

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0507137

Insp Area: 1

Thos Bros: 297J5

Site Address: 857 51ST ST SAC

Parcel No: 008-0106-017

Sub-Type: NGAR

Housing (Y/N): N

CONTRACTOR  
KIZ CONSTRUCTION  
3140 GARFIELD AVE  
CARMICHAEL, CA 95608

OWNER  
MULLEN DIANA  
857 51ST ST  
SACRAMENTO, CA 95819

ARCHITECT

Nature of Work: Demo det Garage & build new det Garage 294sf w/ storage above

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 775681 Date \_\_\_\_\_ Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner of the property will have the burden of proving that he/she did not build or improve for the purpose of sale.)

PAID  
CITY OF SACRAMENTO  
JUN 09 2005  
NEIGHBORHOODS PLANNING  
AND DEVELOPMENT SERVICES

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date 6/9/05 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 6/9/05 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

# Structural Systems

August 10, 2005

City of Sacramento  
Residential Building Inspection  
Scott

Re: Mullen Garage, 857 51<sup>st</sup> Street., Sacramento, CA 95819  
Permit NO. 0507137

Dear Sir :

This is my written response to the structural issues noted in your Correction Notice of Mullen garage 8/9/05.

Comment items correlate responses below with your comments of 8/9/05:

- 1.) Question about the location of the holdown #HTT22 in the Alternate Braced wall panels either side of the garage door.

Response: The size of the alternate braced wall panel required is a minimum of 2'-8". The width is defined by the plywood sheathing and the spacing of the holdown is not code specified. However, it is logical to assume that the holdown should be connected to the outside stud at the minimum width of the alternate braced panel. This could be accomplished by stitch nailing framing to each other, or by through bolting. In this case with the holdown bolts already located and stitch nailing of framing studs at the garage door jambs not feasible, I recommend substituting an equivalent holdown that could be bolted thru to vertical members at least 32" apart to qualify as an alternate braced wall. Use a Simpson HD2A with 2 - 5/8" dia. thru bolts to the end framing stud to achieve the minimum holdown requirement for the full required panel width.

- 2.) Question about number of AB's required.

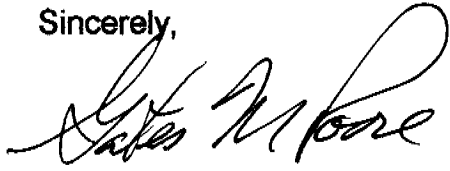
Response: According to braced wall criteria AB's must conform to Section 1806.6, which requires that bolts be spaced within 12" of each end and not more than 6' o.c. Therefore the requirement for 3 bolts minimum is not code required. This requirement is designer

August 10, 2005  
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specified and approved by approved plans. My suggestion would be to eliminate the 3rd bolt requirement, since the foundation has already been poured.

If you have any other questions, please contact me at the above.

Sincerely,



Gates M. Poore P.E.



*Engineered designs yield the best structures!*

