

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0009765
Insp Area: 4

Site Address: 18 TANFIELD CT SAC
Parcel No: 225-0643-018

Sub-Type: ASFR
Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

GEORGE SAMUEL I III/HAUNANI
18 TANFIELD CT
SACRAMENTO CA 95833

Nature of Work: 312 SQ FT SINGLE STORY ADDITON

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date 8/29/00 Owner Signature [Signature]

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 8/29/00 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier

Policy Number

Exp Date

(This section need not be completed if the permit is for \$100 or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 8/29/00 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Date of Request: _____

By: _____

**CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST**

Project Address: 18 Tanfield Ct

Assessor's Parcel Number: 225 - 0643 - 018

Previous Use: SF

Description of Request/Proposed Use: addition

Is This a Change of Use? No

Prior Applications for Project Site(P#, Z#, DRPB#): ER00-062 Zoning Designation: R1

Comments: See ER00-062
which was approved
8.21.00. Plans must match
approval

Are There Any Planning Issues?: (circle one) YES NO

* Staff Site Plan Check Required? (Circle one) YES NO

* Field Inspection Required? (Circle one) YES NO

* Design Review/Preservation Required?: (Circle one) YES NO Done - see ER00062

Planning Review by/Date: M. Mae 8.29.00

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNERS

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed Improvement (yes or no) YES
2. I ~~(have)~~ have not BE HAVE signed an application for A building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name N/A Address _____
City _____ Telephone _____
Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, Supervise, and provide the major work.

Name N/A Address _____
City _____ Telephone _____
Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the Work indicated:

Name	Address	Phone	Type of work
<u>N/A</u>			

Signed Sam George

Job Address 18 TANFIELD CT. SAC, CA 95833

Permit No: 000 9765

SAM GEORGE
 18 TANFIELD CT
 SACRAMENTO, CA. 95833

SCALE 3/64 1'0"

gress or rescue windows from sleeping
 shall have a minimum net clear opening
 of 5.7 square feet. The minimum net clear open-
 ing height dimension shall be 24 inches. The min-
 imum net clear opening width dimension shall be
 20 inches. Where windows are provided as a means
 of egress or rescue they shall have a finished sill
 not more than 44 inches above the floor

