

**CITY OF SACRAMENTO**  
1231 I Street, Sacramento, CA 95814

**Permit No: 0010093**  
**Insp Area: 1**

**Site Address: 909 43RD ST SAC**  
Parcel No: 008-0092-013

Sub-Type: NOTHR  
Housing (Y/N): N

CONTRACTOR

OWNER  
PARKS JOHN  
909 43RD ST  
SACRAMENTO CA 95819

ARCHITECT

**Nature of Work: REBUILD INTERIOR STAIR CASE, & RE-PITCH ROOF**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class \_\_\_\_\_ License Number \_\_\_\_\_ Date \_\_\_\_\_ Contractor Signature \_\_\_\_\_

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason \_\_\_\_\_

Date 9-6-02 Owner Signature John Parks

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 9-6-02 Applicant/Agent Signature John Parks

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

\_\_\_\_\_ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier \_\_\_\_\_ Policy Number \_\_\_\_\_ Exp Date \_\_\_\_\_

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 9-6-02 Applicant Signature John Parks

**WARNING:** FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

Date of Request: \_\_\_\_\_

By: \_\_\_\_\_

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION  
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 909 43rd St

Assessor's Parcel Number: 008-0092-013

Previous Use: SFR

Description of Request/Proposed Use: Reframe new roof  
over existing; repair stairs

Is This a Change of Use? No.

Prior Applications for Project Site(P#, Z#, DRPB#): 0 Zoning Designation: R-1

Comments: No planning entitlements required.

Are There Any Planning Issues?: (circle one) YES  NO

- \* Staff Site Plan Check Required? (Circle one) YES  NO
- \* Field Inspection Required? (Circle one) YES  NO
- \* Design Review/Preservation Required?: (Circle one) YES  NO

Planning Review by/Date: [Signature] 8/28/02

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL

JOHN PARKS RESIDENCE  
909 43RD ST.  
SAC., CA. 95814  
(916) 455 6516

P. 1/6

## GENERAL NOTES:

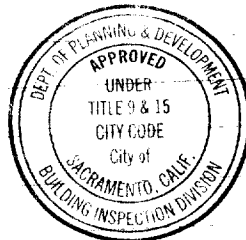
- a. Existing 3/4":12" pitched roof framing and sheathing shall be removed prior to installation of new 4:12 roof construction.
- b. New 2x6 rafters @ 24" o/c shall be seat-cut to bear on existing second floor top plate and shall be lap-spliced with existing 2x8 ceiling joists every 48" o/c and nailed with 5-16d nails minimum.
- c. A minimum 22"x30" weather-stripped attic access opening shall be provided in ceiling at location where there will be 30" minimum clear space between top of ceiling joists and bottom of rafters.
- d. Attic space shall be insulated with minimum R-19 blown or batt type insulation.
- e. Minimum head height clearance at stairs shall be 6'-8" above tread nosing. Maximum rise shall not exceed 8" and minimum run shall not be less than 9". Minimum clear finish width of stairs shall be 36". Wall mount handrail shall be placed a vertical distance of 34" min. to 38" max. above tread nosing. Railing shall be continuous from front edge of bottom step to front edge of top step and shall be returned into wall or have rounded terminations or bends at ends. Open baluster railing shall be constructed so that 4" diameter sphere can not pass between balusters and 6" diameter sphere can not pass between bottom rail and tread. 2x12 stringers shall be framed @ 16" o/c maximum spacing and entire accessible area under stairs shall be sheathed with 5/8" gypsum wall board.
- f. Adequate attic ventilation shall be provided at gable ends and equally spaced between rafter bays at eaves. Total vent area shall not be less than 1 square foot of screened opening (1/4" mesh) per 150 sq. ft. of attic area.

