

P98-002 - I-80 Industrial/ Lot 4

- REQUEST:
- A. **Environmental Determination: Negative Declaration**
 - B. **Mitigation Monitoring Plan;**
 - C. **Plan Review to develop two one-story warehouse buildings totaling 83,750 square feet on 4.95 vacant acres in the Light Industrial (M-1SR) zone in the North Sacramento Community Plan area (D2).**

LOCATION: Raley Blvd. and Diesel and Bell Avenues
238-0220-009
North Sacramento/ Raley Industrial Park
Grant Joint Union / Robla School Districts
Council District 2

APPLICANT:	Ted Kopecko with MGA, Inc.; (916) 481-6000 4330 Auburn Blvd., Suite 1500 Sacramento, CA 95841
OWNER:	Benvenuti Kassis Properties II 1325 J Street Sacramento, CA 95812
APPLICATION FILED:	January 7, 1998
STAFF CONTACT:	Doug Holmen, 264-8267

SUMMARY:

The applicant is proposing to develop two one-story warehouse buildings on 4.95 vacant acres in the Light Industrial (M-1SR) zone in the North Sacramento Community Plan area. The two warehouses would form an "L" shape configuration with the largest warehouse (Building A) consisting of 53,750 square feet facing Diesel Avenue with its longer edge. The other warehouse (Building B) which would have its shorter side facing Bell Avenue would consist of 30,000 square feet. The proponent is proposing 91 parking stalls. The

vehicular entrance to Building A would be off of both Raley and Diesel. The entrance to Building B would be off of Bell Avenue.

There are no basic issues associated with the project.

RECOMMENDATION:

Staff recommends approval of the Plan Review subject to conditions set forth herein. The proposed project is in conformity with the Sacramento General Plan and North Sacramento Community Plan and the City's Zoning Ordinance.

PROJECT INFORMATION:

General Plan Designation:	Heavy Commercial or Warehouse
Community Plan Designation:	Industrial
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	Light Industrial (M-1SR)

Surrounding Land Use and Zoning:

North: Single Family, Warehouse; M-1SR
 South: Warehouse, gas station; M-1SR
 East: Warehouse; M-1SR
 West: Vacant; M-1SR

Setbacks:	Required	Provided
Front:	25'	25'
Side(St):	25'	25'

Property Dimensions:	Irregular
Property Area:	4.95± gross acres
Square Footage of Building:	Building A: 53,750 square feet; Building B: 30,000 square feet
Height of Building:	28± feet, one story
Exterior Building Materials:	concrete tilt-up
Roof Material:	Flat industrial
Parking Provided:	91 spaces
Parking Required:	84 spaces
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Design Review	Design Review Staff
Driveway Permit	Public Works, Development Services
Building Permit	Building Division

BACKGROUND INFORMATION:

The proposed project would be constructed on vacant land appropriately zoned. The two warehouse buildings would compliment the other warehouse structures in the area. There are no issues associated with the project.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The proposed project is in conformance with the General Plan and Community Plan land use designations. It is a policy in the General Plan to: "Allow industrial development only in those areas where potential impacts can be expected to be minimized." The area to the west and south of McClellan Air Force Base is a good location for industrial and warehouse development.

The North Sacramento Community Plan states in the section related to industrial development (page 27) that: "the West-of-McClellan area needs to be developed with recognition of the significant environment influence of McClellan Air Force Base. The McClellan Air Installation Compatible Use Zone Guidelines indicate industrial use in the area west of the base would be compatible."

A goal for the proposed project area is: "Provide the opportunity to develop a large portion of the West-of-McClellan area as a regional warehousing and distribution facility area." The objective for this goal is: "Develop the full potential of the West-of-McClellan area by establishing its suitability for regional warehousing and distribution facilities. These uses are not employee intense and, as such, are consistent with land use suggestions of McClellan Air Force Base guidelines."

The proposed project would be in conformance with the above goal and objectives of the North Sacramento Community Plan.

B. Site Plan Design/Zoning Requirements**1. Setbacks**

The proposed project is in an area that requires the buildings to be set back a minimum of 25 feet from the street property line. The proposed Building A has a minimum setback of 25 feet from Raley Blvd. and Diesel Avenue. Building B has a minimum setback of 25 feet from Bell Avenue.

