

# RESOLUTION NO. 2003-642

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON THE DATE OF SEPTEMBER 16, 2003

**RESOLUTION APPROVING THE APPEAL OF THE DECISION OF THE PLANNING COMMISSION FOR CONDITIONS REGARDING THE HEIGHT OF MONUMENT SIGNS WITHIN THE POINT WEST PUD FOR THE ROCHESTER SIGN PROJECT LOCATED AT 1740 ARDEN WAY. (APN: 277-0272-010) (P03-016)**

**WHEREAS**, at the public hearing on June 26, 2003, the City Planning Commission heard and considered evidence on the request for approval of various entitlements for the project known as Rochester Sign;

**WHEREAS**, on June 26, 2003, the City Planning Commission approved the requested entitlements, with conditions;

**WHEREAS**, on July 1, 2003, the decision of the City Planning Commission pertaining to conditions of height for monument signs in the SC zone within the Point West PUD was appealed by the applicant; and

**WHEREAS**, the City Council conducted a public hearing on September 2, 2003 concerning the above project and based on documentary and oral evidence submitted at the public hearing, the Council hereby adopts the Notice of Decision and Findings of Fact, as set forth herein.

**NOW, THEREFORE BE IT RESOLVED**, by the Council of the City of Sacramento that subject to the findings of fact and conditions of approval set forth below, the applicant's appeal is approved, and the requested height increase is approved by the City Council.

## **Findings of Fact**

- A. Categorical Exemption: The City Council finds and determines that the proposed project is exempt from environmental review pursuant to Section #15311 of the CEQA Guidelines.
- B. PUD Guidelines Amendment to allow an increase of height for monument signs in the Point West PUD in the Shopping Center Review Planned Unit Development (SC-R-PUD) zone is approved based upon the following findings:

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1. The proposed PUD Guideline Amendments do not alter the building height or setback requirements established by the PUD;
2. The proposed PUD Guideline Amendments do not change the types or intensities of land uses;
3. The sign area shall not be out of scale and character with the size of the parcel and shall be in compliance with the City's visibility requirements;

**Conditions of Approval**

B. The PUD Guidelines Amendment to allow an increase of height for monument signs is hereby approved subject to the following conditions:

B1. Point West PUD Guidelines Sign Regulations Section 5A-9(a) shall be amended to add 5A-9(a)(i) and read as follows:

5A-9(a)(i)

"For Multi-tenant signs in the SC zone see 5C-3".

B2. Point West PUD Guidelines Sign Regulations Section 5C-1 shall be amended to read as follows:

5C-1

"One attached sign per tenant is permitted. For retail and restaurant uses three attached signs are permitted, if the building is over 250 lineal feet from the curb line of the street right-of-way it is facing. One detached monument sign per parcel is also permitted. Two attached signs and one detached monument sign is allowed if the building is located on a corner and has two street frontages with vehicle access. Maximum sign area for the attached sign's shall meet the requirements of the City Sign Ordinance and Section 5D of these development guidelines. For all detached monument signs, except as below in 5C-2 & 5C-3 all monument signs shall meet the requirements of Section 5A-9 and 5D of these development guidelines."

B3. Point West PUD Guidelines Sign Regulations Section 5C-3 shall be added and read as follows:

5C-3

"Multi-tenant Monument Sign – A parcel with more than one tenant may have a monument sign up to nine (9) feet overall height, including any architectural embellishment, subject to the following:

- a. The entire sign area shall not exceed 45 square feet;

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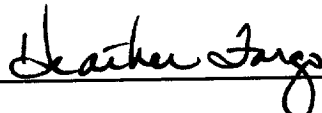
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- b. The maximum sign area per tenant copy shall not exceed 15 square feet including the background area;
- c. The sign shall include the address;
- d. Prior to issuance of a building permit the sign shall be reviewed and approved by the Design Review staff;
- e. The sign shall add to the aesthetics of the area, being of high quality material and uniquely decorative;
- f. The sign shall be a minimum of 10 feet from any property line or driveway;"

B4. With the adoption of the amended PUD Guidelines, approval of condition C4, as approved by the Planning Commission, pertaining to the sign variance shall be deleted.

