through window. Proposed seating includes 97 indoor seats and 32 outdoor seats under a trellis. Hours of operation will be 7 a.m. to 11 p.m., 7 days per week. Total number of employees are proposed at 24 working in two, 18 hour shifts resulting in 12 employees per shift.

The building will be constructed of Standard Flashed Sorrel Blend Face brick, a dark reddish brown in color with a brownish red tile roof and dark anodized door and window frames. Metal panels and masonite siding are used to accent the elevations. Metal panels will be painted a dark brown. Woodtrim facing will be stained two brown colors. Attached building signs are proposed with roof mounted illumination. Total is 16 feet. The most recently constructed similarly designed Burger King in the City is the facility located in the Lake Crest Village Shopping Center at Greenhaven Drive and Florin Road.

The applicant is also requesting a 35 foot high pole sign to place a twelve by twelve foot sign at the corner of Fruitridge and Power Inn Roads. A SMUD high voltage distribution line runs down the west side of Power Inn Road. Telephone and cable lines run down Fruitridge Road on the south side. Any proposed pole sign would be required to avoid any lines utilized by a public utility. The site plan shows a 56 space parking lot with landscaping.

C. Site Plan:

1. Walls:

The site plan shows a six foot high wall along the south property line adjacent to the residentially zoned vacant parcel. The owner is presently negotiating the purchase of the acreage to the south of the site. The southern parcel has two zoning classifications, Single-Family and Limited Commercial (R-1 & C-1) Zones.

The zoning ordinance requires a wall where commercial uses abut residentially zoned property. Staff recommends that the wall be designed with a decorative material similar in color and texture to the exterior of the restaurant. The wall will reduce the landscape strip to four feet in width adjacent to the wall.

2. Trash Enclosure:

The applicants plans show a trash enclosure. Staff recommends that the trash enclosure comply with the attached trash enclosure guidelines, Exhibit C.

3. Parking Lot Layout:

- a. The site plan proposes a total of 56 parking spaces, 20 of which are compact spaces and two handicapped. The compact total maximum is 17 utilizing 30 percent of the provided 56 total spaces. Three spaces need to be expanded to regular size dimensions. Staff recommends that spaces 38 to 45 be extended to 16 feet in length with two feet of vehicle overhang since adequate backout vehicle parking of 26 feet remains to the landscaped tree well to the west. (Refer to Site Plan).
- b. The applicant's plans show a two by eight inch redwood header board as the landscape retainer along the west property line. Staff recommends a more permanent landscape retainer in the form of a six inch raised concrete curb. No fencing is proposed along the west property line. Staff recommends that shrubbery be placed in the landscape strip to provide a visual screen and boundary to the western property line and along the southern property line where the wall is not shown.
- c. City Ordinance requires 50 percent shading of all parking areas and driveways. Staff recommends that the revised final site plan show use of six inch continuous pour concrete curb and no prefabricated wheel stops.
- d. The revised site plan shall show adequate stall dimensions, maneuvering areas, and aisle widths for regular and compact car spaces.
- e. The revised plans should show bicycle parking as per the parking ordinance requirements.

D. SIGNAGE:

The applicant's plans show various attached and detached building identification and directional signs. Staff recommends the use of a monument type sign in lieu of the pole sign at the corner of Fruitridge and Power Inn Roads. The overall height of the sign should not exceed 12 feet as measured from the top of the adjacent sidewalk surface. The sign should be setback to observe visibility requirements and be downscaled from 12 by 12 feet to a more pedestrian scale compatible with the 12 foot height. A recommended dimension would be a sign no greater than six by six feet on a four foot wide monument base.

Staff recommends use of a monument sign based upon two observations.

1. A pole sign may conflict with overhead power and communications lines on the adjacent streets.
2. No pole signs are present on the other three corners of Fruitridge Road and Power Inn Road. The commercial center located on the northwest corner has no detached signage and includes a 10 by 15 foot wide landscape strip adjacent to Fruitridge and Power Inn Roads. The zoning of the northwest corner is C-2, the same as the subject site. The commercial and industrial/office uses located on the southeast corner are zoned M-2(s) and includes a 25 foot landscape setback with no detached signs. The northeast corner is vacant and contains no signage. Use of a monument sign would be more compatible with the overall appearance of the current developments at Fruitridge and Power Inn Roads.

Staff recommends review and approval of a overall signage program by staff prior to issuance of sign permits.

E. Landscaping Plan:

- 1). All exposed earth areas should be covered with living ground cover.
- 2). In order to prevent headlights from affecting drivers on either street frontage and since the landscape strip adjacent to the roadways is not deep enough to allow three to four foot high berming, staff recommends the use of intensive shrubbery adjacent to the vehicle parking area no higher than three to four feet in lieu of a berm of three to four feet in height. Groundcover under the shrubs shall be living in the setback area off the roads. Irrigation systems should allow a two foot vehicle overhang adjacent to the curb edge.
- 3). The parking lot will be required to meet the City Tree Shading Ordinance requirement of fifty percent coverage within 15 years of planting.
- 4). The landscape strip adjacent to the south property line wall will be only three feet in depth. An additional two feet is necessary in order to provide adequate area for tree wells. A total of four feet of landscape area is necessary.
- 5). Landscaping shall observe minimum visibility requirements for access from Fruitridge and Power Inn Roads.

F. Lighting:

Exterior parking lot lighting is proposed on poles. Staff recommends that all exterior parking lighting and building lighting be directed on-site and not reflect off-site onto residentially zoned or used lots. Use of light shields are recommended.

G. Lot Line Adjustment:

The applicant is requesting approval of a lot line merger to merge five lots into one 0.87 acre parcel. City Departments have reviewed the request and have no problem with the merger. Staff recommends approval of the lot line adjustment to merge five parcels which results in a larger more usable parcel for the restaurant.

H. Possible Underground Gasoline Storage Tanks:

A note on the lot line adjustment exhibit states underground gasoline storage tanks may still be in place. If such is the case, the applicant shall comply with applicable County Health Building and Fire Code requirements for the removal, disposal and back fill of the site prior to construction.

AGENCY COMMENTS: The proposed project was reviewed by the City Engineer, Traffic Engineer, Police, Real Estate Departments and Regional Transit with no adverse comments received.