The proposed Building B has an interior lot setback of five feet. An interior setback is not required in this zone.

2. Parking/Circulation

The proposed project would require 84 parking spaces. The applicant intends to provide 91 parking spaces. Therefore, the proposed project meets the zoning requirement for parking.

The major roadways serving the project site are Raley and Bell Avenues. At SGPU build out, the roadways are anticipated to experience levels of service (LOS) "F" and "E" traffic conditions, respectively (SGPU DEIR, Y-81). A LOS "F" by SGPU definition signifies a congested condition with stop and go traffic at speeds less than 30 mph (SGPU DEIR, Y-3.). A LOS "E" signifies a traffic condition of unstable flow at roadway capacity. Operating speeds are 30 to 25 mph or less (ibid). The SGPU DEIR anticipated trips based on heavy commercial/warehouse use. Pursuant to the SGPU DEIR Technical Appendix, page I- 10, the employee intensity was based on 2 employees per 1,000 square feet; and a building density of 15,000 square feet per acre. Pursuant to the SPGU DEIR (p. Y- 56) sixteen trips are generated per 1,000 square feet. Therefore, the proposed 4.95 acre site would generate 1,188 average daily trips. According to the traffic engineer, who consulted the most recent Institute of Traffic Engineers Trip Generation Manual, Revision 6, Volume 1, p. 198; the trips for the proposed use would be 658 average daily trips. Since the trip generation would be less than the trips assumed by the SGPU EIR, there is no traffic impact that was not already anticipated by the EIR. It is imperative, however, that the proposed project be retained as a heavy commercial/ warehouse use to avoid any future traffic impacts. The proposed warehouses shall contain no more than 20 percent office/ retail so as to not contribute to the possible attainment of LOS F.

3. Landscaping

The proposed project would provide landscaping in the 25 foot setback areas as well as meeting the 50% shading requirement of the parking lots.

4. Signage

The proposed project is a speculative project and no signs are shown on the plans. Signage shall comply with the sign ordinance.

C. Building Design

The proposed project would be typically concrete tilt-up warehouses. The height of the proposed buildings would be 28± feet. The warehouse buildings would be similar to the other warehouses in the surrounding area. There are no required Design Review actions. The color of the building walls would be a light creme/tones.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified impacts or to mitigate such impacts to a point where clearly no significant impacts will occur. These mitigation measures address noise, transportation, and cultural resources. The mitigation measures are listed in the Mitigation Monitoring Plan.

B. Public/Neighborhood/Business Association Comments

The application information was sent to several advisory groups in the area and there were no concerns or issues returned from the groups.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The following summarizes the comments received:

1. Solid Waste Division

A warehouse project of this size would be required to set aside an area for a minimum of two cubic yards of recycling capacity. It recommended that the developer set more space for recycling to maximize the benefits of diversion.

2. Landscape Architecture

The Parking lot shade ordinance would need to be followed.

3. Fire Department

- A fire flow analysis would need to be done.
- The setback of Building B should be a minimum of 20 feet from the rear property line.
- A KNOX Box would need to be placed on each building.
- There needs to be additional hydrants (every 300 feet around the building) cross tied and looped within the development .

4. Technical Services Division, Department of Public Works

- Show the existing and proposed improvements on Raley Blvd. and Bell Ave. Include center lines, right-of-way lines, curb, gutter, sidewalk and driveway cuts.
- The minimum throat depth for driveways on Raley Blvd. and Bell Ave. is 60 feet. Throat distance is that distance a vehicle must travel before being able to turn either right or left. This results in the loss of eight parking spaces- four from each entrance.
- Driveways shall be to City Standards and to the satisfaction of the Department of Public Works.
- Owner must comply with A.D.A. requirements.
- The southern most trash enclosure must be relocated further north in order to provide the necessary maneuvering space for vehicles (20 feet).
- There is a 25 foot ingress/egress easement which runs adjacent to the northern side of the East property line. Twelve and a half feet of this easement is on the subject site and 12.5 feet is on the adjoining site. Please show this easement and the necessary area of the adjoining site on the revised site plan. The purpose of this easement is to provide access to Lot A of the I-80 Industrial Park. This easement can not be built on, parked over or obstructed in any way.
- There is a 20 foot overhead line easement adjacent to the southern section of the East property line. Ten feet of this easement is on the subject site and 10 feet is on the adjacent site. This easement must be shown and the necessary area of the adjoining site on the revised site plan.

5. Sacramento Regional County Sanitation District

Construction of public collector sewer, public sewer easement and a private

sewer easement to service Parcel No. 238-0220-006 will be required to the satisfaction of Water Quality Division. The sewer easements shall be dedicated to CSD-1, be 20 feet in width and ensure continuous access for maintenance.

6. Department of Utilities

- A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. At a minimum, one foot off-site contours within 100 feet of the project boundary are required. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
- A sanitary sewer study described in section 9.9 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities.
- A drainage study and shed map as described in section 11.7 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. The 10- year and 100- year HGL's shall be shown on the improvement plans. Finished lot pad elevations shall be a minimum of 1.00 feet above the 100- year HGL and approved by the Department of Utilities.
- An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
- Post construction, storm water quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than one acre, both source controls and on-site treatment control measures are required. On-site treatment control measures may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include on-site treatment control measures. Refer to the draft "Manual of Standards for Design of New Development On-Site Storm water Quality Control Measures", dated January 23, 1995, for appropriate source control measures and recommended on-site control measures.
- The applicant must determine if they are required to obtain the State "NPDES General Permit for Storm water Discharges Associated with Industrial Activity". Applicant shall submit determination to the Department of Utilities for approval.

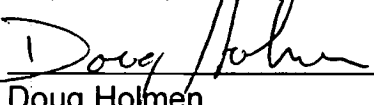
- The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
- Any new domestic water services shall be metered. Only one domestic water service will be allowed per parcel.
- Multiple fire services are allowed per parcel and may be required.
- All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.

PROJECT APPROVAL PROCESS: of the entitlements below, Planning Commission has the authority to approve or deny the Plan Review. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

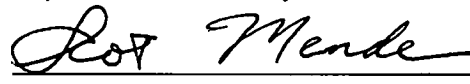
RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact ratifying the Negative Declaration;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Mitigation Monitoring Plan;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Plan Review to develop two one-story warehouse buildings totaling 83,750 square feet on 4.95 vacant acres in the Light Industrial (M-1SR) zone in the North Sacramento Community Plan area.

Report Prepared By,


 Doug Holmen,
 Associate Planner

Report Reviewed By,


 Scot Mende,
 Senior Planner

Attachments

- | | |
|--------------|---------------------------------------|
| Attachment 1 | Notice of Decision & Findings of Fact |
| Exhibit 1A | Mitigation Monitoring Plan |
| Exhibit 1B | Site Plan |
| Exhibit 1C | Elevations |
| Exhibit 1D | Landscape Plan |

Attachment 2

Vicinity Map

Attachment 3

Land Use & Zoning Map

ATTACHMENT 1:
NOTICE OF DECISION AND FINDINGS OF FACT FOR
I-80 Industrial/ Lot 4
@
Diesel Drive and Raley Blvd.
SACRAMENTO, CALIFORNIA
IN THE
LIGHT INDUSTRIAL ZONE
APN: 275-0300-017 (P98-002)

At the regular meeting of August 13, 1998, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Ratified the Negative Declaration;
- B. Approved the Mitigation Monitoring Plan;
- C. Approved the Plan Review to develop two one-story warehouse buildings on 4.95 vacant acres in the Light Industrial (M-1SR) zone in the North Sacramento Community Plan area.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Negative Declaration: The City Planning Commission approves the Negative Declaration, based upon the following findings:
 - 1. The Negative Declaration was prepared and circulated for the above-identified project pursuant to the requirements of CEQA;
 - 2. The proposed Negative Declaration and comments received during the public review process were considered prior to action being taken on the project;

3. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.
- B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan is **approved** based upon the following findings:
1. Mitigation measures have been added to the above-identified project;
 2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit 1A;
 3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec. 21081.6.
 4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.
- C. Plan Review to develop two one-story warehouse buildings totaling 83,750 square feet on 4.95 vacant acres in the Light Industrial (M-1SR) zone. The Plan Review to develop two one-story warehouses is **approved** subject to the following findings of fact and conditions of approval:
1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. The area in which the warehouses are located is designated in the General Plan and North Sacramento Community Plan for heavy commercial and warehouse uses;
 - b. Adequate parking will be provided for the warehouses; and
 - c. The proposed warehouses would be in character with the surrounding area.
 2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. Adequate safety measures are being incorporated into the finished site and building design, and
 - b. Any adverse environmental conditions will be mitigated.