  
\_\_\_\_\_  
MAYOR

ATTEST:  
  
\_\_\_\_\_  
CITY CLERK

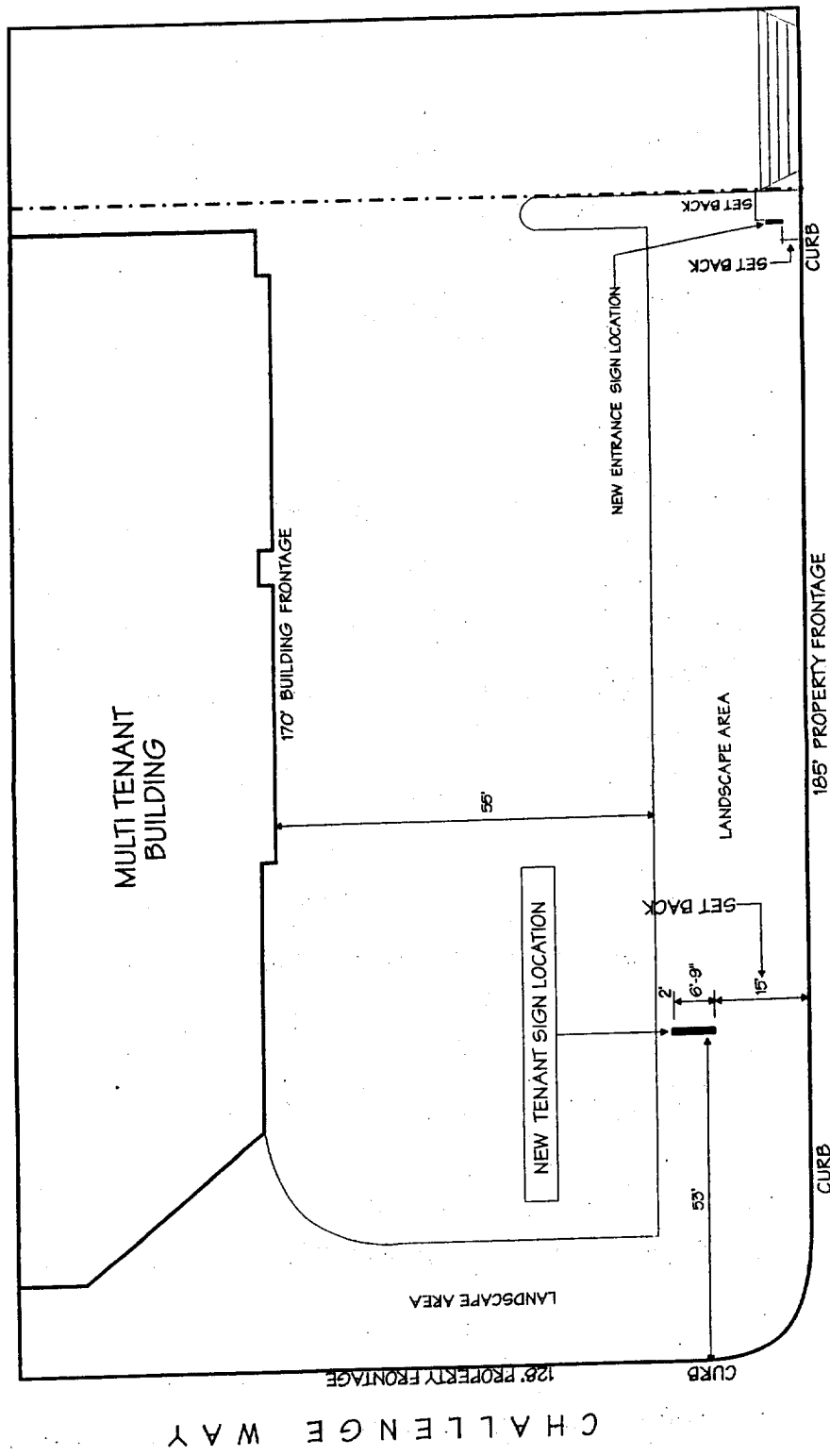
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Exhibit 1 - Site Plan



J.A. COLLINS  
1740 ARDEN WAY  
SACRAMENTO, CALIF.