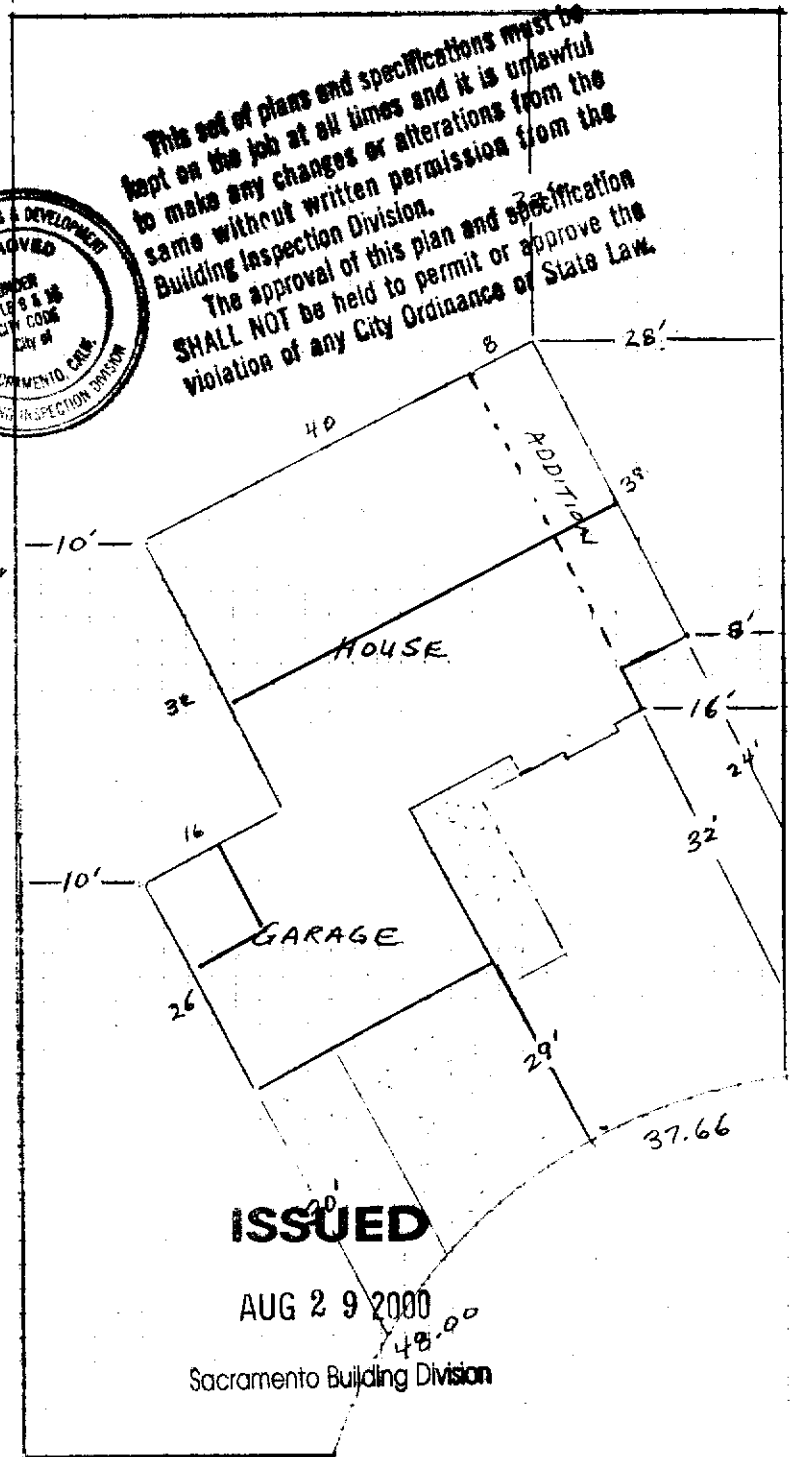
CITY OF SACRAMENTO
 PERMIT ASSISTANCE

AUG 22 2000

RECEIVED



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



SMOKE DETECTOR IS REQUIRED WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT ARE IN EXCESS OF \$1000 OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED (GROUP R-3)

The approval of all Plumbing Mechanical and Electrical is subject to field inspection.

See attached design review checks.

Reviewed by Matt P. 8/29/00

ISSUED

AUG 29 2000

Sacramento Building Division

SITE PLAN APPROVED - PLANNING DIVISION
 DATE: 8/21/2000 BY: [Signature]
 The approval SHALL NOT be held to permit or approve the violation of any State law, City Ordinance, or private agreement, and assumes that property lines and other information submitted by the applicant are accurate and complete.

PERSONAL SAFETY BUILDING CODE
 SEE GROUPED INSTRUCTIONS

FLOOR PLAN 1/4" = 1'-0"

EXISTING

ADDITION
8'

MASTER BED ROOM
22' X 14'

6' X 3'
WINDOW



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CHANGES TO
BATHROOM

1/2 BEDROOMS

CLOSET

12' X 9'

2'6"
DOOR

EXISTING
BATHROOM

3' X 4'
WINDOW

SHOWER

SHELVES

SHELVES

BED ROOM
20' X 10'

6' X 3'
WINDOW

LEGEND

NEW

EXISTING

REMOVE

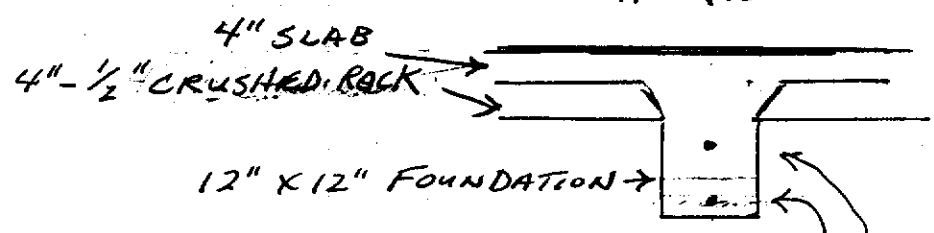
CLOSET

ADDITION

SCALE 1/2" = 1'0"

SCALE 1/8" = 1'0"

A-VIEW



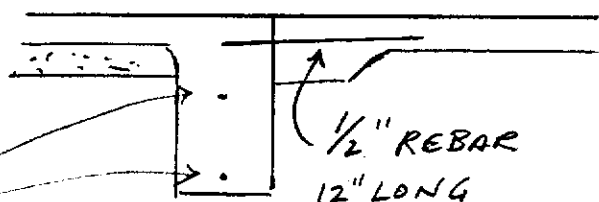
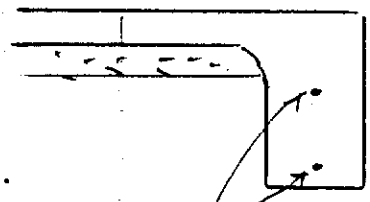
4" SLAB
 4" - 1/2" CRUSHED ROCK
 12" X 12" FOUNDATION
 3" FROM TOP & BOTTOM FOOTING
 2 - 1/2" REBAR
 EPOXY APPLICATION BURK EPOXY A&B
 6" CLEAN HOLE 5/8" DIAMETER
 4 LOCATIONS IN EXISTING FOOTING
 WALL WEST VIEW

6" X 6" WIRE MESH REINFORCING
 THROUGH OUT ADDITION SLAB
 CONCRETE STRENGTH 2500 PSI

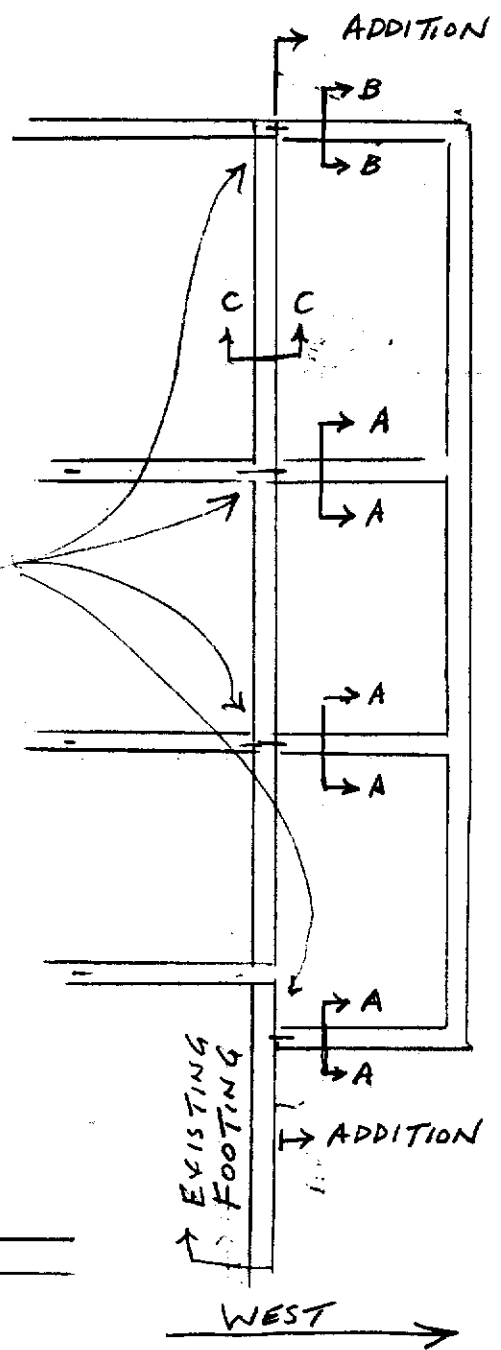
2 - 1/2" REBAR THROUGH OUT FOOTING
 3" & 9" ABOVE FOOTING BASE
 18" SPICE IN BARS MINIMUM

SCALE 1/2" = 1'0"
 B-VIEW

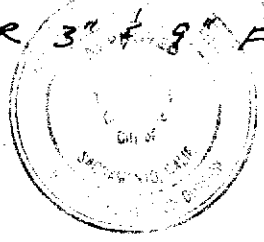
C-VIEW



4" SLAB
 4" CRUSHED ROCK
 12" X 12" FOUNDATION
 2 - 1/2" REBAR 3" & 9" FROM BOTTOM FOUNDATION



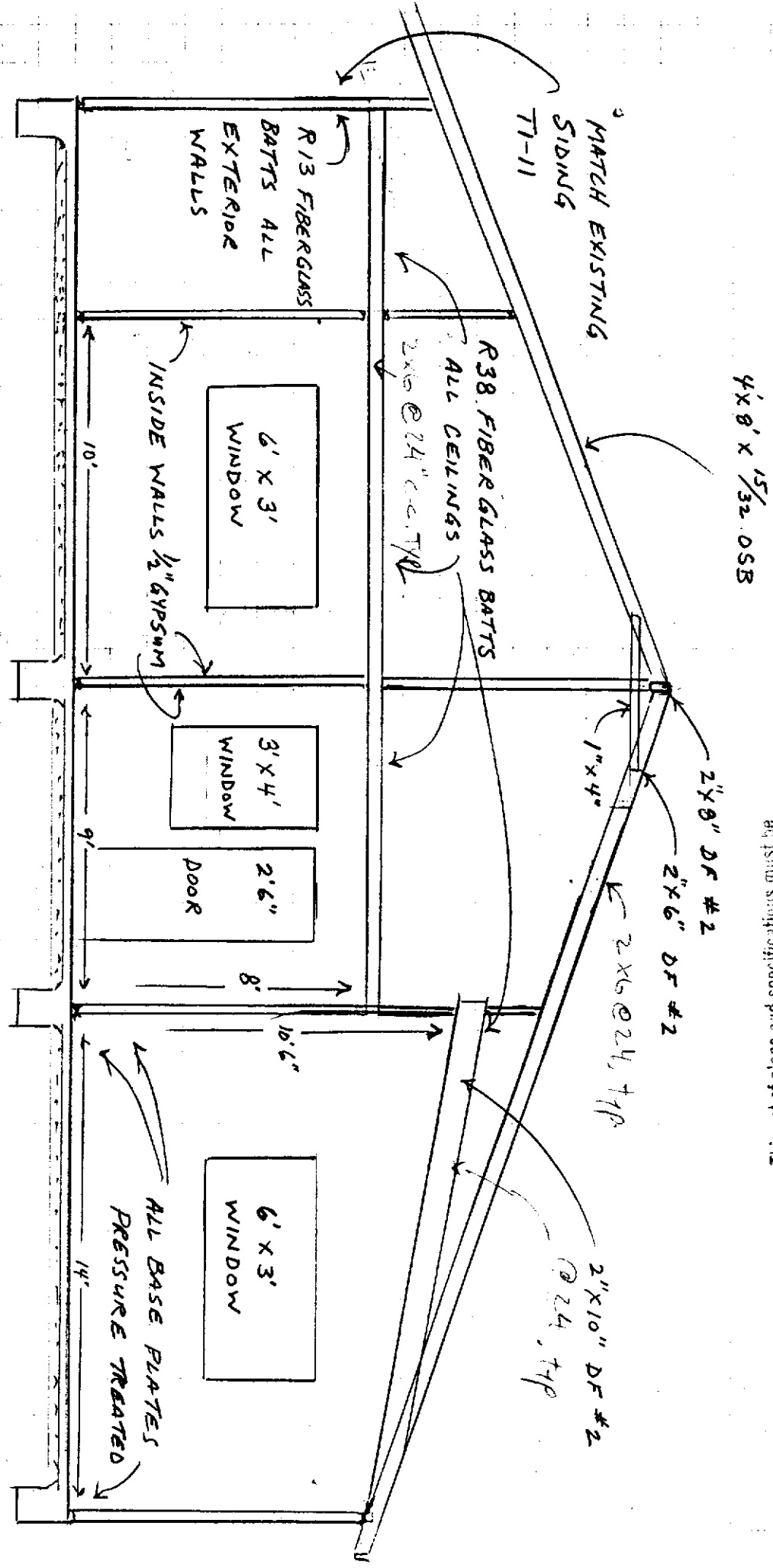
WEST ELEVATION



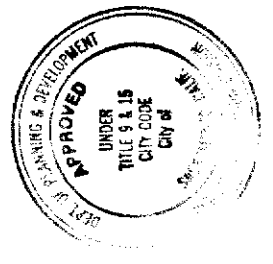
... applications must be
 ... it is unlawful
 ... from the
 Building Inspection Division.
 The approval of this plan and specification
 SHALL NOT be held to permit or approve the
 violation of any City Ordinance or State Law.

SCALE 1/4" = 1'0"

WEST ELEVATION



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
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ROOF PLAN SCALE 1/8" = 1' 0"

← 40'

→ ADDITION
← 8' →

2" x 6" 2' ON CENTER

4' x 8' x 15/16 OSB

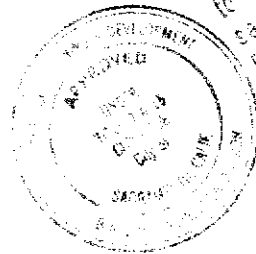
30 YR COMP ROOF

39'

HOUSE

GARAGE

→ ADDITION



The set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or excuse a violation of any City Ordinance or State Law.

EXPANDED NORTH AREA DESIGN REVIEW DISTRICT

CITY OF SACRAMENTO
DESIGN REVIEW / PRESERVATION BOARD
STAFF REVIEW APPLICATION PACKET
1 and 2 Family Residential Construction
FORM A

CITY OF SACRAMENTO
PERMIT ASSISTANCE

AUG 22 2000

RECEIVED

Please complete the following application for staff level review of 1 and 2 family projects in the Expanded North Area subject to staff level Design Review. The action of staff is ministerial and must comply with the Minimum Standards for approval.

Project Address: 18 TANFIELD CT. SACRAMENTO, CA. 95833

Assessor's Parcel Number: 225-0643-018

Applicant Name: SAM GEORGE

Mailing Address: 18 TANFIELD CT. SACRAMENTO, CA. 95833

Phone number: (916) 924-3932

Owner Name: SAM GEORGE

Mailing Address: 18 TANFIELD CT. SACRAMENTO, CA. 95833

Phone number: (916) 924-3932

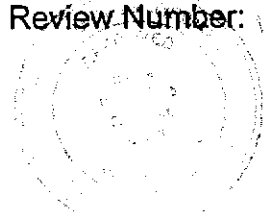
Parcel Dimensions: 158.18' X 85.36'

Parcel Zoning: R-1 Existing Use: Single Family RESIDENTIAL

No. of units: 1 No. of stories: 1 Square footage of unit(s): 1808 + 312

Statement Of Work Proposed: ADDITION 312 sq ft
COMPLETE REROOF.

Design Review Number: 2000-062 Date Received Stamp:



RECEIVED
AUG 21 2000
CITY OF SACRAMENTO
CITY PLANNING DIVISION

ADDITIONS/EXTERIOR MODIFICATIONS VISIBLE FROM STREET VIEWS

EXPANDED NORTH AREA DESIGN REVIEW MINIMUM STANDARDS
1 and 2 Family Residential Construction

FORM C

I. Site Design Standards

A. **Setbacks:** Additions shall be placed on the site to generally align with adjacent and surrounding structures. Provide photos and drawings to indicate compliance.

- Check one:

- 1. Front yard setback is the average of the two adjacent structures.
- 2. Front yard setback does not vary more than 5'-0" from adjacent and surrounding structures.
- 3. No adjacent structures exist, meets Zoning Ordinance requirements for front yard setback.
- 4. Front yard setback not impacted by proposed addition or remodel.

B. **Landscaping (Required):** Front and street side yard landscaping shall be provided.

- Check one:

- 1. Front and street side yard landscaping provided including: shade tree(s), lawn, and sprinkler system for irrigation.
- 2. Existing landscaping consisting of lawn and tree(s) to remain.

C. **Fencing:** New fencing proposed shall meet the following minimum standards. Existing fencing proposed to remain shall be repaired as needed.

Interior side yard/rear yard fencing (no setback required)

- Check one:

- 1. Wood fencing provided.
- 2. Standard chain link fencing provided (dark green vinyl coating recommended).
- 3. Painted concrete block, brick, or plaster finished wall provided.

Street side yard fencing (minimum 5'-0" setback required; less than 3 ft. height, no setback required.)

- Check one:

- 1. Wood fencing provided.
- 2. Chain link with vinyl coating (green color recommended) with vines provided.
- 3. Painted ornamental steel (wrought iron) fence provided.
- 4. Painted concrete block, brick, or plaster finished wall provided (max. 6'-0" high except at front yard setback shall be max. 3'-0" high").

Front yard fencing (Shall be 3'-0" high or less if within front setback.)