ISSUED

FP 11 7 2000

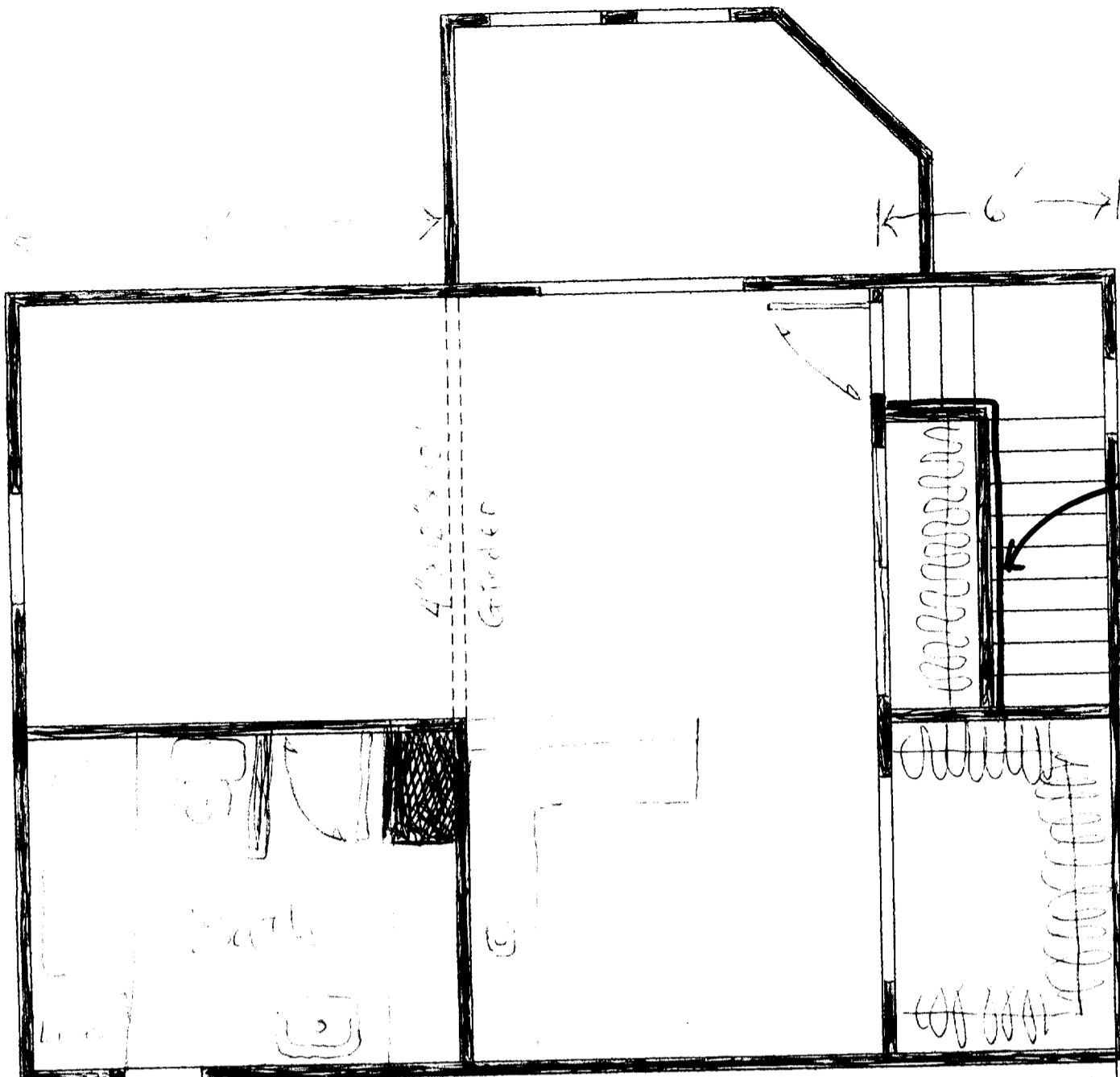
Sacramento Building Division

REVIEWED BY:  
[Signature]  
9/17/00



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



ROOF OVERHANG INCLUDING GUTTER  
CANNOT - PROJECT MORE THAN 24  
INCHES INTO REQUIRED SIDEYARD

SMOKE DETECTOR IS REQUIRED  
WHEN ALTERATIONS, REPAIRS OR ADDITIONS  
REQUIRING A PERMIT ARE IN EXCESS OF  
\$1,000 OR WHEN ONE OR MORE SLEEPING  
ROOMS ARE ADDED OR CREATED (GROUP R-3)



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First Floor

RECORDS WERE UNAVAILABLE AT THE TIME OF ISSUANCE OF THIS PERMIT TO VERIFY THAT 2ND FLR ADDITION WAS EVER BUILT WITH AN APPROVED PRIOR PERMIT. THESE DRAWINGS SHALL IN NO WAY CONVEY THAT THE EXISTING 2ND FLOOR ADDITION IS A LEGAL STRUCTURE. SCOPE OF WORK FOR THIS PERMIT SHALL BE LIMITED TO THE STAIRS AND 2ND FLR ROOF.

CITY OF SACRAMENTO  
PERMIT ASSISTANCE

SEP 05 2000

RECEIVED

ISSUED

SEP 17 2000

Sacramento Building Division

second floor plan

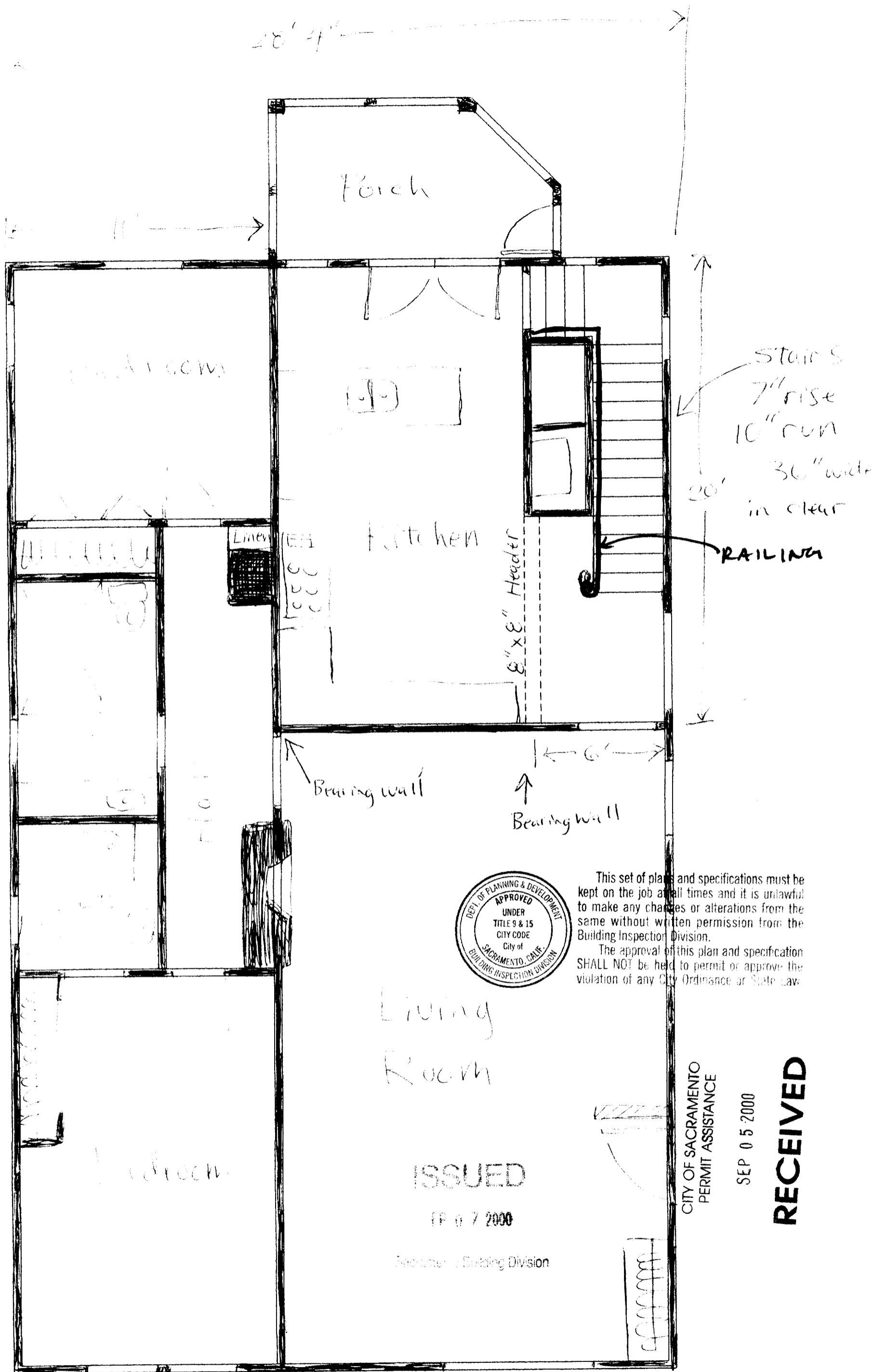
New Roof is above second floor

3/8" = 1'

STAIR REMODEL AND  
PITCHED ROOF REMODEL  
OF EXISTING 2ND FLR

North

John Parks  
909 43rd St.  
Sacramento, CA 95819  
455-6516



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**ISSUED**

SEP 07 2000

Inspector Building Division

CITY OF SACRAMENTO PERMIT ASSISTANCE

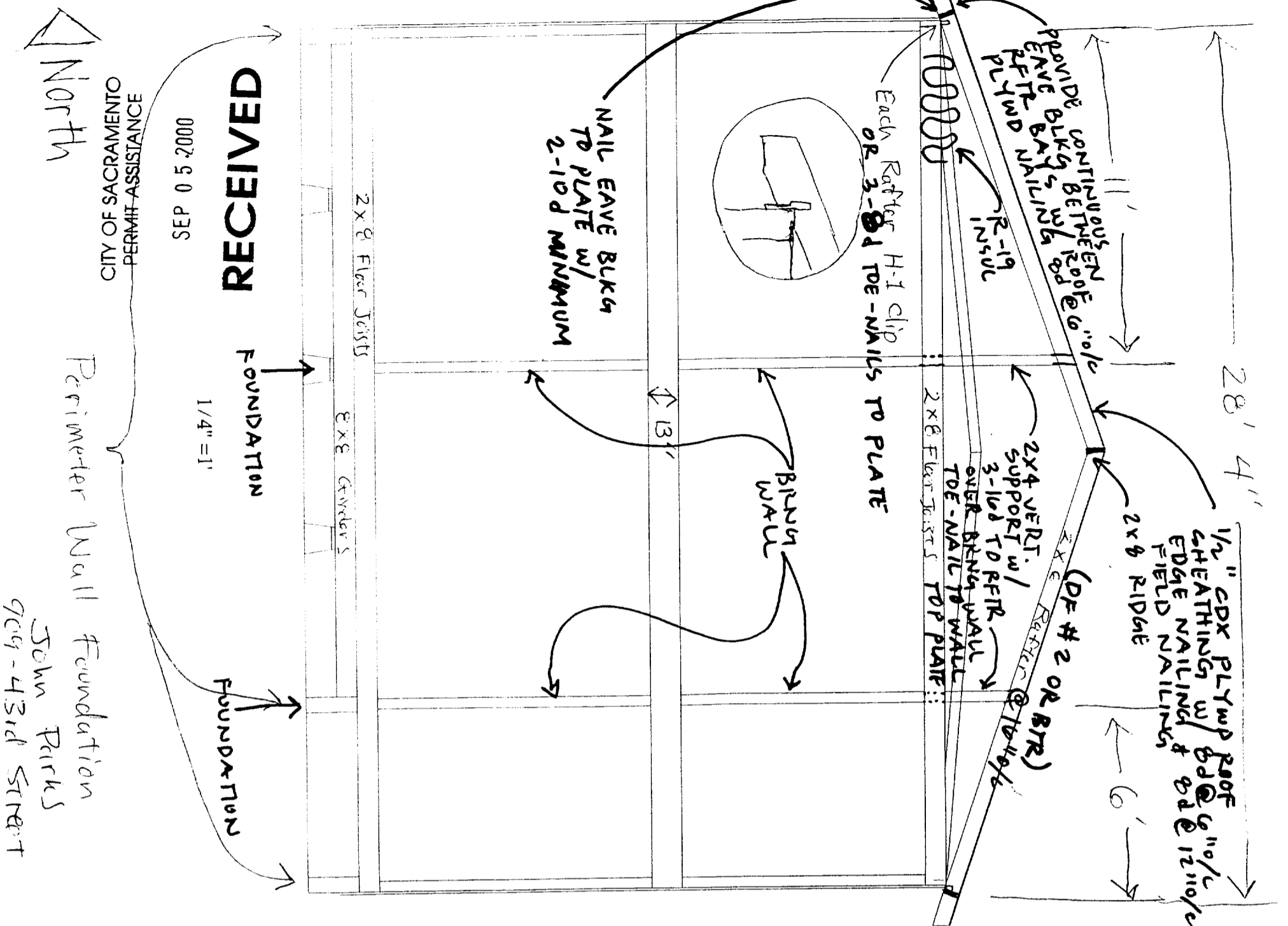
SEP 05 2000

**RECEIVED**

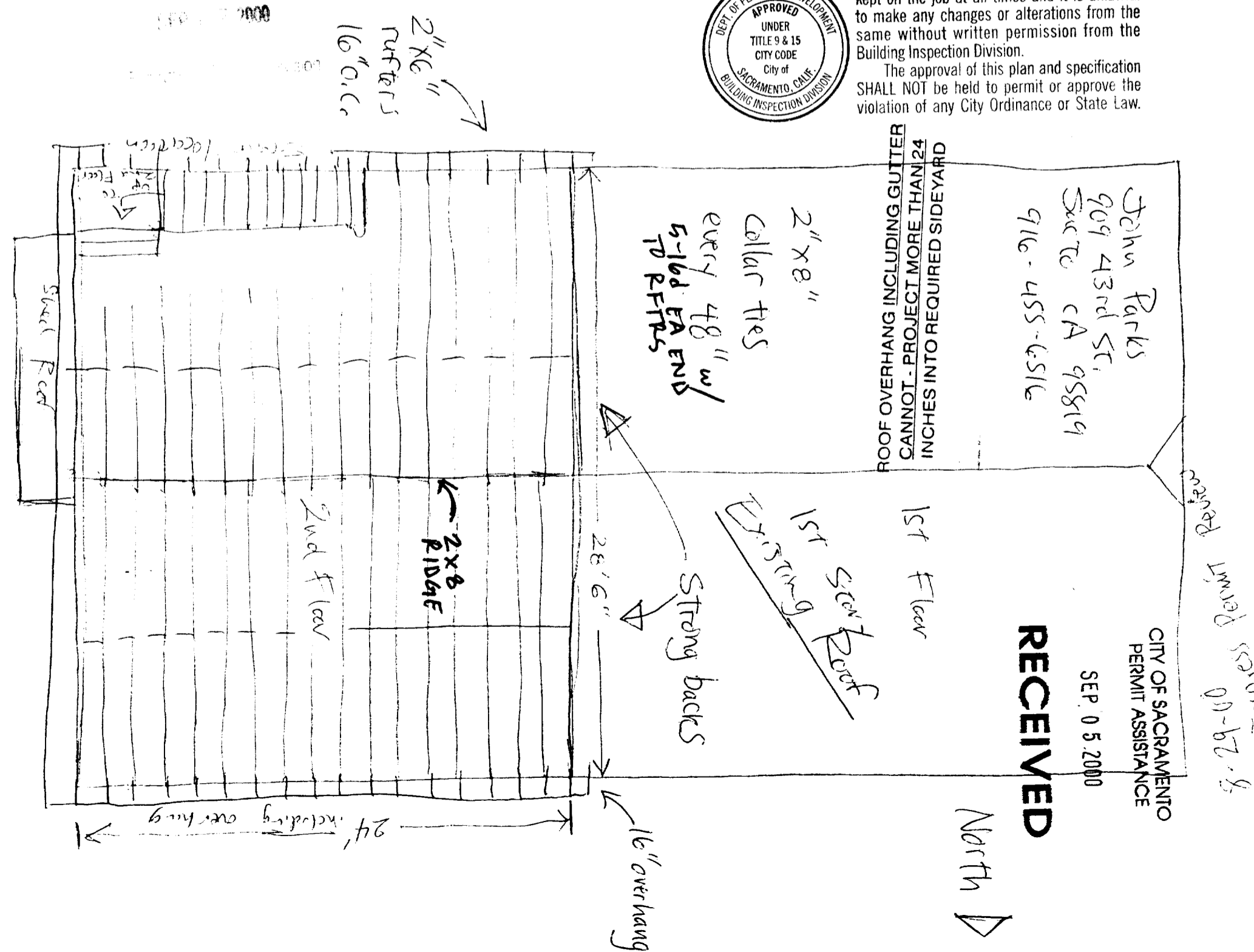
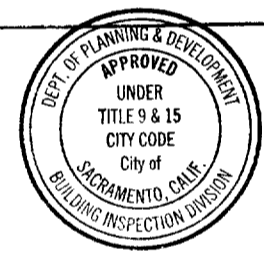
North

first floor plan  
 3/8" = 1'

John Parks  
 909 43rd St.  
 Sacto, CA 95819



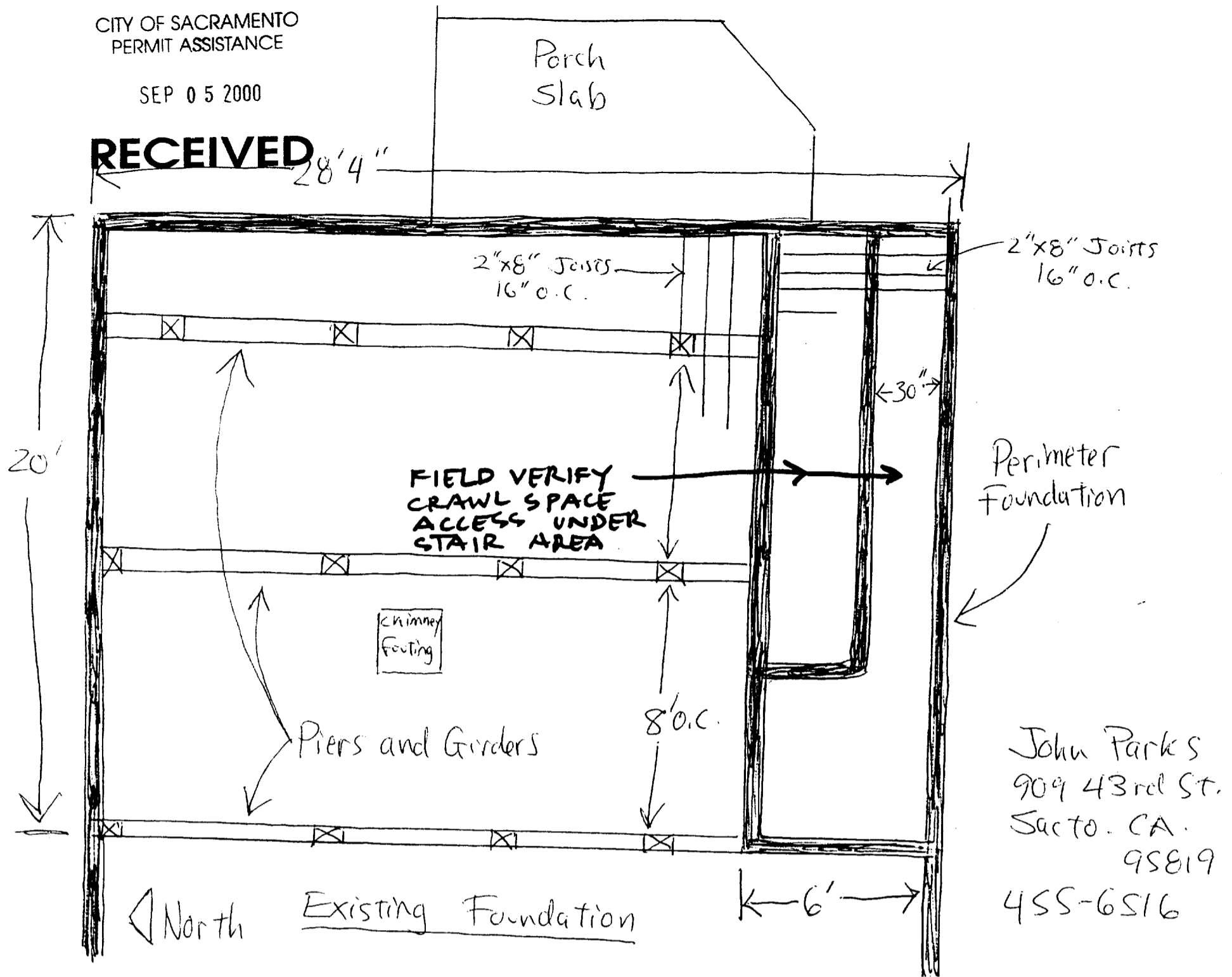
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CITY OF SACRAMENTO  
PERMIT ASSISTANCE

SEP 05 2000

**RECEIVED**



CITY OF SACRAMENTO  
PERMIT ASSISTANCE

SEP 05 2000

**RECEIVED**

John Parks  
909 43rd Street  
Sacramento, CA 95819  
916-455-6516



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Exterior wall bears on exterior

**APPROVAL OF ALL STAIR FRAMING IS SUBJECT TO FIELD INSPECTION**

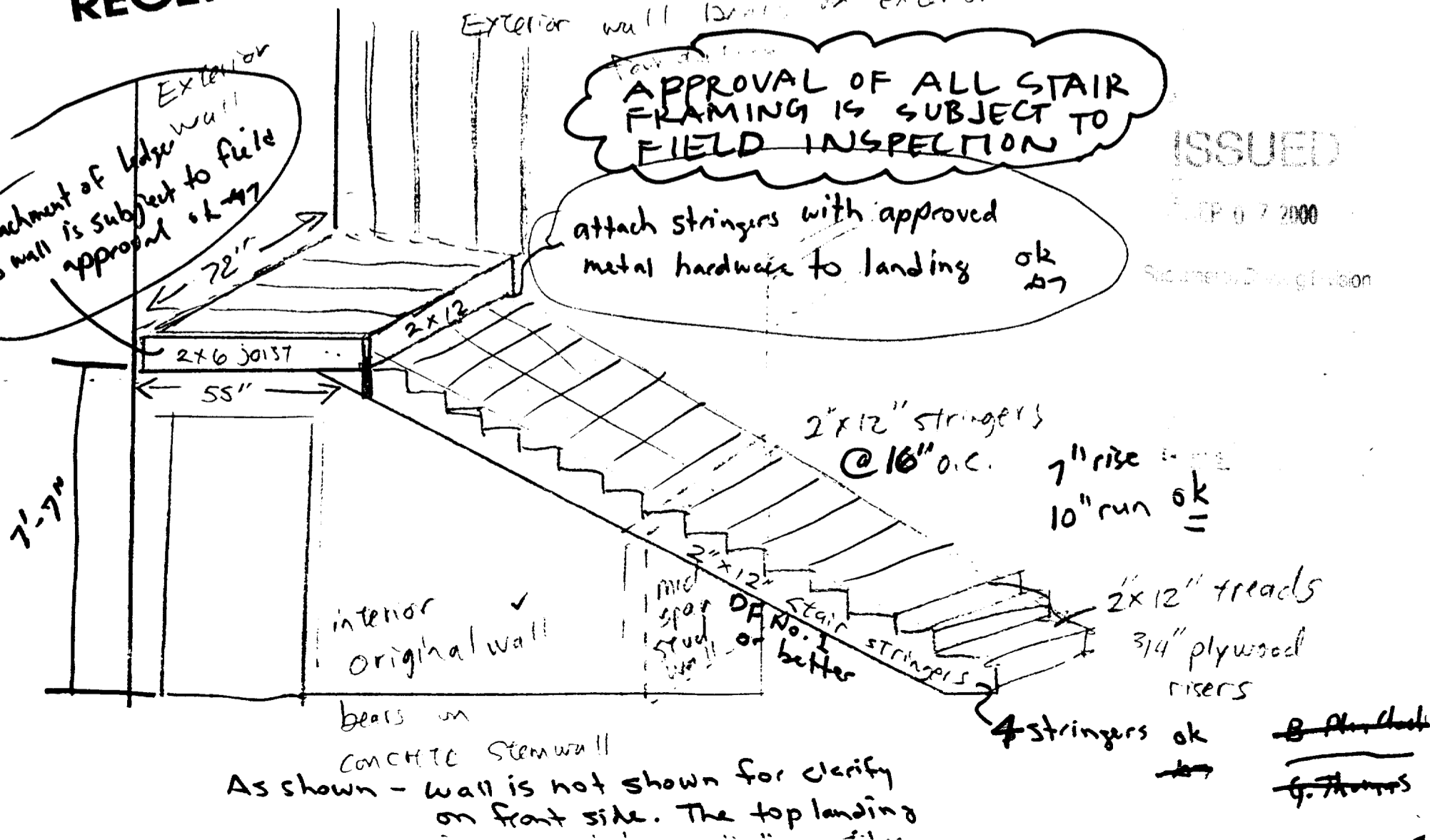
attach stringers with approved metal hardware to landing ok

**ISSUED**

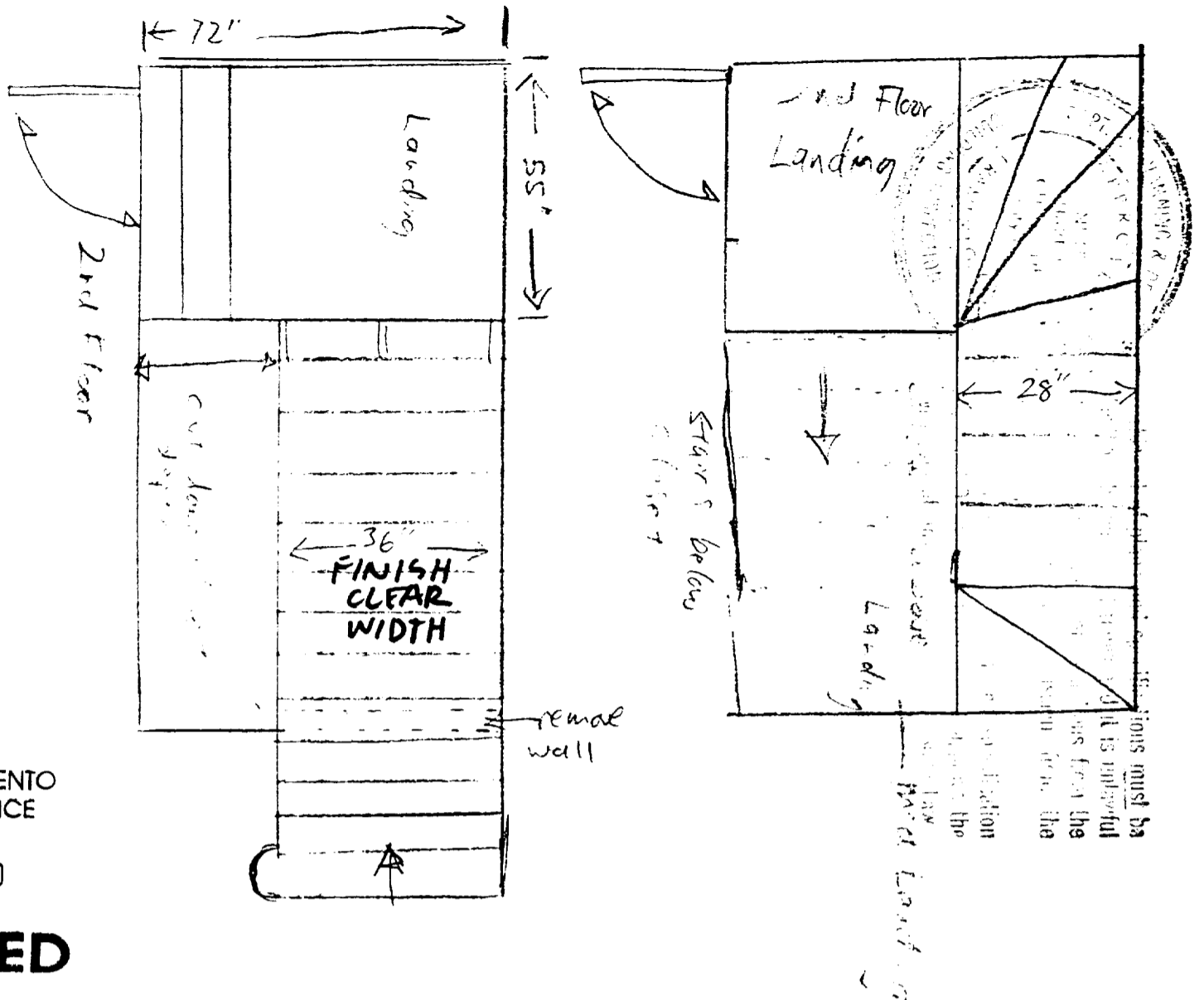
SEP 07 2000

Sacramento Building Division

attachment of ledge wall to wall is subject to field approval ok



As shown - wall is not shown for clarity on front side. The top landing



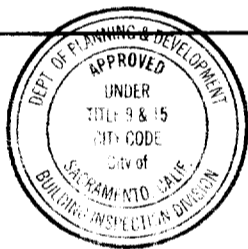
CITY OF SACRAMENTO  
PERMIT ASSISTANCE

SEP 05 2000

**RECEIVED**

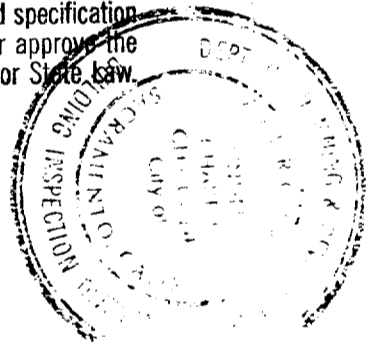
500,5 MDU

500,5 P10



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John Parks  
909 43rd St.  
Sacto CA 95819  
916-736-9676  
455-6516

CITY OF SACRAMENTO  
PERMIT ASSISTANCE

SEP 05 2000

**RECEIVED**

8200

SEP 05 2000

PERMIT ASSISTANCE