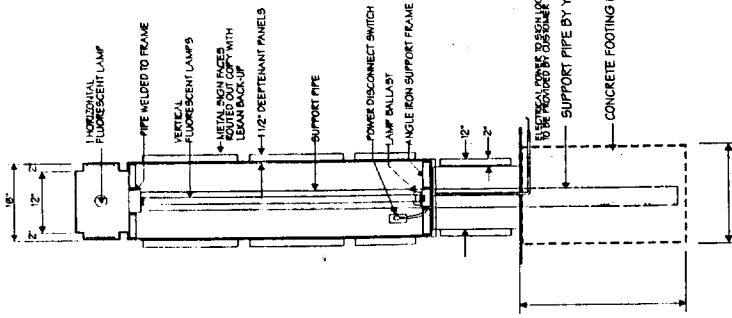
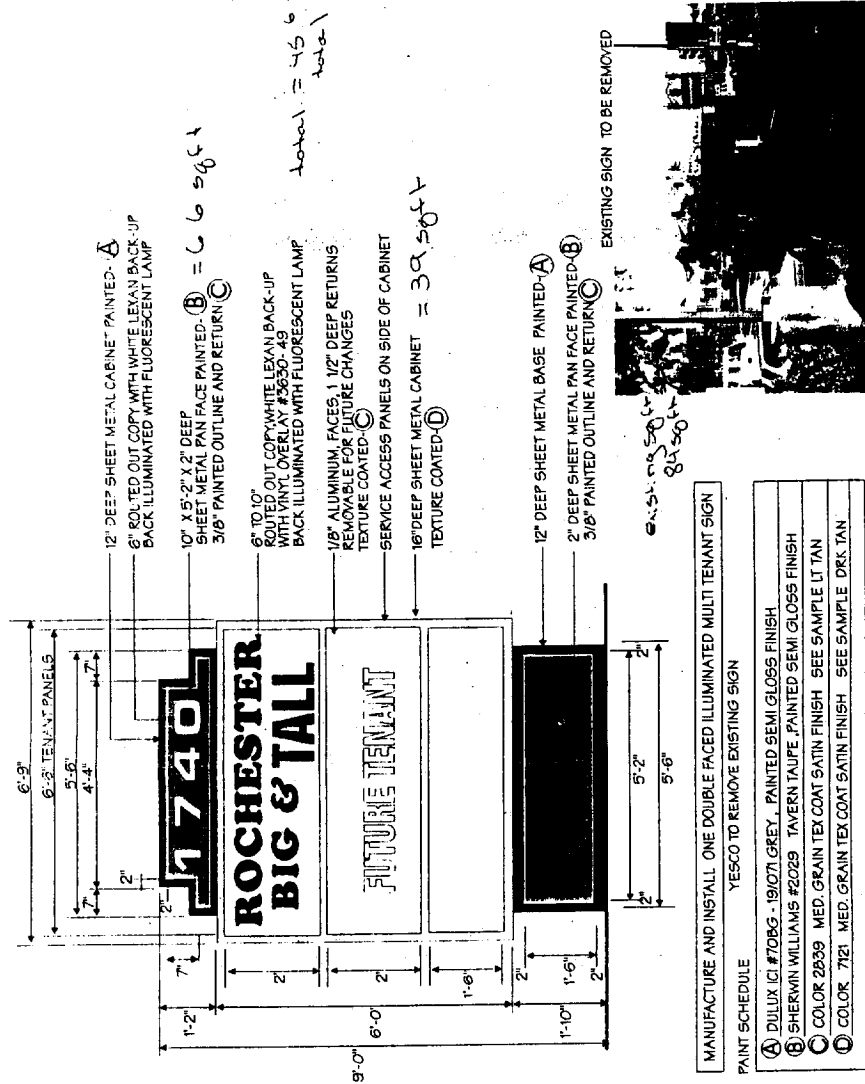
**SITE PLAN**  
SCALE: 1/8"=1'-0"

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Exhibit 2 – Sign Elevation\*

\* Not Approved by City Council  
 Conditioned to be reviewed and approved  
 by Design Review staff



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**SACRAMENTO BRANCH**  
 YOUNG ELECTRIC SIGN COMPANY  
 4108-C South Park Court, SACRAMENTO, CA 95834 (916) 935-5185

YESCO CONTRACTOR LICENSE NO. C-46250000739

THIS DOCUMENT IS THE PROPERTY OF YOUNG ELECTRIC SIGN COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF YOUNG ELECTRIC SIGN COMPANY. THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SPECIAL INSPECTIONS ARE NOT INCLUDED IN SIGN PROPOSAL.

NO.	DESCRIPTION	DATE	BY
1	DESIGN	11/25/02	JAC
2	PERMITS		
3	INSTALLATION		

**J.A. COLLINS**  
 1740 ARDEN WAY  
 SACRAMENTO, CALIF.  
 95834  
 (916) 935-5185

02-2326A  
 ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE