

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0104256
Insp Area: 4

Site Address: 905 BLAINE AV SAC
Parcel No: 237-0130-010

Sub-Type: NGAR
Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

BECCERRA JORGE
905 BLAINE AV
SACRAMENTO CA 95838

Nature of Work: NEW 550 SF DTCHD GARAGE

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

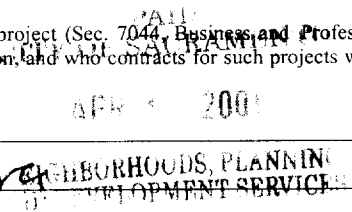
OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code. The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law)

I am exempt under Sec. _____ B & PC for this reason: _____

Date 04-11-01 Owner Signature Jorge Beccerra



IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date _____ Applicant/Agent Signature _____

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 04-11-01 Applicant Signature Jorge Beccerra

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNERS

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed Improvement (yes) or no _____
2. I (have/have not) _____ signed an application for A building permit for the proposed work.
3. I have contracted with the following person (firm) to provide the proposed construction:

Name NONE Address _____

City _____ Telephone _____

- Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, Supervise, and provide the major work.

Name _____ Address _____

City _____ Telephone _____

Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the Work indicated:

Name	Address	Phone	Type of work

Signed Jorge Becerra

Job Address 905 BLAIN AV

Permit No: 0104256

Date of Request: 04-06-01
By: JORJE

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIVISION
PLANNING AND ZONING INFORMATION REQUEST

Project Address: 905 BLAINE AVE SACTO CA 95838

Assessor's Parcel Number: 237-0130-010

Previous Use: exist. S.F.R.

Description of Request/Proposed Use: GARAGE (new detached)

Is This a Change of Use? NO

Prior Applications for Project Site(P#, Z#, DRPB#): none Zoning Designation: R-1

Comments: setbacks & lot coverage appear to be acceptable, but need to complete site plan with additional detail & dimensions (ie, show front porch accurately, show driveway, and east P/L with dimensions) PHIL REED 4/6/01

Are There Any Planning Issues?: (circle one) YES NO PROVIDED NECESSARY INFO. PHIL REED 4/6/01

- * Staff Site Plan Check Required? (Circle one) YES NO
 - * Field Inspection Required? (Circle one) YES NO
 - * Design Review/Preservation Required?: (Circle one) YES NO Not visible from street.
- Planning Review by/Date: PHIL REED 4/6/01

A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICROFILM AFTER FINAL

This plan has been reviewed and approved. If you have any questions, please call the office.

All revisions clouded? YES _____ NO

JOB ADDRESS 905 BLAINE AV SUITE PERMIT NO 0104256

AREA: 4 DBA: _____

DESCRIPTION OF REVISIONS TRUSS CHECK'S FOR DETACHED garage

DISCIPLINE	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CHECKED BY									
ROUTE TO									
CODE									
HOURS SPENT									

CONTACT: JORGE BECERRA

ADDRESS: 905 BLAINE AVE.

PHONE#: 922-7601

OF PLANS SUBMITTED _____ SUBMITTED TO 01-22-02

I understand that I am responsible for all plan check fees that I incur during the course of this additional plan check and that any approved plans not claimed and paid for within 3 months of notification will be disposed of and an invoice procedure for the amount due will be initiated. I further understand that an unclaimed revision may result in delay of final approval for this project.

DATE NOTIFIED	PLAN NO.

Jorge Becerra
Applicant Signature

AGENCY	TOTAL FEE	
BDDG		
PW		

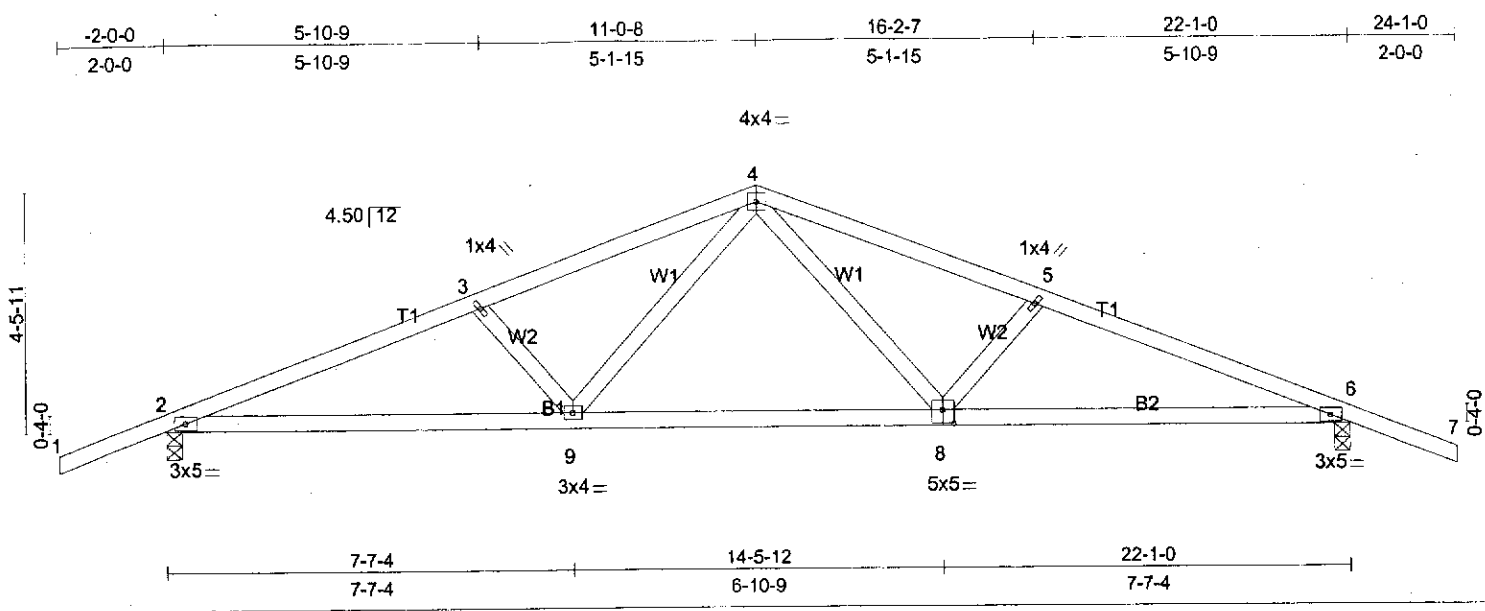


Plate Offsets (X,Y): [8;0-2-8,0-3-0]				
LOADING (psf)	SPACING	CSI	DEFL (in)	PLATES GRIP
TCLL 18.0	Plates Increase 1.00	TC 0.26	Vert(LL) -0.09 6-8 >999	M20 220/195
TCDL 14.0	Lumber Increase 1.25	BC 0.48	Vert(TL) -0.18 8-9 >999	
BCLL 0.0	Rep Stress Incr YES	WB 0.18	Horz(TL) 0.04 6 n/a	
BCDL 7.0	Code UBC97/ANSI95		1st LC LL Min l/def = 360	Weight: 89 lb

LUMBER
 TOP CHORD 2 X 4 DF No.1&Btr-G
 BOT CHORD 2 X 4 DF No.1&Btr-G
 WEBS 2 X 4 DF Std-G

BRACING
 TOP CHORD Sheathed or 4-10-4 on center purlin spacing.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) 2=935/0-3-8, 6=935/0-3-8
 Max Horz 2=-4(load case 4)
 Max Uplift 2=-63(load case 3), 6=-63(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-1610, 3-4=-1396, 4-5=-1396, 5-6=-1610, 6-7=20
 BOT CHORD 2-9=1500, 8-9=1033, 6-8=1500
 WEBS 3-9=-301, 4-9=431, 4-8=431, 5-8=-301

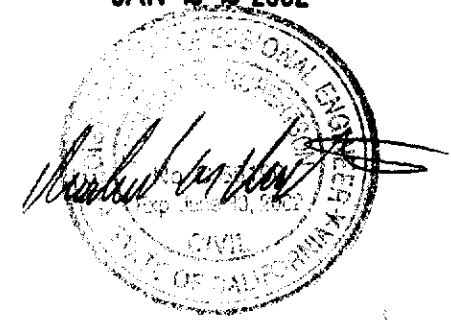
- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) This truss has been designed for the wind loads generated by 80 mph winds at 25 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, 100 mi from hurricane oceanline, on an occupancy category I, condition I enclosed building, of dimensions 45 ft by 24 ft with exposure B ASCE 7-93 per UBC97/ANSI95 if end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33.
 - 3) All plates are M20 plates unless otherwise indicated.
 - 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-97.
 - 5) A plate rating reduction of 20% has been applied for the green lumber members.
 - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 63 lb uplift at joint 2 and 63 lb uplift at joint 6.
 - 7) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard

01-04256
 905 BIAINK AV

JAN 23 2002

JAN 22 2002



JA 01-23-02

-2-0-0	5-10-9	11-0-8	16-2-7	22-1-0	24-1-0
2-0-0	5-10-9	5-1-15	5-1-15	5-10-9	2-0-0