ENVIRONMENTAL DETERMINATION: The proposal is exempt from environmental review pursuant to State EIR Guidelines (CEQA Sections 15305(a) and 15303(e)).

STAFF RECOMMENDATION: Staff recommends the following actions:

- A. Approval of the special permit subject to conditions and based upon Findings of Fact which follow; and
- B. Approval of the lot line merger by adopting the attached resolution.

Conditions - Special Permit

1. Revised landscaping, shading, and irrigation plans for the site shall be submitted for staff review and approval prior to issuance of building permits.
2. A six foot high decorative wall constructed of color and materials similar to the main structure shall be shown on a revised site plan adjacent to the residential zone.

3. All driveways shall be designed to City standards for commercial driveways. All improvements to the public right-of-way shall be reviewed and approved by the City Engineer's Office.
4. The trash enclosure shall be designed according to the attached trash enclosure guidelines (Exhibit C).
5. Parking lot shall comply with the fifty percent shading requirement.
6. No bark mulch is to be used on the site. Living ground cover is required under shrubbery on the revised landscape plans.
7. Landscaping shall be designed to comply with minimum visibility requirements for all driveways and intersections.
8. Parking lot stalls 38 to 45 shall be redesigned and extended to 16 feet in length with two feet of vehicle overhang on the revised site plan.
9. A six inch raised concrete curb shall be installed along adjacent property lines, West and South in place of a two by eight inch redwood header board and shown on the revised site plan.
10. The revised landscape plan shall show intensive shrubbery where parking stalls face into adjacent roadways so that headlights do not effect oncoming traffic. (Ordinance requirement)
11. The landscape strip adjacent to the south property line shall be increased to a total of for feet of landscaping to provide adequate area for tree wells adjacent to the six foot high wall.
12. Verification as to whether underground gasoline storage tanks require removal, shall be submitted to Building Inspection Division at time of Building Permit submittal.
13. Bicycle parking shall be provided as per the City Parking Ordinance.
14. A uniform signage program shall be submitted for review and approval by the staff prior to issuance of sign permits.
15. No pole sign shall be allowed. A monument sign not exceeding twelve feet in height is allowed. Sign area shall not exceed six by six feet on a four foot wide monument base.
16. All on-sight lighting shall be directed away from residential uses. Use of shields on lights in the parking lot shall be required where light poles are adjacent to the residential uses.

17. No prefabricated wheel stops shall be used on the site. All wheel stops shall be six inch high continuous pour concrete which incorporates a two foot vehicle overhang into the landscape area.
18. The one way only drive through shall be clearly marked so the public does not mistake the driveway for an entrance. The sign shall be approved by the Planning Director as part of the sign program.
19. The loudspeaker used by the drive-up window shall not be audible to adjacent residential windows.

Findings of Fact - Special Permit

1. The special permit, as conditioned, is based upon sound principles of land use, in that:
 - a. the project is compatible with surrounding land uses which consist of commercial, office and residential;
 - b. adequate off-street parking is provided;
 - c. the project is located on two major streets.
2. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of nuisance, in that:
 - a. adequate auto stacking distance is provided for the drive-up service window lane;
 - b. the required six foot high masonry wall will act as a noise buffer between the drive-up service window lane and adjacent residential uses to the southwest.
3. The proposed special permit, as conditioned, is consistent with the City's Discretionary Land Use Policy in that the site is designated for commercial uses in the 1986 South Sacramento City Community Plan and the proposed drive through restaurant conforms with the plan designation.

RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION

ON DATE OF

APPROVING A LOT LINE ADJUSTMENT TO MERGES LOTS LAND 2 AS

SHOWN ON THE "PLAT OF HOME GARDEN ACRES" RECORDED IN

BOOK 18 OF MAPS, MAP NO. 54, RECORDS OF SACRAMENTO COUNTY

(P87-023)

WHEREAS, the Planning Director has submitted to the Planning Commission a report and recommendation concerning the lot line adjustment for property located at the Southwest corner of Power Inn road and Fruitridge Road; and

WHEREAS, the lot line adjustment is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15305(a)); and

WHEREAS, the lot line adjustment is consistent with the 1974 General Plan and the 1986 South Sacramento Community Plan; the proposed project is found to be consistent with the City's Discretionary Interim Land Use Policy, in that the site is designated for commercial use by the 1986 South Sacramento Community Plan and the proposed restaurant use conforms with the Plan Designation;

NOW, THEREFORE, BE IT RESOLVED by the Planning commission of the City of Sacramento:

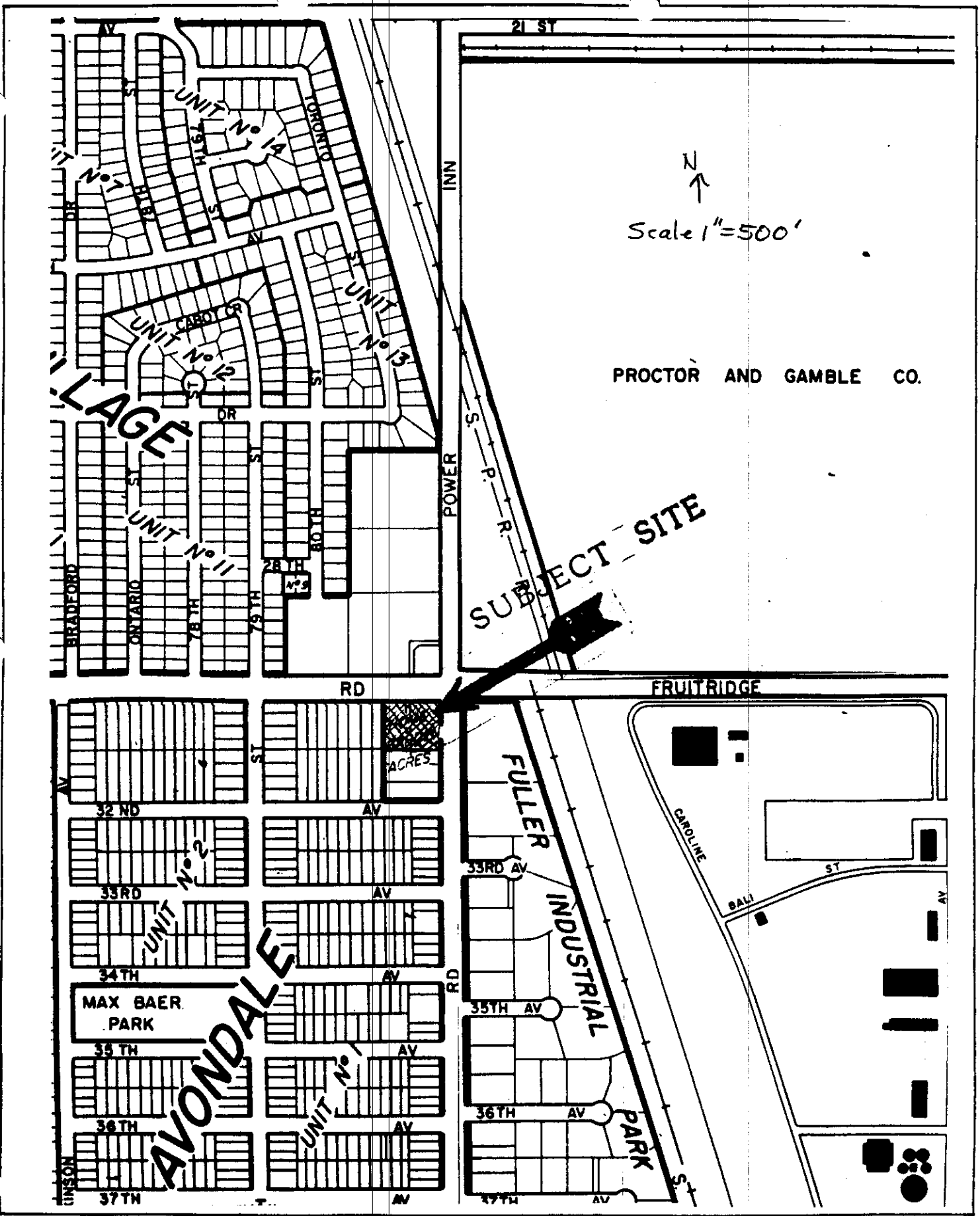
that the lot line adjustment for property located at the Southwest corner of Power Inn and Fruitridge Road, City of Sacramento, be approved as shown and described in Exhibits A and B attached hereto, subject to the following conditions:

1. Pay off existing assessments, if any.

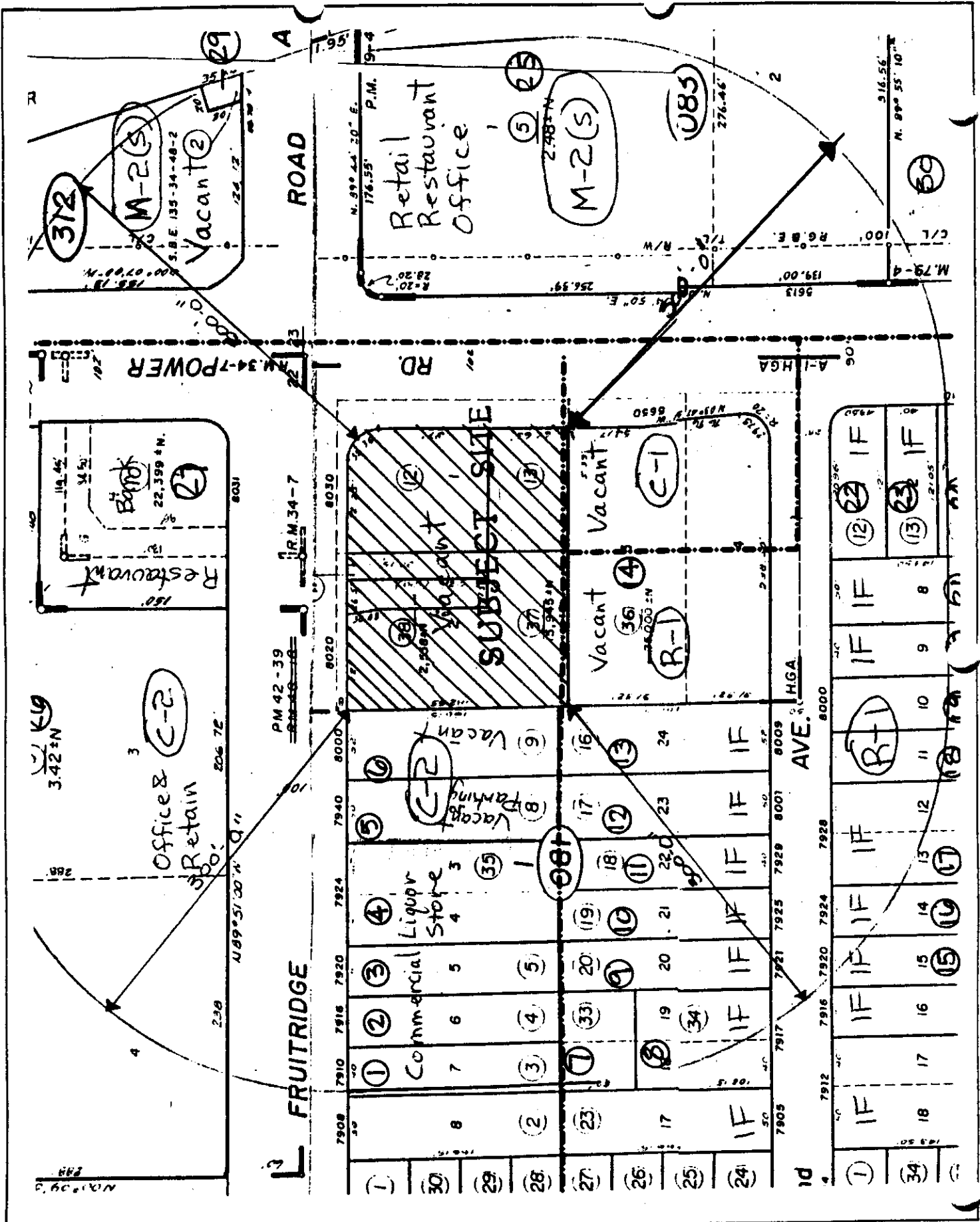
CHAIR

ATTEST:

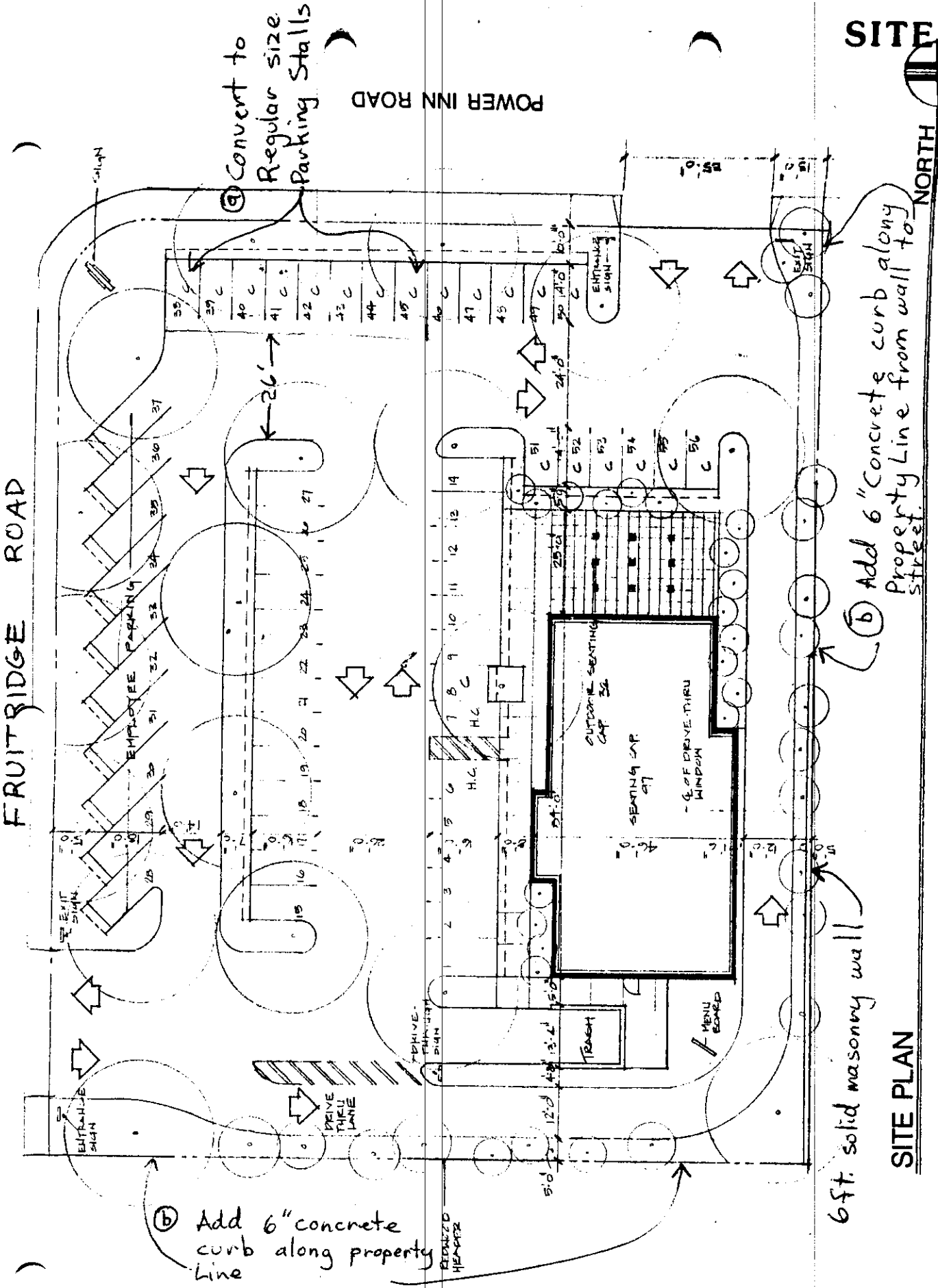
SECRETARY TO CITY PLANNING COMMISSION



VICINITY MAP



SITE PLAN



Convert to Regular size Parking Stalls

⑥ Add 6" concrete curb along Property Line from wall to street

⑥ Add 6" concrete curb along property line

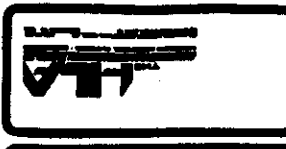
6ft. solid masonry wall

SITE PLAN

FRUITRIDGE ROAD

POWER INN ROAD

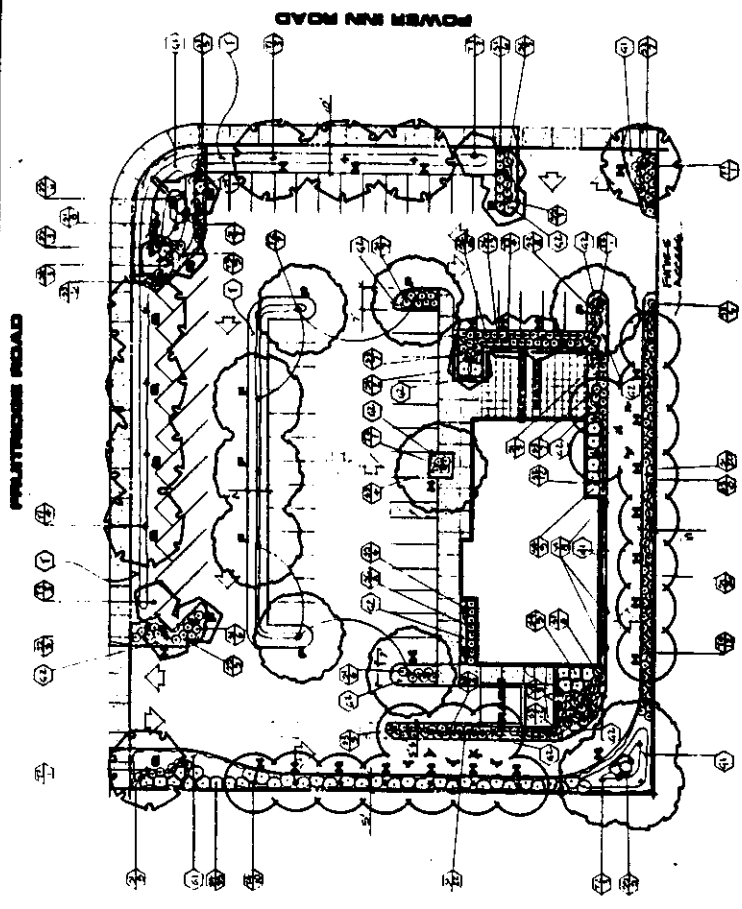
NORTH



George C. Powell, Inc. (C-1003)
 1701 N. Highway 90-10077

HR LANDSCAPE ARCHITECTS, INC.
 1701 N. Highway 90-10077

LANDSCAPE PLAN



PLANT LEGEND

DET.	IDENTIFICATION / COMMON NAME	SIZE	REMARKS
T1	PRUNUS CALLENTINA 'MORPHEUS' / ANANASOON PEAR	15 GC	STANDARD
T2	LIRIODENDRON TULIPIFERA / TULIP TREE	15 GC	STANDARD
T3	LACONOSTEMMA INDICA 'HEP' / CUMPE BUTTE	15 GC	STANDARD
T4	LACONOSTEMMA INDICA 'HEP' / CUMPE BUTTE	15 GC	STANDARD
SHRUBS			
S1	IMPATIENS BIRICA 'MILLETIA' / BIRICA IMPATIENS	1 GC	NATURAL
S2	PITHECANTHA UNDA 'WHEELER' / WHEELER UNDA	5 GC	NATURAL
S3	EUPHORBIA PECCINATA 'SEA GREEN' / ANGEL WISKEY	5 GC	NATURAL
S4	ESCALONIA 'FRANSIS' / FRANSIS ESCALONIA	5 GC	NATURAL
S5	DIETES VEGETABILIS / TIGHT LILY	1 GC	NATURAL