- Check one:

- 1. No front yard fencing proposed.
- 2. Painted wood picket or split-rail fence (max. 3'-0" high) provided.
- 3. Chain link with green vinyl coating (max. 3'-0" high) with vines provided.
- 4. Painted ornamental steel (wrought iron) fence (max. 6'-0" high) provided.
- 5. Painted concrete block, brick, or plaster finished wall provided (max. 3'-0" high").

Existing fencing

- 1. Existing fence to remain and shall be repaired as needed.

II. Building Design Standards

A. **Building Height/Roof Forms and Pitch:** Roof forms of the proposed addition shall match the existing structure and be similar to adjacent and surrounding structures. Provide photos and drawings to indicate compliance.

- Check one:

- 1. Height of addition compliments existing structure and is similar to surrounding structures.
- 2. Roof forms and pitch of the proposed addition match the existing structure and are similar to adjacent and surrounding structures.

CITY OF SACRAMENTO
PERMIT ASSISTANCE

AUG 22 2000

RECEIVED

B. Street Facade: Existing porches and entries facing the street shall not be removed with an addition or remodel. Any addition shall allow for the "front" of the structure and the entry to face the street. Proposed additions shall allow for any existing windows and front door to remain facing the street.

no change

Check one:

- 1. Entry and "front" of structure faces the street.
- 2. Windows provided facing the street.
- 3. Front door with decorative raised panels provided.
- 4. Proposed addition/remodel will not impact the street facade.

C. Front Porch/Decorative Entry Element: Any existing front porch shall not be removed with proposed addition or remodel. New porches proposed shall be a minimum depth of 5'-0" where existing setbacks allow. Decorative posts and railing shall be provided or a decorative entry element consisting of a "concrete stoop" (min. 4'-0" square where existing setbacks allow) with decorative columns and a decorative roof cover that matches the existing building.

no change

Check one:

- 1. Front porch with decorative posts and railing provided (5'-0" square min. where setback allows).
- 2. Decorative entry element with concrete stoop (min. 4'-0" square where setback allows), decorative columns and decorative roof cover provided.
- 3. New front porch provided, sized as allowed by existing setbacks.
- 4. New decorative entry element provided, sized as allowed by existing setbacks.
- 5. Front porch/entry not impacted by proposed addition/remodel.

D. Garages: Proposed garages shall be recessed back 3'-0" to 5'-0" from the primary face of the structure, and shall match the design of the primary structure.

no change

Check one:

- 1. Garage recessed 3'-0" to 5'-0" from primary structure.
- 2. Side entry garage with decorative window in side facade provided.
- 3. Detached garage matching the primary structure design provided.
- 4. Existing garage not impacted by proposal/no garage proposed.

E. Accessory Structures: All new attached or detached accessory structures such as storage sheds, workshops, etc., as defined by the Zoning Ordinance, shall match materials and design of existing primary structures on the property.

no change

Check one:

- 1. Attached/detached accessory structure visible from street view matches material and design of existing primary structures on the property.
- 2. No accessory structures proposed.

F. Exterior Materials: Exterior materials shall be of highest quality found on adjacent and surrounding structures and shall compliment and improve the aesthetics of the surrounding area. Materials shall be consistent on all street facades and shall wrap a minimum of 2'-0" around facades not facing the street. Exterior materials on proposed additions shall match the existing structure.

Siding

Check one:

- 1. Horizontal siding provided.
- 2. Wood shingle or shake siding provided.
- 3. Plaster (stucco) siding and door/window trim provided.
- 4. Brick as main facade material provided.
- 5. Grooved, textured plywood siding with vertical and horizontal trim (2" X 6" min. around doors and windows) and a brick wainscot provided. If untextured plywood with no grooves is proposed, 1X battens at a min. of 12" on center shall be provided to create a board and batten appearance.
- 6. Additions/remodels proposed with plywood siding to match existing shall also add the following to street facing elevations: 2" X 6" (min.) trim at doors, windows, building corners and base, and planter shelves or shutters shall be added to windows.
- 7. Vinyl siding with wood trim at doors and windows provided.

(6)

addition will be behind 6" high fence

no windows or doors at street elevation

Roofing
Check one:

- 1. Laminated dimensional composition shingles (25 yr. min.) with heavy ridge caps provided.
- 2. Concrete or tile roofing provided.
- 3. Wood shake or shingle roofing provided.
- 4. Addition proposed with roofing to match existing.

Gutters/Downspouts (Required if matches existing)
Check one:

- 1. Painted or prefinished gutters/downspouts shall be provided to match existing.
- 2. No gutters or downspouts proposed (none on existing structure).

G. Doors/Windows: New doors and windows shall match types and trim styles of the existing structure. Windows proposed at street facing facades shall be decorative, windows not visible from street view may be of simpler design and trim. All windows shall have integral paint color.

Entry doors
Check one:

- 1. Exterior doors with raised panel design and decorative trim are provided.
- 2. Existing exterior doors to remain/no new doors proposed.

Garage doors
Check one:

- 1. Decorative sectional garage door with raised panel design and decorative trim provided.
- 2. Alternative garage door that provides raised panel design provided.
- 3. Existing door to remain and repaired as needed.

Windows
Check one:

- 1. Double or single hung windows with decorative trim/sill provided.
- 2. Horizontal sliding windows with grids and decorative trim/sill provided.
- 3. Horizontal sliding windows with wide frames and decorative trim, no grids, and with decorative shutters and/or decorative plant shelf provided.
- 4. Existing windows to remain/no new windows proposed.

H. Mechanical Equipment: New mechanical equipment shall not be placed on the roof where it may be visible from any street view. Replacement of existing equipment may remain in the same location.

Check one:

- 1. Mechanical equipment shall be attic and/or ground mounted with screening.
- 2. Mechanical equipment shall be roof mounted where not visible from any street views and a diagram indicating compliance provided.
- 3. Replacement of existing equipment in same location proposed.
- 4. Existing equipment to remain/no change proposed.

no change to street elevation

CITY OF SACRAMENTO * BUILDING INSPECTION DIVISION
 SPECIAL PACKAGE D FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12
 100 to 999 SQUARE FEET

NOTE: ADDITIONS OF 100 SQUARE FEET OR LESS WITH 50% OR LESS GLAZING NEED MEET ONLY APPLICABLE FEATURES OF MANDATORY MEASURES CHECKLIST ON BACK OF THIS FORM.

CERTIFICATE OF COMPLIANCE CF 1R ADDITION

Project Title _____ Date 8/25/00
 Project Address 18 TANFIELD CT
 Total Floor Area Addition 312 # Addition and existing total 1712 #
 Total Glazing Area Addition 48 # Glazing removed existing 16 #

500 #
312

REQUIREMENTS THAT APPLY TO NEW AREA: BUILDING SHELL INSULATION:

COMPONENT	TYPE (BATT OR BLOWN)	100 SQ FEET	101-999 SQ FEET
		R VALUE MIN	R VALUE MIN
Ceiling	<u>BATT</u>	R - 19	R - 38
Wall	<u>BATT</u>	R - 13	R - 13
Raised Floor	<u>NO</u>	R - 13	R - 19
Shading			
East/West facing Glazing	<u>.040 maximum</u>	Enter Shading Device:	<u>AWNING'S</u>
Fenestration (Glazing)	<u>DOUBLE REQUIRED</u>		<u>U = .65 MAX</u>

Maximum Glazing Area of New Addition 16% (Example: New Glazing (-) of Existing Glazing + Total Area of Additional Square Footage.

NEW HEATING, COOLING OR DOMESTIC WATER HEATING:

System installed in conduction with addition must comply with the appliance standards applicable to new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition; cannot add electric resistant heat:

HVAC SYSTEMS	Minimum Efficiency (SE, SEER, HSPF)	Duct Insulation	Output (Btuh)	Manufacturer/Model # (or approved equal)
_____	_____	R - 4.2	_____	_____
_____	_____	R - 4.2	_____	_____

HOT WATER SYSTEMS

System Type (Storage gas, etc)	Type Capacity	Manufacturer/Model # (Or approved equal)	Special Features
_____	_____	_____	_____
_____	_____	_____	_____

COMPLIANCE STATEMENT

This certificate of compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. -When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features / Remarks section.