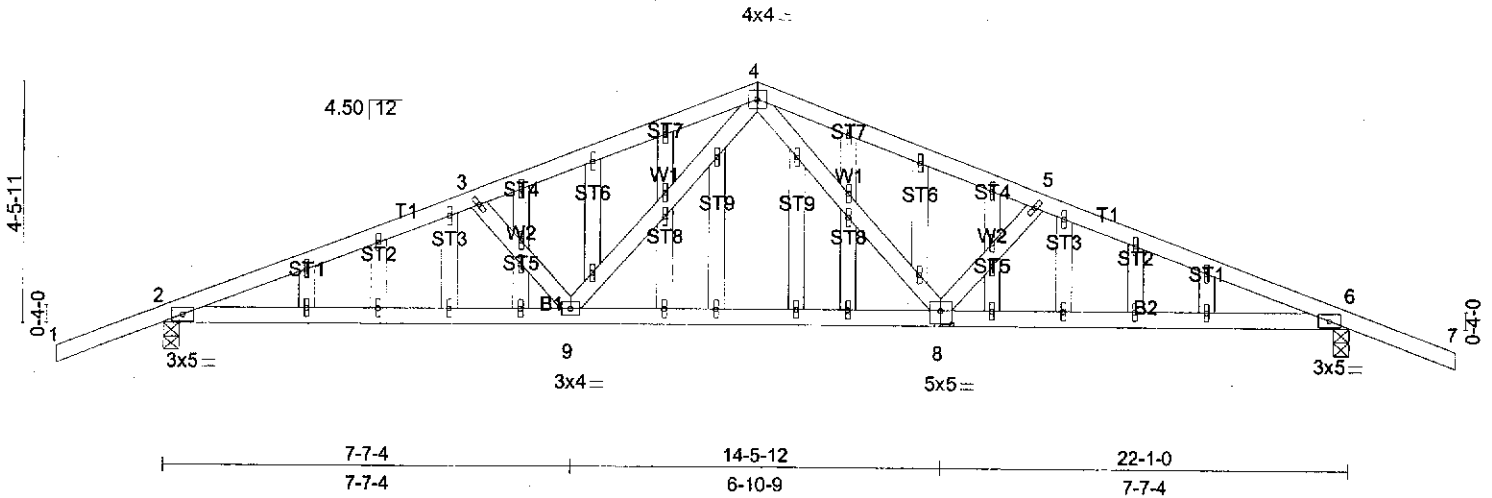


Plate Offsets (X,Y): [8-0-2,8-0-3-0]

LOADING (psf)	SPACING	CSI	DEFL	PLATES GRIP
TCLL 16.0	2-0-0	TC 0.26	(in) (loc) l/def	M20 220/195
TCDL 14.0	Plates Increase 1.00	BC 0.48	Vert(LL) -0.09 6-8 >999	
BCLL 0.0	Lumber Increase 1.25	WB 0.18	Vert(TL) -0.18 8-9 >999	
BCDL 7.0	Rep Stress Incr YES		Horz(TL) 0.04 6 n/a	
	Code UBC97/ANSI95		1st LC LL Min l/def = 360	Weight: 128 lb

LUMBER
 TOP CHORD 2 X 4 DF No.1&Btr-G
 BOT CHORD 2 X 4 DF No.1&Btr-G
 WEBS 2 X 4 DF Std-G
 OTHERS 2 X 4 DF Std-G

BRACING
 TOP CHORD Sheathed or 4-10-4 on center purlin spacing.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) 2=935/0-3-8, 6=935/0-3-8
 Max Horz 2=-4(load case 4)
 Max Uplift 2=63(load case 3), 6=-63(load case 4)

FORCES (lb) - First Load Case Only
 TOP CHORD 1-2=20, 2-3=-1610, 3-4=-1396, 4-5=-1396, 5-6=-1610, 6-7=20
 BOT CHORD 2-9=1500, 8-9=1033, 6-8=1500
 WEBS 3-9=-301, 4-9=431, 4-8=431, 5-8=-301

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) For studs exposed to wind, see MiTek "Standard Gable End Detail"
 - 3) All plates are M20 unless otherwise indicated.
 - 4) All plates are 1x4 M20 unless otherwise indicated.
 - 5) Gable studs spaced at 1-4-0 on center.
 - 6) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads per Table No. 16-B, UBC-97.
 - 7) A plate rating reduction of 20% has been applied for the green lumber members.
 - 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 63 lb uplift at joint 2 and 63 lb uplift at joint 6.
 - 9) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard

JAN 22 2002