S6	HEBE 'PATSY'S' / PATSY'S HEBE	5 GC	NATURAL
GRASS			
G1	SAZALIA 'WHITE YELLOW' / MALLINE SAZALIA	PLATS	8' O.C.
G2	ANNUAL BY SEASON	PLATS	8' O.C.
VINE			
V1	PROPAGANDA WHITE-CARTON'S CLIM	5 GC	TRAIN TO TRELLIS

PLANTING NOTES

- 1) PLANT QUANTITIES ARE FOR INFORMATION ONLY. VERIFY FROM PLAN.
- 2) — IDENTIFY PLANT SPECIES.
- 3) — IDENTIFY PLANT SPECIES.
- 4) ALL TREES SHALL BE PROVED INSPECTION AND SPECIES.
- 5) VERIFY THE PLANTING OF ALL TREES AND SHRUBS IN PLANTING PITS FOR THE PLAN AND FIELD SHALL BE CORRECT.
- 6) — CALL TREES FROM BLUE SIDE OR APPROVED DRAWING.

SHADE ANALYSIS

IDENTIFICATION / COMMON NAME	SIZE	AMOUNT	DIRECTION
PRUNUS CALLENTINA 'MORPHEUS' 1'	60 304	1	1445
LIRIODENDRON TULIPIFERA	60 377	1	480
LACONOSTEMMA INDICA	67 262	1	675
LACONOSTEMMA INDICA	60 461	1	1445
LACONOSTEMMA INDICA	67 336	1	600
LACONOSTEMMA INDICA	60 357	1	675
LACONOSTEMMA INDICA	60 79	1	225
LACONOSTEMMA INDICA	60 357	1	225
			1800

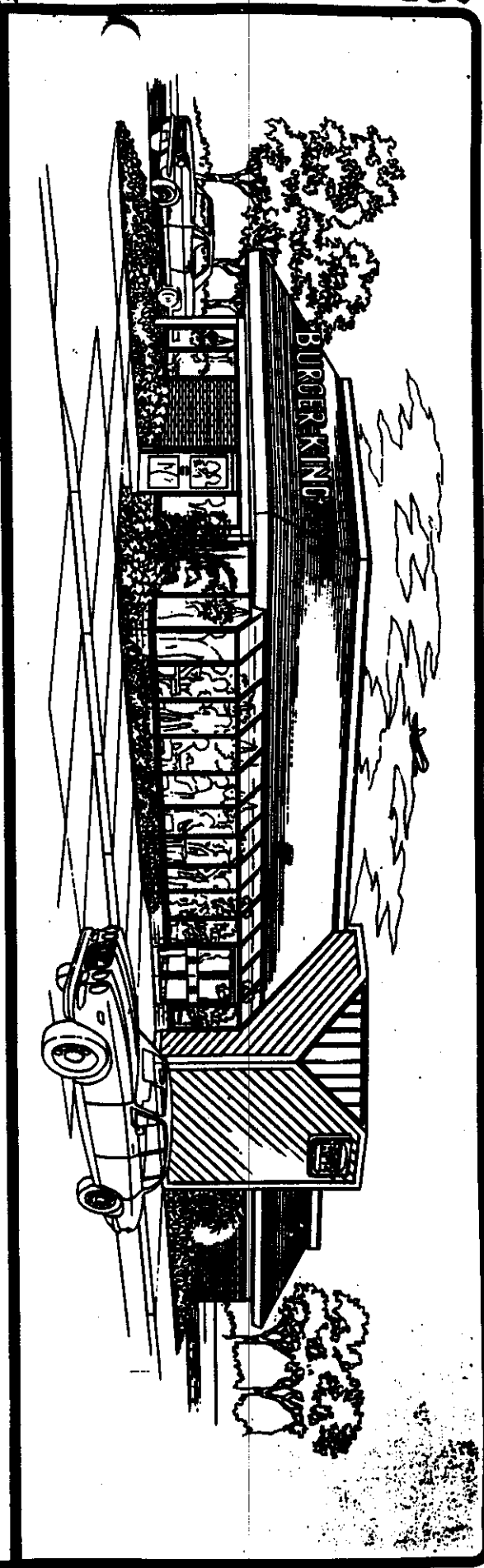
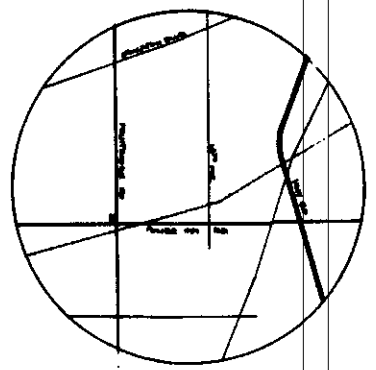
TOTAL PLANTING AREA	21,300 SQ. FT.
TOTAL SHADE BENEFITED AREA	31,300 SQ. FT.
TOTAL SHADE PROVIDED	14,300 SQ. FT.
PERCENTAGE IN SHADE	67%

PLANTING PLAN



1-22-87

Item 19



ELEVATIONS

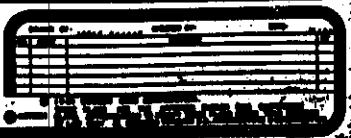
Mark D. Beckhaus
environmental design

944 17th Avenue
Bellaire, Tex., 77408
(713) 462-1276

RESTAURANT FOR:



BURGER KING CORPORATION



FLOOR PLAN

BURGER KING CORPORATION

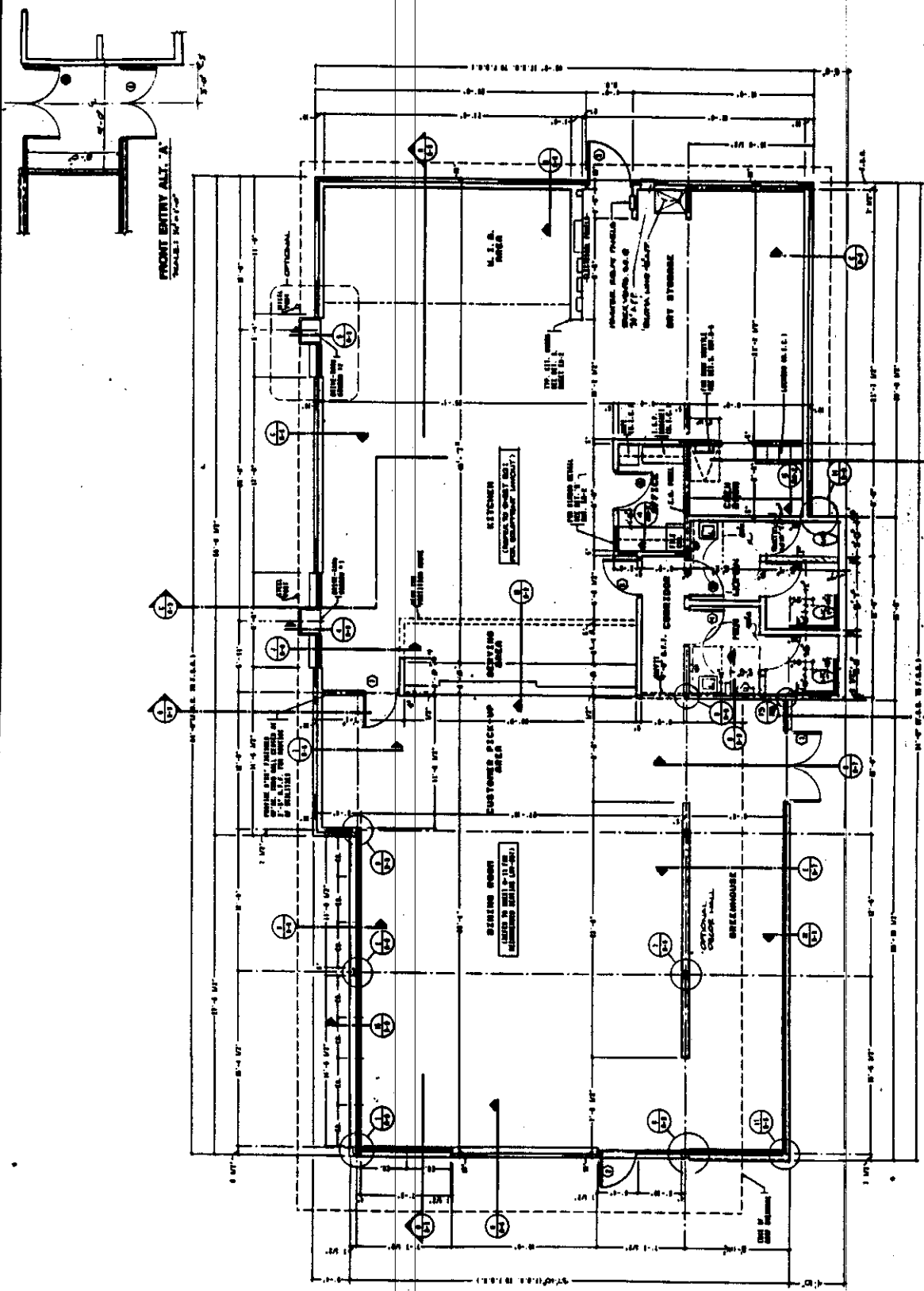
Mark D. Beckhaus
Environmental design
1778 Avenue
Ave. 100, Box 6000
6801 483-4870

RESTAURANT FOR:

- 1. APPROXIMATE WALL THICKNESS SHOWN AT CORNER OF THIS FLOOR PLAN.
- 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
- 3. DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- 4. PROVIDE SUFFICIENT CLEARANCE AT ALL CORNERS AND ENTRANCES TO ALLOW FOR PROPER FURNITURE PLACEMENT.
- 5. PROVIDE SUFFICIENT CLEARANCE AT ALL CORNERS AND ENTRANCES TO ALLOW FOR PROPER FURNITURE PLACEMENT.
- 6. PROVIDE SUFFICIENT CLEARANCE AT ALL CORNERS AND ENTRANCES TO ALLOW FOR PROPER FURNITURE PLACEMENT.

FLOOR PLAN

SCALE: 1/4" = 1'-0"



1-22-87

item 19

P-87-023

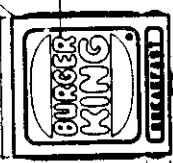
SIGNAGE

BURGER KING CORPORATION

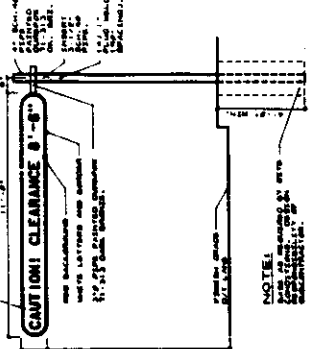
RESTAURANT FOR:

NOTES:

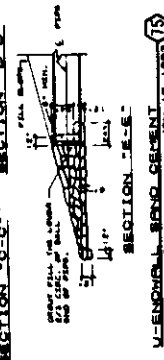
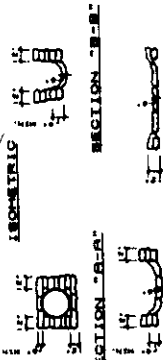
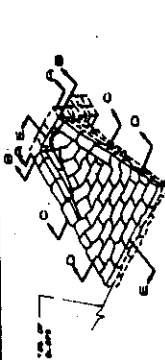
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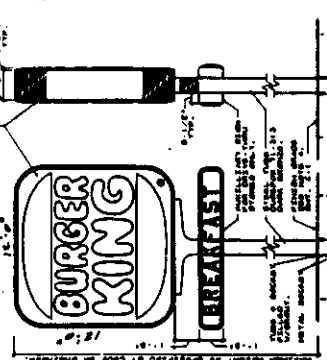
6 CURVE LOGO (4 SIDES) JAN. 18, 1983
NOT TO SCALE



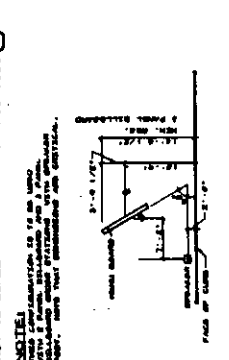
8 SURFACE SIGN (SIDE-WALK) JAN. 18, 1983
NOT TO SCALE



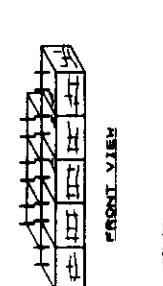
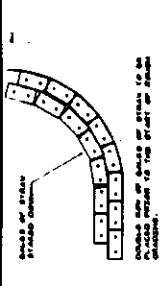
75 U-ANCHOR BOND CEMENT JAN. 18, 1983
NOT TO SCALE



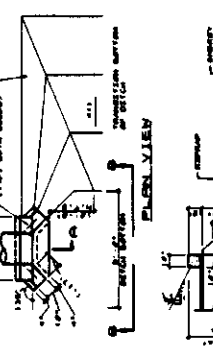
8 LOGO SIGN (SIDE-WALK) JAN. 18, 1983
NOT TO SCALE



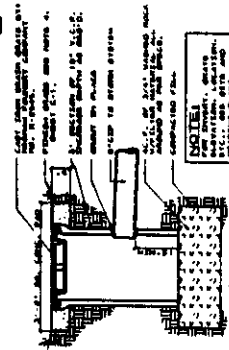
9 MENU BOARD LAYOUT JAN. 18, 1983
NOT TO SCALE



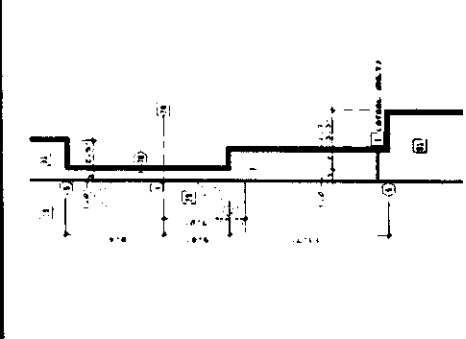
81 STRIP SIGN BARRIER JAN. 18, 1983
NOT TO SCALE



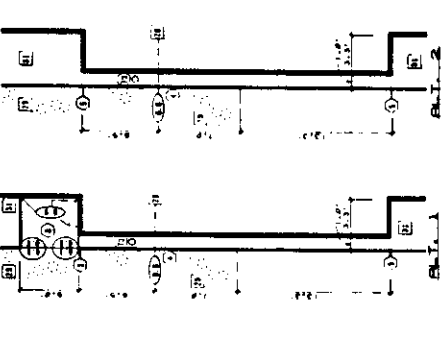
75 CONCRETE ENDWALL JAN. 18, 1983
SCALE 1/4"=1'-0"



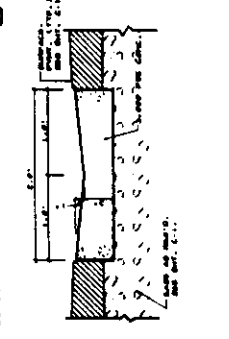
85 AREA DRAIN JAN. 18, 1983
SCALE 1/4"=1'-0"



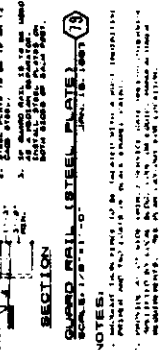
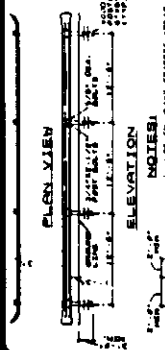
87 BK-BB DRIVE THRU DETAIL NOV. 18, 1982
SCALE 1/4"=1'-0"



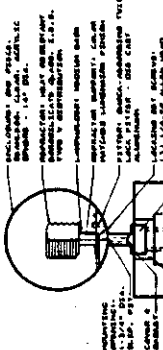
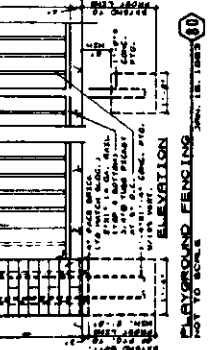
88 BK-BB DRIVE THRU DETAIL NOV. 18, 1982
SCALE 1/4"=1'-0"



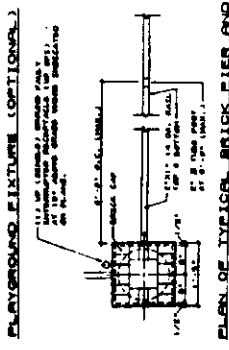
90 CONCRETE SUMP JAN. 18, 1983
NO SCALE



77 GUARD RAIL (STEEL PLATE) JAN. 18, 1983
SCALE 1/4"=1'-0"



89 PLAYGROUND FENCING JAN. 18, 1983
NOT TO SCALE



92 PLAN OF TYPICAL BRICK PIER AND FENCING AT ALL CORNERS JAN. 18, 1983
SCALE 1/4"=1'-0"

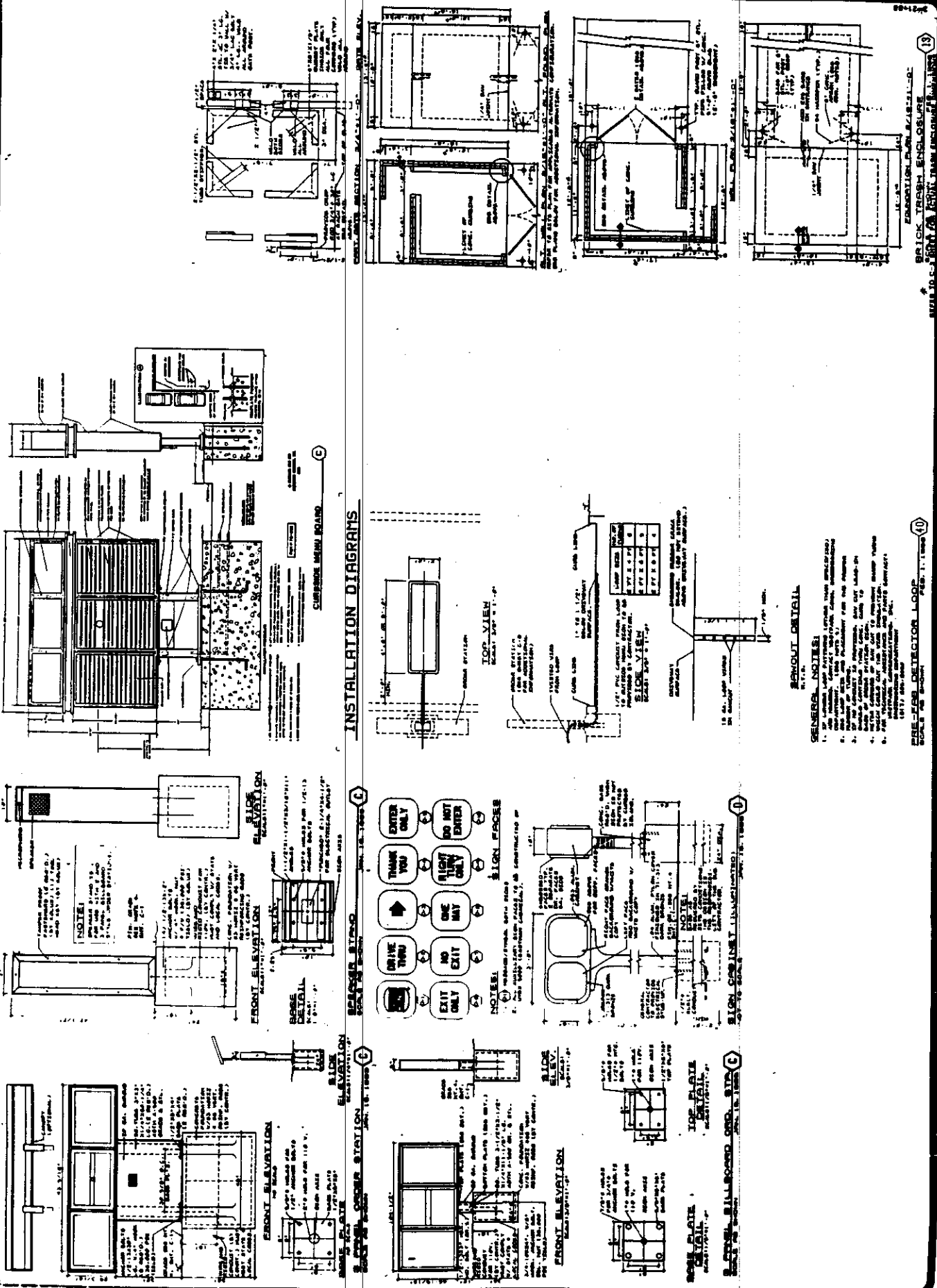


EXHIBIT A

LEGAL DESCRIPTION

LOTS 1 AND 2 AS SHOWN ON THE "PLAT OF HOME GARDEN ACRES", RECORDED IN BOOK 18 OF MAPS, MAP NO. 54, RECORDS OF SAID COUNTY. EXCEPTING THEREFROM ALL THAT PORTION CONVEYED TO THE CITY OF SACRAMENTO IN DEEDS RECORDED IN BOOK 68-04-09, PAGES 69 & 72, OFFICIAL RECORDS.

TRASH ENCLOSURE GUIDELINES

The walls of the trash enclosure structure shall be constructed of solid masonry material and the exterior surface finished in a manner compatible with the main structure(s).

The trash enclosure structure shall have heavy gauge metal gates and designed with cane bolts on the doors to secure the gates when in the open position. The hinges shall be sufficient in size, strength and number to adequately support the metal gates.

The trash enclosure facility shall be designed to allow walk-in access by janitors without having to open the main enclosure gates;

The walls shall be a minimum six feet in height, more if necessary for adequate screening.

The perimeter of the trash enclosure structure shall be screened with landscaping, including a combination of shrubs and/or climbing ever-green vines.

A concrete apron shall be constructed in front of the trash enclosure facility or at point of dumpster pickup by the waste removal truck. The location, size and orientation of the concrete apron shall depend on the design capacity of the trash enclosure facility (number of trash dumpsters provided) and the direction of the waste removal truck at the point of dumpster pickup;

The minimum dimensions of the concrete apron for a single, two cubic yard dumpster shall be: width 10 feet or width of enclosure facility; length 20 feet. Larger trash enclosure facilities shall require a larger concrete apron, subject to the approval of the City Building Inspections Division Building Technician (Plan Checker);

Paving material shall consist of 5" aggregate base rock and 6" portland cement paving.

~~A trellis structure covering the trash facility shall be constructed to screen these units from view from the upper floors of the office building.~~