Designer or Owner (per Business and Professions Code)

Name: Sam Ann George
 Title/Firm: OWNER
 Address: _____
 Telephone: _____
 Lic. #: _____

Documentation Author

Name: _____
 Title/Firm: _____
 Address: _____
 Telephone: _____

(signature) _____ (date) _____

(signature) _____ (date) _____

Enforcement Agency

Name: _____
 Title: _____
 Agency: _____
 Telephone: _____

(signature / stamp) _____ (date) _____

MANDATORY MEASURES CHECKLIST: RESIDENTIAL (Page 1 of 2) MF-1R

Note: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. Items marked with an asterisk (*) may be superseded by more stringent compliance requirements listed on the Certificate of Compliance. When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

Instructions: Check or initial applicable boxes when completed or enter N/A if not applicable:

DESCRIPTION	DESIGNER	ENFORCEMENT
Building Envelope Measures:		
* §150(a): Minimum R-19 ceiling insulation.	X	
§150(b): Loose fill insulation manufacturer's labeled R-Value.	X	
* §150(c): Minimum R-13 wall insulation in wood framed walls or equivalent U-value in metal frame walls (does not apply to exterior mass walls).	X	
* §150(d): Minimum R-13 raised floor insulation in framed floors.		
§150(i): Slab edge insulation - water absorption rate no greater than 0.3%, water vapor transmission rate no greater than 2.0 perms/inch.	X	
§118: Insulation specified or installed meets insulation quality standards. Indicate type and form.	X	
§116-17: Fenestration Products, Exterior Doors, and Infiltration/Exfiltration Controls		
<ol style="list-style-type: none"> 1. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage. 2. Fenestration products (except field-fabricated) have label with certified U-value, certified Solar Heat Gain Coefficient (SHGC), and infiltration certification. 3. Exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed. 	X	
§150(g): Vapor barriers mandatory in Climate Zones 14 and 16 only.	X	
§150(f): Special infiltration barrier installed to comply with § 151 meets Commission quality standards.	X	
§150(e): Installation of Fireplaces, Decorative Gas Appliances and Gas Logs.		
<ol style="list-style-type: none"> 1. Masonry and factory-built fireplaces have: <ol style="list-style-type: none"> a. Closeable metal or glass door b. Outside air intake with damper and control c. Flue damper and control 2. No continuous burning gas pilot lights allowed. 		
Space Conditioning, Water Heating and Plumbing System Measures:		
§110-§113: HVAC equipment, water heaters, showerheads and faucets certified by the Commission.		
§150(h): Heating and/or cooling loads calculated in accordance with ASHRAE, SMACNA or ACCA.		
§150(i): Setback thermostat on all applicable heating and/or cooling systems.		
§150(j): Pipe and tank insulation		
<ol style="list-style-type: none"> 1. Storage gas water heaters rated with an Energy Factor less than 0.58 must be externally wrapped with insulation having an installed thermal resistance of R-12 or greater. 2. First 5 feet of pipes closest to water heater tank, non-recirculating systems, insulated (R-4 or greater) 3. Back-up tanks for solar system, unfired storage tanks, or other indirect hot water tanks have R-12 external insulation or R-16 combined internal/external insulation. 4. All buried or exposed piping insulated in recirculating sections of hot water systems. 5. Cooling system piping below 55° F insulated. 6. Piping insulated between heating source and indirect hot water tank. 		
Space Conditioning, Water Heating and Plumbing System Measures: (continued)		
* §150(m): Ducts and Fans		
<ol style="list-style-type: none"> 1. All ducts and plenums constructed, installed, insulated, fastened, and sealed to comply with the ICBO 1997 UMC sections 601 and 603; ducts insulated to a minimum installed R-4.2 or ducts enclosed entirely within conditioned space. Openings shall be sealed with mastic, tape, aerosol sealant or other duct closure system that meets the applicable requirements of UL181, UL181A, or UL181B and other applicable specified tests for longevity given in §150(m). 2. Exhaust fan systems have back draft or automatic dampers. 3. Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers. 		
Lighting Measures:		
§150(k)1.: Luminaires for general lighting in kitchens shall have lamps with an efficacy of 40 lumens/watt or greater for general lighting in kitchens. This general lighting shall be controlled by a switch on a readily accessible lighting control panel at an entrance to the kitchen.		
§150(k)2.: Rooms with a shower or bathtub must either have at least one luminaire with lamps with an efficacy of 40 lumens/watt or greater switched at the entrance to the room or one of the alternatives to this requirement allowed in §150(k)2.; and recessed ceiling fixtures are IC (insulation cover) approved.		