

**CITY OF SACRAMENTO**

**Permit No: 9804185**

**1231 I Street, Sacramento, CA 95814**

**Insp Area: 2**

**Site Address: 925 8TH AV SAC**

**Sub-Type: RES**

**Parcel No: 0120331029**

**Housing (Y/N): N**

**CONTRACTOR**

PRIDE IN ROOFING  
9341 MEDALLION WY  
SACRAMENTO CA

95826

**OWNER**

PETERSON BEULAH W  
3496 KIMBERLY RD  
CAMERON PARK CA

95682

**ARCHITECT**

**Nature of Work: 18SQS OVER 1 LAYER COMP**

**CONSTRUCTION LENDING AGENCY :** I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

**LICENSED CONTRACTORS DECLARATION:** I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class C-39 License Number 391055 Date 5-18-98 Contractor Signature [Signature]

**OWNER-BUILDER DECLARATION:** I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

\_\_\_\_ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

\_\_\_\_ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

\_\_\_\_ I am exempt under Sec. \_\_\_\_\_ B & PC for this reason: \_\_\_\_\_

Date \_\_\_\_\_ Owner Signature \_\_\_\_\_

**IN ISSUING THIS BUILDING PERMIT,** the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 5-18-98 Applicant/Agent Signature [Signature]

**WORKER'S COMPENSATION DECLARATION:** I hereby affirm under penalty of perjury one of the following declarations:

\_\_\_\_ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

\_\_\_\_ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier No Employees Policy Number \_\_\_\_\_

\_\_\_\_ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 5-18-98 Applicant Signature [Signature]

**WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.**

**THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.**

November 26, 1997

To Whom It May Concern:

Brad Woodard has my permission to pick up my permit at  
the City of Sacramento.

  
Patty Roth



EXHIBIT 1

I have read and am familiar with the contents of City's standard Owner-Builder Notification and Owner-Builder Verification, as required by California Health and Safety Code Section 19830 and 19831.

I authorize my agent(s) Brad Woodard  
to sign the Owner-Builder Verification on my behalf.

Signature Brad Woodard

Print Name BRAD WOODARD

Address 1215 12th Street  
Sacramento, CA

Telephone 4566771  
6-277-1500

**City of Sacramento**  
**Department of Neighborhoods, Planning & Development - Development Services**  
**Sacramento, CA 95814**  
**(916)264-7619 FAX: (916)264-7046**

APPROVED SPECIAL INSPECTION FIRMS	SPECIAL INSPECTION SERVICES PROVIDED												
	1	2	3	4	5	6	7	8	9	10	11	12	13
<b>EARTHTEC LTD.</b> 1830 VERNON ST., #7 ROSEVILLE, CA 95678 (916)786-5273 FAX:786-5263	X	X	X			X							
<b>ENVIRONMENTAL GEOTECHNICAL CONSULTANTS, INC.</b> 4229 NORTHGATE BLVD., #3 SACRAMENTO, CA 95834 (916)925-4789 FAX: 925-5973													
<b>INSPECTIONS CONSULTANTS INC.</b> 11275 SUNRISE GOLD CIRCLE #G RANCHO CORDOVA, CA 95742 (916)635-2972 FAX: (916)635-6547	X	X	X	X	X	X	X	X	X	X	X	X	X
<b>KLEINFELDER, INC.</b> 3077 FITE CIRCLE SACRAMENTO, CA 95827 (916)366-1701 FAX: 366-7013	X	X	X	X	X	X	X	X	X	X	X	X	X
<b>KOELZERT ENGINEERING SERVICES</b> 3560 BUSINESS DR. #1116 SACRAMENTO, CA 95827	X	X											

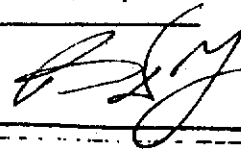
Key of Service Provided	4. Reinforced concrete (prestressed)	8. Structural steel welding	12. Spray applied Fire-proofing.
1. Piling, drilled piers, caissons	5. Pneumatically placed concrete (gunite)	9. Structural steel bolting (high strength)	13. Post-tensioning
2. Soil/ Foundation testing/ Earthwork	6. Reinforcing steel/ welding	10. Structural masonry	
3. Reinforced concrete (cast in place, pre-cast)	7. Pre-stressing steel	11. Insulating concrete	REV. 10/8/97

PAGE 1 OF 7

DATE 8/19/97

PROJECT \_\_\_\_\_

This was  
an original  
Signature



Roth Residence

Remodel

Beams, Ftgs Lateral Calcs

Sacramento CA

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NOV 26 1997

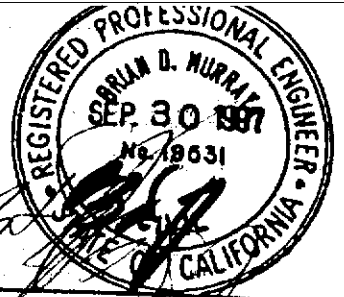
RECEIVED

NOV 12 1997

Building Inspection Division

DATE 8/6/97

PROJECT Roth Residence

Design Considerations

Roof - stick frame / near flat - 12/12 slope @ side  
 corrug roof over  $\frac{1}{2}$ " sheathing  
 built up roofing over flat area

Walls - 3 coat stucco -  $\frac{7}{8}$ " thick

1st floor - plate hts. = 8'-6"

2nd floor - plate hts. = 8'-0"

Foundation - strip + spot ftgs

1000 #/ft soil pressure DL+LL Allowable

EQ - Zone 3 - Plywood Shear - Force = (.103W)

Wind - 75 MPH - Exposure 'B'

Beam - over Existing Kitchen/Bath Wall

that is to be removed - span = 10'-6"

$$\text{Load} = \frac{15}{2}(16+20) + 8'(20\#) + \frac{12}{2}(20+40) + 14\# = 804\#$$

$$R_1 = R_2 = 804 \left( \frac{10.5}{2} \right) = 4221\#$$

$$W_{max} = \frac{4221(5.25)}{2} = 11,080\#$$

check  $3\frac{1}{2}$ " x  $11\frac{7}{8}$ " parallel

$$M_{allow} = 19,900\# \text{ allow} > 11,080\# \text{ actual}$$

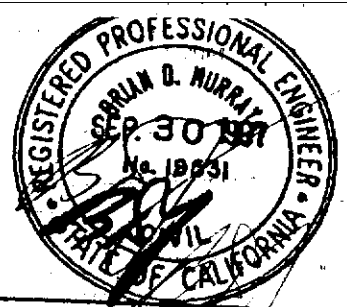
$$S_{allow} = 8035\# \text{ allow} > 4221\# \text{ actual}$$

$$E_{T2} = 1.854(804) \frac{2}{3} = 993,744 < 2,000,000$$

Use  $3\frac{1}{2}$ " x  $11\frac{7}{8}$ " 2,0EWS parallel PSL

DATE 8/19/97

PROJECT Roth Residence



Beam 2 - over Bedroom/Bath Wall which is  
being removed = Span = 22'-6"

$$\text{Load} = \frac{22}{2}(20+16) + 9'(10\#) + 8'(20\#) + \frac{20}{2}(20+140) + 40\#$$

$$= 1286\#/\text{ft}$$

$$R_1 = R_2 = 1286 \left( \frac{22.5}{2} \right) = 14,468\#$$

$$\text{Moms} = \frac{14,468(11.25)}{2} = 81,380\#'$$

Steel Beam

$$S_{\text{reqd}} = \frac{81,380(12)}{17,000} = 57.5 \text{ in}^3$$

$$I_{\text{reqd}} = \frac{5(1286)(22.5)^4(1728)}{384(29,000,000)(1.125)} = 227 \text{ in}^4$$

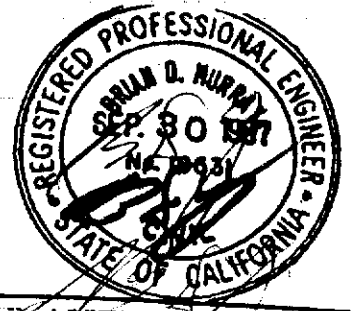
Use - W 10 - 60# - 10.25" deep S = 67.1  
I = 344

- W 12 - 45# - 12.06" deep S = 59.2  
I = 351

- W 14 - 43# - 13.68" deep S = 62.7  
I = 429

- W 16 - 40# - 16" deep S = 64.6  
I = 517

Use 'LB 212' hangers welded to top flange  
Use  $\frac{1}{8}$ " x 2" fillet weld to each side of  
each top flange tab. Distribute weld equally  
on both top flanges. Allow = 1580# > 650# each



Posts & Fty

Beam 1 - R = 4221 #

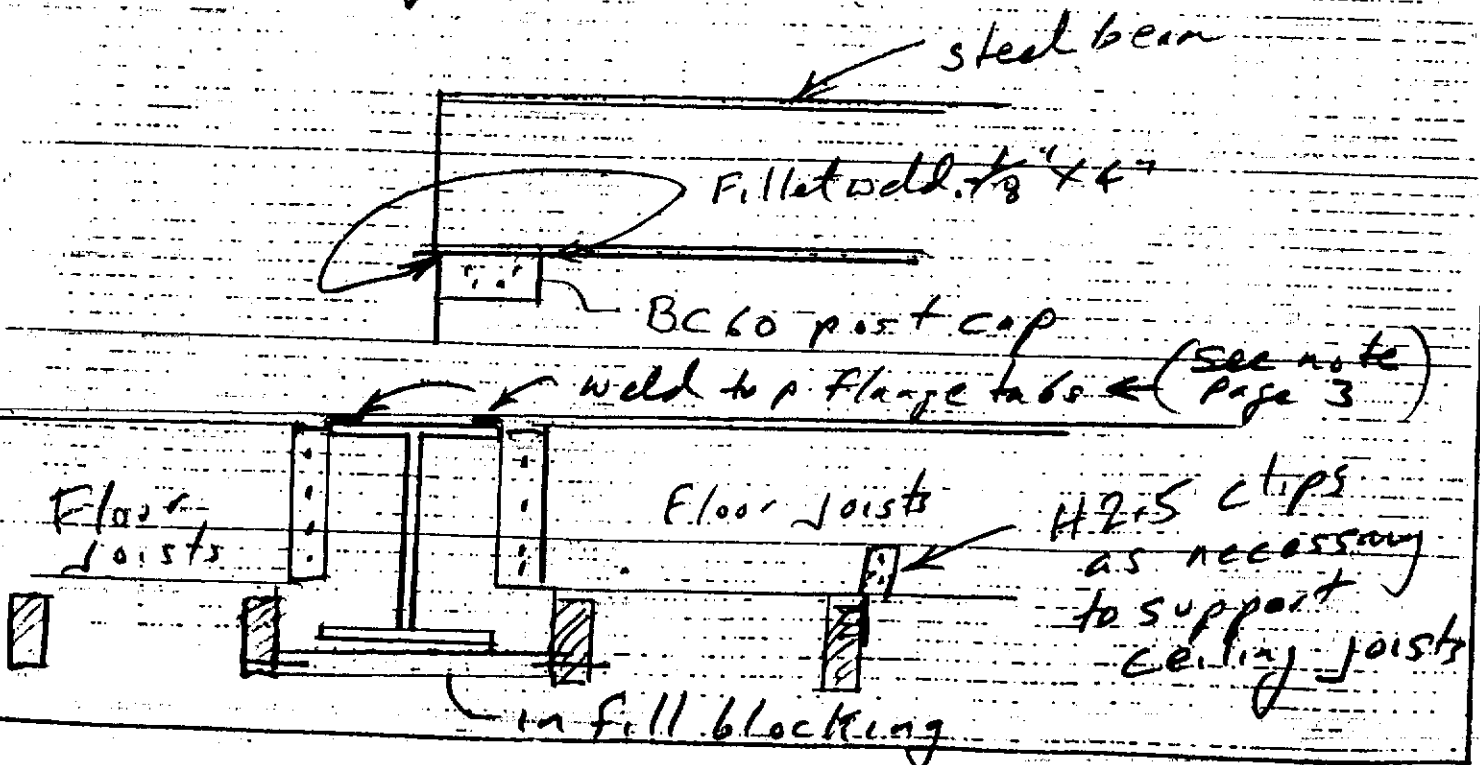
Use 4" x 4" posts  $\frac{4221}{1000} = 4.22'$   
to 2'-2" sq fty with strip fty

(see page 6)

Beam 2 - R = 14,468  $\Rightarrow$  (other end bearing on window header)

$\frac{14468}{1000} = 14.47'$  Use 3'-10" sq with or without strip fty - pour under existing strip fty = 12" thick  
4- #4 reinf each way @ 12" o.c.

Use 6" x 6" posts - Use 'BC 60' welded to bottom beam with  $\frac{1}{8}$ " x 4" fillet weld both sides of base





Lateral CalcsRam Wall Line

$$\text{Wind Force} = \left[ \frac{(19+26)}{2} - 4.5 \right] (5.5) + (26-4.5) (6) (14.5) (1.3) (0.72)$$

$$EQ = 3094 \#$$

$$\text{Force} = [38'(12)(20\#) + 38'(12)(10\#) + 3(16)(11)(12\#)]$$

$$(.103) = 2062 \#$$

Restraining wall = 3'-3" & 3'-3"

$$\frac{3094}{6.5} = 476 \#/\text{ft}$$

Use  $\frac{3}{8}$ " CDX

8 @ 3" o.c. edge

8 @ 12" o.c. field

$$\text{Allow} = 490 \#/\text{ft}$$

Shear @ base - Use 4 ea -  $\frac{1}{2}$ "  $\phi$  anchor bolts  
2 each shear wall section (per UAC)

$$2 \left( \frac{1160}{2} \right) (1.33) = 1546 \# \text{ allow } \approx 1547 \# \text{ actual}$$

Uplift

$$\frac{1547(8.5)}{2.77} = 4747 \#$$

Use HQ6A's  
with SSTB 28's  
embed = 24"

$$\text{Allow} = 5105 \#$$

On existing f/g use Simpson Epoxy Tie  
anchor bolts -  $\frac{7}{8}$ "  $\phi$  threaded rod -

15 1/2" embedment - Allow = 5835 #

Use 3 1/2" members - HQ6A's MAX = 5105 #



Steel top plate to floor diaphragm

3094

$$59 \frac{1}{2} (1.33) (1.83)$$

$$= 48 \text{ reqd}$$

Use  $\emptyset$ d toenails  
Floor joist to  
top plate @ 5" o.c.  
or 10" o.c. each side  
staggered.

Window header supporting steel Beam

$$\text{Span} = 7'-0"$$

$$\text{Load @ } 2'-10" = 14,468 \text{ lb}$$

$$\text{Load on f} = 3'(16 \#) + 18 \# + \frac{1}{2}(16+20) = 102 \text{ lb/ft}$$

$$R_1 = 102 \left( \frac{7}{2} \right) + 14468 \left( \frac{4.16}{7} \right) = 8955 \text{ lb}$$

$$R_2 = 102(7) + 14468 - 8955 = 6227 \text{ lb}$$

$$\text{Mom} = 6227(4.16) - 102(4.16)(2.08) = 25,021 \text{ lb-ft}$$

Check  $3\frac{1}{2}" \times 18"$  parallel

$$\text{Mom} = 43,665 \text{ lb-ft allow} > 25,021 \text{ lb-ft actual}$$

$$\text{Shear} = 12,180 \text{ lb allow} > 8955 \text{ lb actual}$$

$$E_{TC} = \left[ 137(102) + 29(14468) \right] \frac{2}{3} = 289,030 < 2,000,000$$

Use  $3\frac{1}{2}" \times 18"$  2.0E WS parallel PSL

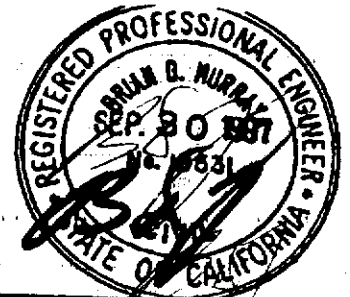
Post @ end = Use  $4" \times 6"$  @ new wall end  
Use  $4" \times 8"$  @ existing wall end

$$4" \times 6" - 7796 \text{ lb allow} - \text{plate crushing controls } > 6227 \text{ lb}$$

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DATE 8/19/97

PROJECT Roth Residence



4" x 8  $3.5(9.5)(405) = 10,631$  #allow  $> 8955$  #actual

Fly  $\frac{8955}{1000} = 8.95$  #  $=$  Use 3'-0" sg = 12" thick  
under exist. strip fly

Fly  $\frac{6227}{1000} = 6.22$  # Use 2'-6" sg = with  
new strip fly

CITY OF SACRAMENTO  
BUILDING INSPECTION \* DEPARTMENT OF PLANNING AND DEVELOPMENT  
1231 I STREET \* SACRAMENTO, CA 95814 \* PHONE (916)264-7619

STRUCTURAL TESTS AND INSPECTIONS SCHEDULE

PRIOR TO OBTAINING THE PERMIT, THE PROJECT OWNER SHALL COMPLETE, SIGN AND SUBMIT THIS FORM FOR THE BUILDING INSPECTION DIVISION FOR APPROVAL.

PROJECT NAME: 1348 43rd St.  
PROJECT ADDRESS: \_\_\_\_\_

PLAN REVIEW # 9715207  
PERMIT NUMBER \_\_\_\_\_

TESTING/INSPECTION AGENCY/IES: \_\_\_\_\_  
\_\_\_\_\_

OWNER'S NAME: X \_\_\_\_\_ SIGNATURE: X \_\_\_\_\_  
(Please Print)

hereby certifies that the Testing/Inspection agency named above has been engaged to perform structural tests and inspections during construction, as noted below, to satisfy all applicable portions of the Uniform Building Code.

INSPECTIONS REQUIRED

In accordance with Sections 302 and 306 of the Uniform Building code, special inspections shall be performed on the following items (circled):

<u>Item</u>	<u>Description</u>	<u>Ref. Dwg.*</u>
1.	CONCRETE _____	_____
2.	REINFORCING/PRESTRESS STEEL _____	_____
3.	WELDING <u>Field welding</u> _____	<u>S-2</u>
4.	HIGH STRENGTH BOLTING _____	_____
5.	STRUCTURAL MASONRY _____	_____
6.	PILING, DRILLED PIERS, CAISSONS _____	_____
7.	SPRAY APPLIED PROOFING _____	_____
8.	OTHER: _____	_____
	_____	_____
	_____	_____

\* Referenced drawings listed represent a sample of the item requiring special inspection and are not intended to document all drawings or specifications containing information pertaining to that item.

BID APPROVAL [Signature]

Date 11/14/97

**SPECIFICATIONS FOR THE  
ROTH RESIDENCE  
1348 43RD STREET  
SACRAMENTO, CA.**

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DIVISION 5	METALS
DIVISION 6	WOODS AND PLASTICS
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DIVISION 15C	WHOLE HOUSE FANS
DIVISION 15D	NOT USED
DIVISION 15E	FIRE SPRINKLER
DIVISION 16	ELECTRICAL

ISSUED  
MAY 26 1997

**RECEIVED**

NOV 12 1997

Building Inspection Division

## SPECIFICATIONS ROTH RESIDENCE

### DIVISION 1. GENERAL DATA

#### Part 1      General

- 1.1 The Contractor is expected to have:
  - A. Studied the contract drawings and specifications and correlated his observations with the conditions under which he is to work, and,
  - B. Visited the site and familiarized himself with conditions on the site.
- 1.2 The Contractor shall familiarize himself with all requirements as to permits, licenses, fees, codes and ordinances and arrange to comply with them. All permits, licenses, fees and inspections required for the work under this contract shall be obtained and paid for by the Contractor unless otherwise specified.
- 1.3 The data on the drawings is as exact as could be secured. Their absolute accuracy is not guaranteed, and the Contractor shall obtain exact locations, measurements, levels, etc., at the site and shall satisfactorily adapt his work to the actual conditions at the building.
- 1.4 The drawings and Specifications are complementary to each other, and what is called for by one shall be binding as if called for by all.
- 1.5 Any discrepancies in plans or specifications discovered by Contractor should be brought to the attention of the Architect immediately for corrective action.
- 1.6 The building site will be kept neat and orderly throughout construction. The Contractor will provide for rubbish and refuse disposal on a regular basis. Storage of building waste on the site will not be allowed. Temporary and orderly storage of usable or salvage lumber or building materials on site is allowable while it is needed for this project. Owner will indicate appropriate location to contractor.

### DIVISION 2 SITE WORK

#### DIVISION 2A EXCAVATION AND ROUGH GRADING

##### Part 1      General

- 1.1 Provide all labor, materials and necessary equipment to complete all excavation, fill and rough grading. All work shall be done according to the drawings and specifications.

##### Part 2      Materials

- 2.1 Any fill under slab shall be gravel

**Part 3 Procedure**

- 3.1 The Contractor shall be held to have examined the site and compared it to the drawings and specifications and satisfied himself as to the conditions under which the work is to be performed.
- 3.2 The Contractor shall protect all pipes and utilities and replace them if damaged during construction.
- 3.3 The building site shall be rough-graded in conformance with the site plan. Any material left after rough grading shall be placed in a location specified by the owner.
- 3.4 Contractor shall remove all debris vegetation from the building area prior to building construction.
- 3.5 Contractor shall remove trees as necessary to accomplish construction. Soil to be recompactd suitably for building construction.

**DIVISION 2B FINISH GRADING**

**Part 1 General**

- 1.1 Provide all labor and equipment to accomplish the finish grading. Grading shall allow for the drainage pattern away from house. Grading to allow for coordination with landscape work (N.I.C.). Landscape work is not included in contract.

**Part 2 Procedure**

- 2.1 Provide level and smooth ground around the building at the completion of construction. The site shall be left free of rubbish.
- 2.2 All exterior flatwork, walks, etc., shall be cleaned after finish grading.

**DIVISION 3 CONCRETE**

**Part 1 General**

- 1.1 Provide all labor, materials, and equipment necessary to install all concrete work shown on the drawings. Concrete work shall include foundation with footings, stem walls, and any other concrete and flat-work shown on plans.

**Part 2 Materials**

- 2.1 Forms for all concrete work to be Douglas Fir, minimum thickness 2x or equal or modular steel framed plywood forms or formwork as approved by the Architect and Structural Engineer.
- 2.2 Vapor barrier of 6 mil polyethylene membrane shall be provided. Install under slabs and in other locations as noted on the plans.
- 2.3 Water used with concrete shall be clean and free from impurities that are likely to be detrimental to the concrete.

**Part 3**      Procedure

- 3.1 For additional notes on concrete and reinforcing steel, see sheets S-1 & S-2.
- 3.2 Provide a 6" lap at all joints of membrane vapor barrier. Vapor barrier to be placed over gravel base.
- 3.3 Reinforcing steel shall be clean, with no substantial rust or dirt. See sheets S-1 & S-2 for additional notes on reinforcing.
- 3.4 All reinforcing bars shall be supported during pouring of concrete.
- 3.5 Concrete shall be a mixture of Portland Cement, coarse and fine aggregate, and water. Ready mixed concrete shall conform with ASTM C94 and shall be mixed for a minimum of 10 minutes, including 3 minutes just prior to pouring concrete.
- 3.6 All floor slabs shall have a smooth steel trowel finish.

**DIVISION 4 MASONRY**  
(NOT USED)

**DIVISION 5 METALS**

**Part 1**      General

- 1.1 Provide labor and materials necessary to complete the metal required in the building.

**Part 2**      Materials

- 2.1 Metal connectors shall be provided as called for in the drawings.

**Part 3**      Procedure

- 3.1 Miscellaneous metal items that are not specifically mentioned in the drawings, but are necessary for the completion of the construction work shall be supplied and installed by the Contractor.

**DIVISION 6 CARPENTRY**

**Part 1**      General

- 1.1 Provide all labor, materials, tools and equipment necessary to complete all carpentry work. See sheet S-1 for additional notes on carpentry.

**Part 2**      Materials

- 2.1 All posts, headers, joists, rafters, top plates to be Douglas Fir #2 or better, unless otherwise noted.
- 2.2 Exterior siding to be stucco. Texture to match existing.
- 2.3 All exterior trim to be A grade surfaced, clear redwood, primed on all sides prior to installation. See construction drawings for sizes and locations. Nailing of trim to be as follows: Nails to be hot dipped galvanized and painted to match stain color of trim. 2-16d nails shall be



space no greater than 16" o.c. Nails shall be approximately 1/2" from edges of trim.

2.4 Interior trims shall be paint grade pine, unless otherwise noted on the drawings.

2.5 Rough hardware shall be as follows:

- A. For framing, use vinyl coated nails or cement coated nails.
- B. All bolts, screws and washers shall be galvanized for exterior applications.
- C. All joist hangers, framing clips, framing straps shall be Simpson "Strong-Tie" or approved equal.

**Part 3 Procedure**

3.1 See sheet S-1 for nailing of framing members

3.2 All blocking, furring and backing necessary for the work of all other trades shall be provided during the framing.

3.3 All structural lumber shall be clearly marked with grade and stamp of lumber grading organization.

3.4 For all exposed interior woodwork, nails shall be set to allow for putty stopping, and woodwork shall be cleaned and sanded as necessary for application of paint or stain.

3.5 All joints in finish work shall be beveled; butted joints will not be acceptable. All corners in trims shall be mitered.

**DIVISION 6B MILLWORK  
(NOT USED)**

**DIVISION 7 THERMAL AND MOISTURE PROTECTION**

**DIVISION 7A INSULATION**

**Part 1 General**

1.1 Provide labor, materials and equipment necessary to complete installation of all insulation, including sound-proofing and thermal insulation.

**Part 2 Materials**

2.1 Thermal insulation in walls to be fiberglass with aluminum or Kraft paper facing. Ceiling / attic insulation may be either fiberglass batt or blown cellulose fiber with vapor barrier to be provided on conditioned side of insulation.

2.2 Thermal insulation "R" values are as follows:

- A. First floor, between joists; R-19, see plans.
- B. Exterior walls; see plans.
- C. Ceilings / roofs; see plans.
- D. HVAC ductwork in attic; R-38.

- E. HVAC ductwork in crawl space; R-8.
- 2.3 Soundproofing insulation to be fiberglass sound batts.
- 2.4 "Polycell One" or equal shall be applied at window and door openings, at all exterior and sound wall penetrations by pipes, conduits, etc., and at all sill plates.
- 2.5 "TYvec" infiltration barrier to be used at all exterior house walls.

**Part 3 Procedure**

- 3.1 Batt insulation shall be of sizes manufactured for stud and joists spacing called for on the framing plan. Batts shall be stapled to the interior sides of studs and joists. There shall be no gaps in the installation placement.
- 3.2 "TYvec House Wrap" to be applied to exterior skin of plywood sheathing on all exterior walls of house, per manufacturer's instructions.

**DIVISION 7B ROOFING**

**Part 1 General**

- 1.1 Provide all labor, equipment and tools to complete installation of all roofing as shown on the drawing.

**Part 2 Materials**

- 2.1 Underlayment to be asphalt felt laid horizontally as specified by roofing manufacturer's installation requirements.
- 2.2 Fasteners to be roofing nails as specified by roofing manufacturer's installation requirements.
- 2.3 Roofing to match existing composition shingles.

**Part 3 Procedure**

- 3.1 The roofing contractor shall inspect the roof deck prior to roofing application. Deck shall be dry and free of foreign materials which would interfere with the roofing application. Any holes, cracks or other irregularities shall be reported to the General Contractor for remedy before beginning roof application.
- 3.2 Installation of metal flashings, roof jacks, etc., affecting the roofing shall be in place before work begins.
- 3.3 Any alternates proposed shall be submitted in writing to the owner and Architect, together with explanation for proposed change.

**DIVISION 7B-1 BUILT UP ROOFING  
(NOT USED)**

**DIVISION 7C SHEET METAL**

**Part 1**     General

- 1.1 Provide all labor, equipment and materials necessary to furnish and install all sheet metal, including but not limited to: sheet metal caps, flashings, vents. Sheet metal and flashings not specifically mentioned or noted in the drawings shall be required where necessary to provide a watertight building.

**Part 2**     Materials

- 2.1 All galvanized sheet metal shall conform to ASTM A93 or A446, with a minimum gauge of 26. Nails used with galvanized metal shall be hot-dipped galvanized.
- 2.2 All solder used shall conform to ASTM standards, B32-60 AT, Grade A.

**Part 3**     Procedure

- 3.1 The Contractor shall examine all surfaces that shall receive his work. Any detrimental conditions that will affect that work must be reported to the General Contractor and the Architect. Commencement of work will be interpreted as acceptance of all surfaces.
- 3.2 Sheet metal shall be fabricated with straight and true lines and angles. All joints shall be tightly fitted, with all edges folded under 3/4" minimum. No sharp edges will be accepted. All work shall be watertight.
- 3.3 Sheet metal shall be well fastened with nails or screws 6-8" o.c. In conditions where sheet metal is exposed to weather, use lead washers.

**DIVISION 7D       WATERPROOFING  
(NOT USED)**

**DIVISION 8   DOORS AND WINDOWS**

**DIVISION 8A DOORS  
(NOT USED)**

**DIVISION 8B       WINDOWS**

**Part 1**     General

- 1.1 Provide and install windows in sizes and locations shown on the floor plan.

**Part 2**     Materials

- 2.1 Windows shown on plans are to match existing. Contractor to verify cladding color with Architect prior to ordering windows.
- 2.2 Windows shall have bug screens set in tubular frames. Verify color with Architect.
- 2.3 All windows shall be installed level and square and in a manner to insure water tightness and ease of operation. All windows shall be cleaned, with all undue soil marks removed from all glass and metal. Final cleaning shall be by General Contractor.

## **DIVISION 9 FINISHES**

### **DIVISION 9A DRYWALL**

#### **Part 1 General**

- 1.1 Provide all labor, material and equipment necessary to furnish finished interior walls and ceilings.

#### **Part 2 Materials**

- 2.1 Wall board shall be by U.S. Gypsum, Gold Bond or equal. Wall boards shall be 1/2" thick on interior walls and 5/8" thick on ceilings.
- 2.2 Corner beads to be metal.

#### **Part 3 Procedure**

- 3.1 See sheet S-1 for nailing of gypsum board.
- 3.2 All exterior corners shall have corner beads and a casing bead shall be provided where wallboard meets other materials.
- 3.3 All joints, recessed nail heads and all other depressions shall be finished with joint cement according to manufacturer's instructions.
- 3.4 Match existing gyp. brd. texture.

### **DIVISION 9B PAINTING**

#### **Part 1 General**

- 1.1 Provide all labor, materials and equipment to complete paint job, interior and exterior. See paint schedule for additional notes.

#### **Part 2 Materials**

- 2.1 Paints and primers to be Fuller O'Brien or approved equal.
- 2.2 Stains to be Behr or approved equal.
- 2.3 Verify paint color w/ owner.

#### **Part 3 Procedure**

- 3.1 The contractor shall have examined all surfaces which will receive his work. Any detrimental conditions that will affect that work must be reported to the General Contractor and the Architect. Commencement of work will be interpreted as acceptance of all surfaces receiving his work.
- 3.2 All surfaces and objects not to be painted shall be protected during painting.
- 3.3 All surfaces to be painted shall be sanded, cleaned, puttied and dressed by this contractor.
- 3.4 Paint shall be applied in a smooth, even fashion, with no gaps or visible defects.
- 3.5 All galvanized sheet metal should be washed with acid prior to painting.

- 3.6 Upon completion of painting, paint shall be cleaned from all stained surfaces, hardware, glass and all other surfaces that are not to be painted.
- 3.7 See painting schedule for type, location and color of all painted surfaces.

**DIVISION 9C FLOOR COVERINGS**

**Part 1 General**

- 1.1 Provide all labor, materials and equipment necessary to install all floor coverings.

**Part 2 Materials**

- 2.1 Location of floor coverings is noted in the Finish Schedule.
- 2.2 Hardwood floor to match existing.

**Part 3 Procedure**

- 3.1 Hardwood to be installed according to manufacturer's instructions.
- 3.2 Hardwood to be sanded in place, then penetrating oil stain shall be applied.
- 3.3 Two coats of satin urethane shall be applied to all hardwood floors.

**DIVISION 10 SPECIALTIES  
(NOT USED)**

**DIVISION 11 EQUIPMENT**

**DIVISION 12 FURNISHINGS  
(NOT USED)**

**DIVISION 13 SPECIAL CONSTRUCTION  
(NOT USED)**

**DIVISION 14 CONVEYING SYSTEMS  
(NOT USED)**

**DIVISION 15 MECHANICAL  
(NOT USED)**

**DIVISION 15A PLUMBING  
(NOT USED)**

**DIVISION 15B HVAC SYSTEM  
(NOT USED)**

- 1.1 The HVAC system includes extension of duct runs to new area.

**DIVISION 15E  
DIVISION 16**

**FIRE SPRINKLER SYSTEM (NOT USED)  
ELECTRICAL**

**Part 1**     General

**1.1**     Work included:

- A.     Electrical work includes all labor, tools and materials necessary to install, test and place in operation complete and operable electrical systems, as shown on the plans and described herein.
- B.     Secure all permits and pay all fees necessary for the prosecution and completion of this work.
- C.     Contractor will allow for and coordinate with the installation of the Home Theater / Video / TV system, the Home Automation system, the Telephone system, and any other special systems relating to the electrical work in the house and related construction.

**1.2**     Drawings: The electrical layouts are generally diagrammatic. The location of outlets and equipment are approximate unless dimensioned. The exact locations and routing of conduits shall be governed by structural conditions, physical interference and the location of electrical of equipment.

**1.3**     Quality Assurance:

- A.     All work shall be in full accord with the latest edition of the National Electrical Code, all local, state, and federal codes, and with the requirements of Pacific Telephone and serving utility company.
- B.     All electrical materials used on this project shall be best possible grade of their kinds, new, free from defects and, unless otherwise specifically noted, shall conform to applicable standards of the National Electrical Manufacturer's Association, The American National Standards Institute and Underwriters Laboratories, Inc. Each article of a kind shall be the standard product of a single manufacturer.

**1.4**     Warranty: Guarantee all work for one year from date of acceptance against all defects in material, equipment and workmanship.

**Part 2**     Products

**2.1**     Furnish service entrance equipment as noted on plans. Design shall conform to standards of serving utility. Identify all breakers, instruments and devices with a permanent circuit index at each electrical panel.

**Part 3**     Execution

**3.4**     Lighting Fixture Installation:

- A.     Install fixtures complete with all necessary connectors and brackets. Remove all labels except UL label from exposed parts of fixtures. Clean fixtures upon project completion.

- B. Where structural members or mechanical equipment prevents installation of fixtures as shown, resulting layout shall be symmetrical within ceiling space and approved by the owner.
- C. Install lamps of proper type. Consult lighting schedule for specific fixture type, style, and model number.
- D. Provide \$500 allowance for light fixtures.