3. The project is consistent with the General Plan which designate the site Heavy Commercial or Warehouse.

D. CONDITIONS OF APPROVAL

- D1. Comply with the Mitigation Monitoring Plan attached as Exhibit 1A.
- D2. The project shall substantially conform to the site plan and elevations as shown on Exhibits 1B and 1C.
- D3. Office uses within the warehouses shall not exceed 20% of the total building square footage.
- D4. Set aside an area for a minimum of two cubic yards of recycling capacity. It recommended that the developer set more space for recycling to maximize the benefits of diversion.
- D5. The Parking lot shade ordinance would need to be followed.
- D6. A fire flow analysis would need to be done prior to obtaining a building permit.
- D7. The setback of Building B should be a minimum of 20 feet from the rear property line.
- D8. Place a KNOX Box on each building for use by the Fire Department.
- D9. Place additional hydrants every 300 feet around the building, cross tie and loop within the development .
- D10. On the revised site plan, show the existing and proposed improvements on Raley Blvd. and Bell Ave. Include center lines, right-of-way lines, curb, gutter, sidewalk and driveway cuts.
- D11. The minimum throat depth for driveways on Raley Blvd. and Bell Ave. is 60 feet.
- D12. Driveways shall be to City Standards and to the satisfaction of the Department of Public Works.
- D13. Owner must comply with A.D.A. requirements.
- D14. The southern most trash enclosure must be relocated further north in order to provide the necessary maneuvering space for vehicles (20

feet).

- D15. On a revised site plan, show the 25 foot ingress/egress easement which runs adjacent to the northern side of the East property line. Twelve and a half feet of this easement is on the subject site and 12.5 feet is on the adjoining site. The purpose of this easement is to provide access to Lot A of the I-80 Industrial Park. This easement can not be built on, parked over or obstructed in any way.
- D16. There is a 20 foot overhead line easement adjacent to the southern section of the East property line. Ten feet of this easement is on the subject site and 10 feet is on the adjacent site. This easement must be shown and the necessary area of the adjoining site on the revised site plan.
- D17. Construction of public collector sewer, public sewer easement and a private sewer easement to service Parcel No. 238-0220-006 will be required to the satisfaction of Water Quality Division. The sewer easements shall be dedicated to CSD-1, be 20 feet in width and ensure continuous access for maintenance.
- D18. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. At a minimum, one foot off-site contours within 100 feet of the project boundary are required. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
- D19. A sanitary sewer study described in section 9.9 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities.
- D20. A drainage study and shed map as described in section 11.7 of the City Design and Procedures Manual is required. This study and shed map shall be approved by the Department of Utilities. The 10- year and 100- year HGL's shall be shown on the improvement plans. Finished lot pad elevations shall be a minimum of 1.00 feet above the 100- year HGL and approved by the Department of Utilities.
- D21. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).

- D22. Post construction, storm water quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than one acre, both source controls and on-site treatment control measures are required. On-site treatment control measures may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include on-site treatment control measures. Refer to the draft "Manual of Standards for Design of New Development On-Site Storm water Quality Control Measures", dated January 23, 1995, for appropriate source control measures and recommended on-site control measures.
- D23. The applicant must determine if they are required to obtain the State "NPDES General Permit for Storm water Discharges Associated with Industrial Activity". Applicant shall submit determination to the Department of Utilities for approval.
- D24. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
- D25. Any new domestic water services shall be metered. Only one domestic water service will be allowed per parcel.
- D26. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.

CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

August 13, 1998

Attachments

- Exhibit 1A
- Exhibit 1B
- Exhibit 1C
- Exhibit 1D

**Exhibit 1A
Mitigation Monitoring Plan**

Recording
Not
Required

-
-
-
-
-

MITIGATION MONITORING PLAN

FOR

I-80 Industrial/ Lot 4/ P98-002

Type of Environmental Document:
Negative Declaration

Prepared By:
**City of Sacramento, Development Services Division
July 30, 1998**

Adopted By:
City of Sacramento, City Planning Commission

Date:

Attest:

Chairperson

CITY OF SACRAMENTO

MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan has been required and prepared by the Department of Planning and Development, Environmental Services Division, 1231 I Street, Suite 301, Sacramento, CA 95814, (916) 264-5381, pursuant to California Environmental Quality Act Guidelines Section 21081.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: I-80 Industrial/ Lot 4/ P98-002
Owner/Developer- Name: Benvenuti Kassis Properties II
Address: 1325 J Street
Sacramento, CA 958120

Project Location / Legal Description of Property (if recorded):

Diesel and Raley Blvd., APN: 238-0220-009

SECTION 2: GENERAL INFORMATION

The project as approved includes mitigation measures placed on noise, transportation/circulation, and cultural resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above.

The applicant is proposing to construct two warehouse structures totaling 83,750 square feet in the North Sacramento Community Plan area. The project is located in the Light Industrial- Review zone and requires a plan review. The Sacramento General Plan designation is Heavy Commercial or Warehouse and the North Sacramento Community Plan designation is Industrial.

SECTION 3: PLAN CONTENTS

3. Noise:

MITIGATION MEASURE

- A.
 1. All joints in exterior walls shall be grouted or caulked airtight.
 2. Window or through-the-wall ventilation and air conditioning units

shall not be permitted.

3. All penetrations of exterior wall shall include a ½ inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
4. Windows must have a minimum STC rating of 29 or better. Windows facing the noise source should comprise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile an hour wind per ASTM standards.
5. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.

MONITORING PROGRAM

Prior to issuance of building permit, the Building Division shall require that the approved construction plans incorporate all applicable noise attenuation measures, as noted above or those measures determined to be applicable from a licensed acoustical engineer, that will reduce the interior noise level to 65 dB Ldn or less.

The Building Division shall document implementation of all mitigation measures prior to issuance of final building permits or a Certificate of Occupancy.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Neighborhoods, Planning and Development Department - Building Division

4. Transportation/ Circulation:

MITIGATION MEASURE

- B. The proposed warehouses shall contain no more than 20 percent office/retail so as to not contribute to the possible attainment of LOS F.

MONITORING PROGRAM

Prior to approving building permits or tenant improvements for the area within the warehouses, the Building Division shall calculate office area to assure the aggregate office area does not exceed 20 percent of the gross floor area of each warehouse structure.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Planning and Development Department, Building Division

3. Cultural Resources:**MITIGATION MEASURE**

- C. If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

MONITORING PROGRAM

The building permit plans shall include notes stating that if subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall be stopped and an archaeologist shall be consulted.

Site inspections by the Building Division shall watch for any potential archaeological resources during site visits. A City contact person shall be notified (in Permit Services) in case of an archaeological discovery. The Building Division shall attach this requirement to the approved permit plans and include this measure as a random inspection item on the Special Conditions Attachment.

If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction within the affected area continues. The City department responsible for inspection and approval of the construction project shall verify the adequacy of the proposed mitigation measures by referring the mitigation plans to the Environmental Services Division for approval. A six foot high construction barrier shall be placed around the affected area until such mitigation measures have been implemented.

In the case of additional review as required above, the developer shall deposit with the City adequate funds, as determined by the Environmental Services

Division, to provide funding for the City review of revised mitigation measures and monitoring program provisions. These funds will be deposited prior to resumption of work within the affected area. The Building Division shall verify that the project plans incorporate the revised measures prior to resumption of work in the affected area.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento
Department of Public Works, City of Sacramento

RESOLUTION NO. _____

ADOPTED BY THE SACRAMENTO CITY PLANNING COMMISSION
ON DATE OF _____

**MITIGATION MONITORING PLAN FOR Plan Review to
develop two one-story warehouse buildings on 4.95
vacant acres in the Light Industrial (M-1SR) zone in the
North Sacramento Community Plan area (D2) (APN 238-
0220-009).**

WHEREAS, the City Planning Commission held a public hearing to review the
above described project;

WHEREAS, the above described project has been given a Negative Declaration
by the Environmental Coordinator; and

WHEREAS, the proposed Negative Declaration finds that the proposed project
will not have a significant effect on the environment because mitigation measures have
been added to the project; and

WHEREAS, in accordance with Section 21081.6 of the California Public
Resources Code, the City of Sacramento requires that a Mitigation Monitoring Plan be
developed for implementing mitigation measures as identified in the Initial Study for the
project; and

WHEREAS, the applicant for the project has agreed to the provisions of the
Mitigation Monitoring Plan as indicated on the Agreement contained in the attached
Mitigation Monitoring Plan.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF SACRAMENTO THAT:

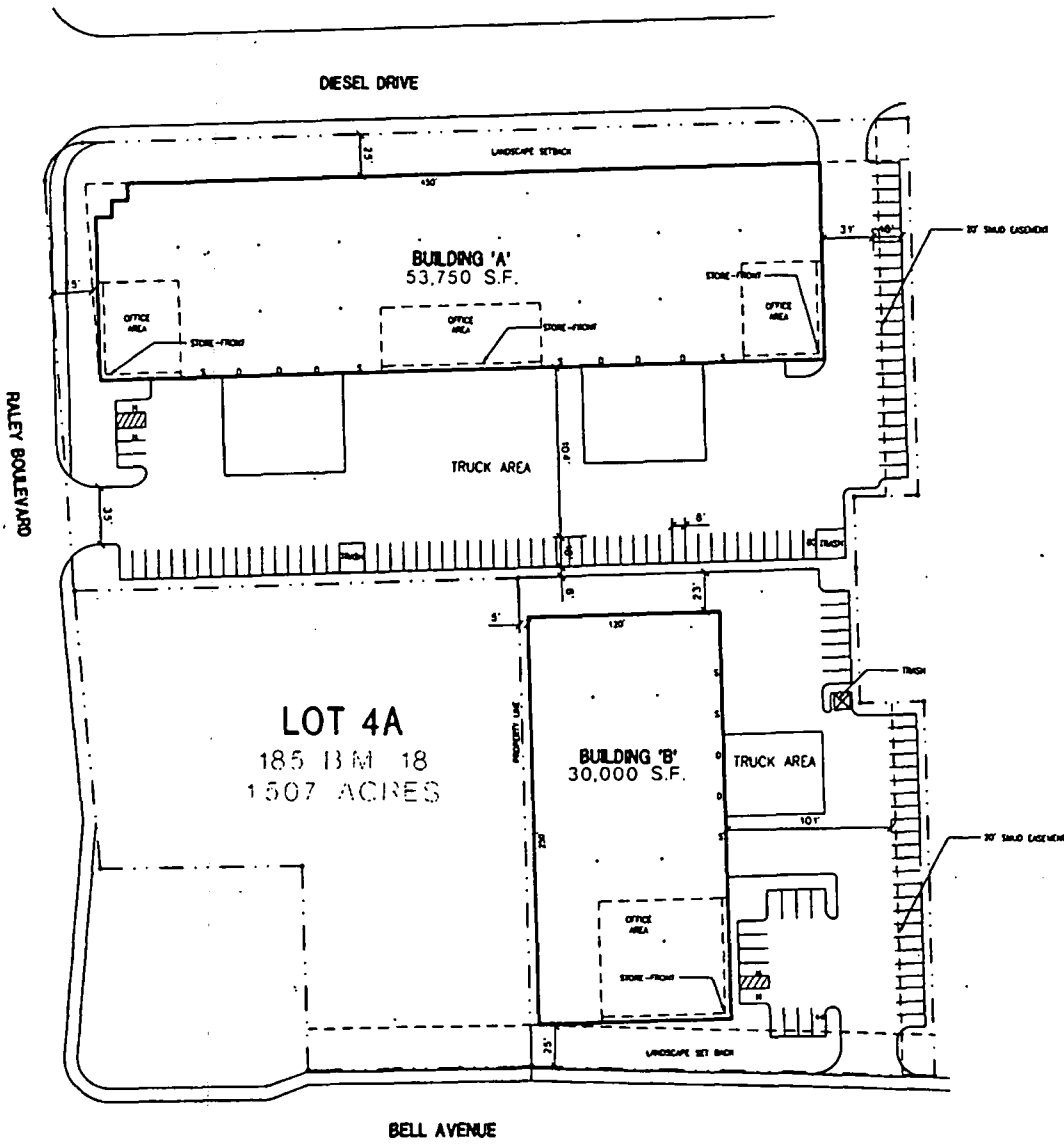
1. The Mitigation Monitoring Plan for the I-80 Industrial/ Lot 4 (P98-002)
project be approved and adopted as shown in the attached Mitigation Monitoring Plan
dated July 30, 1998.

Planning Commission Chair

ATTEST:

Secretary to Planning Commission

Exhibit 1B
Site Plan



GENERAL STATISTICS:

ZONE	MIS-R
SITE ACRES	4.95 acres
PROPOSED BUILDING 'A' S.F.	53,750 S.F.
PARKING REQUIRED BLDG 'A'	54
PARKING SHOWN	80
PROPOSED BUILDING 'B' S.F.	30,000 S.F.
PARKING REQUIRED BLDG 'B'	30
PARKING SHOWN	44

NOTE: OFFICE AREA IS LESS THEN 25% OF TOTAL SF

I - 80 INDUSTRIAL PARK - LOT 4

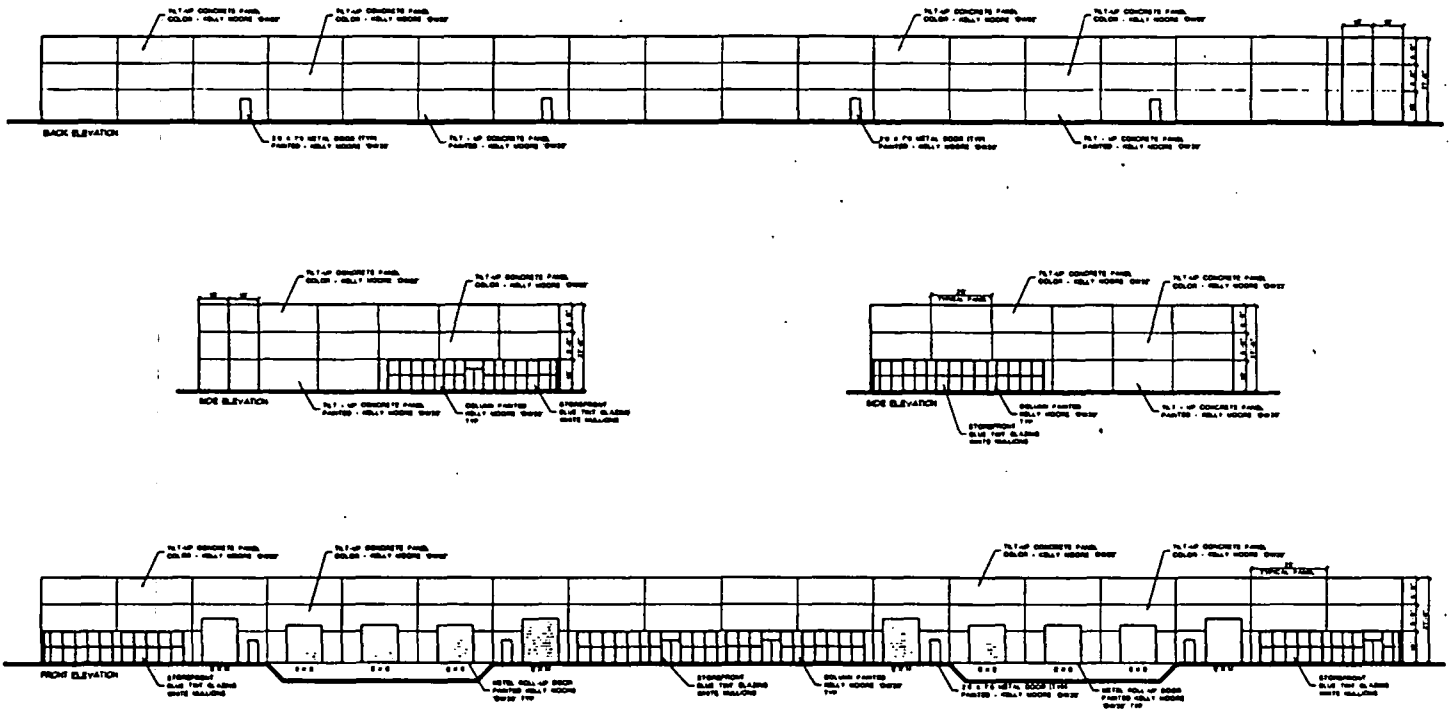
SENVENUTI - KASSIS PROPERTIES II

SACRAMENTO

CALIFORNIA



Exhibit 1C
Elevations
Building A



I - 80 INDUSTRIAL PARK - LOT 4 - BUILDING A

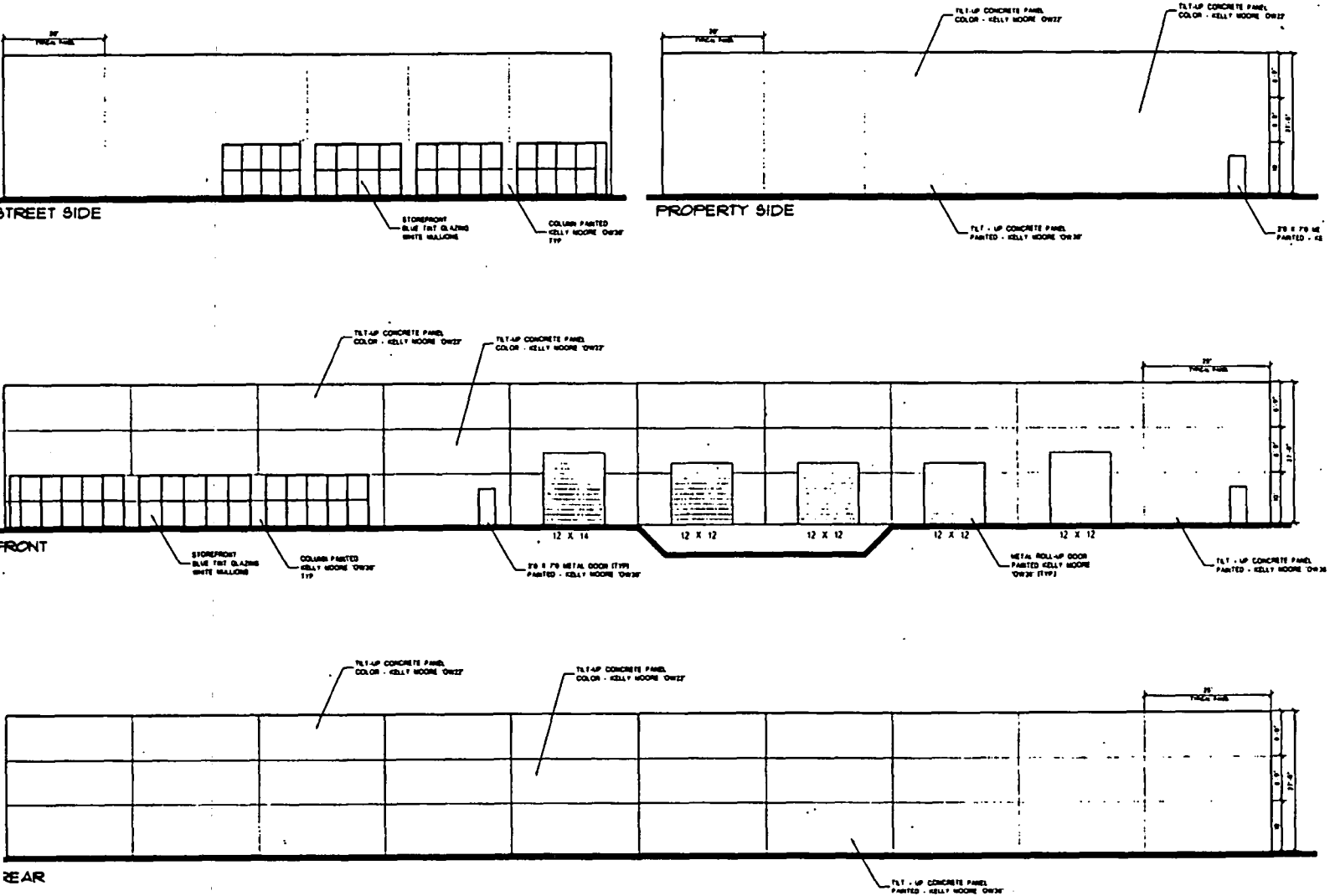
BENVENUTI - KASSIS PROPERTIES ■

SACRAMENTO

CALIFORNIA



Exhibit 1C
Elevations
Building B



I - 80 INDUSTRIAL PARK - LOT 4 - BUILDING B

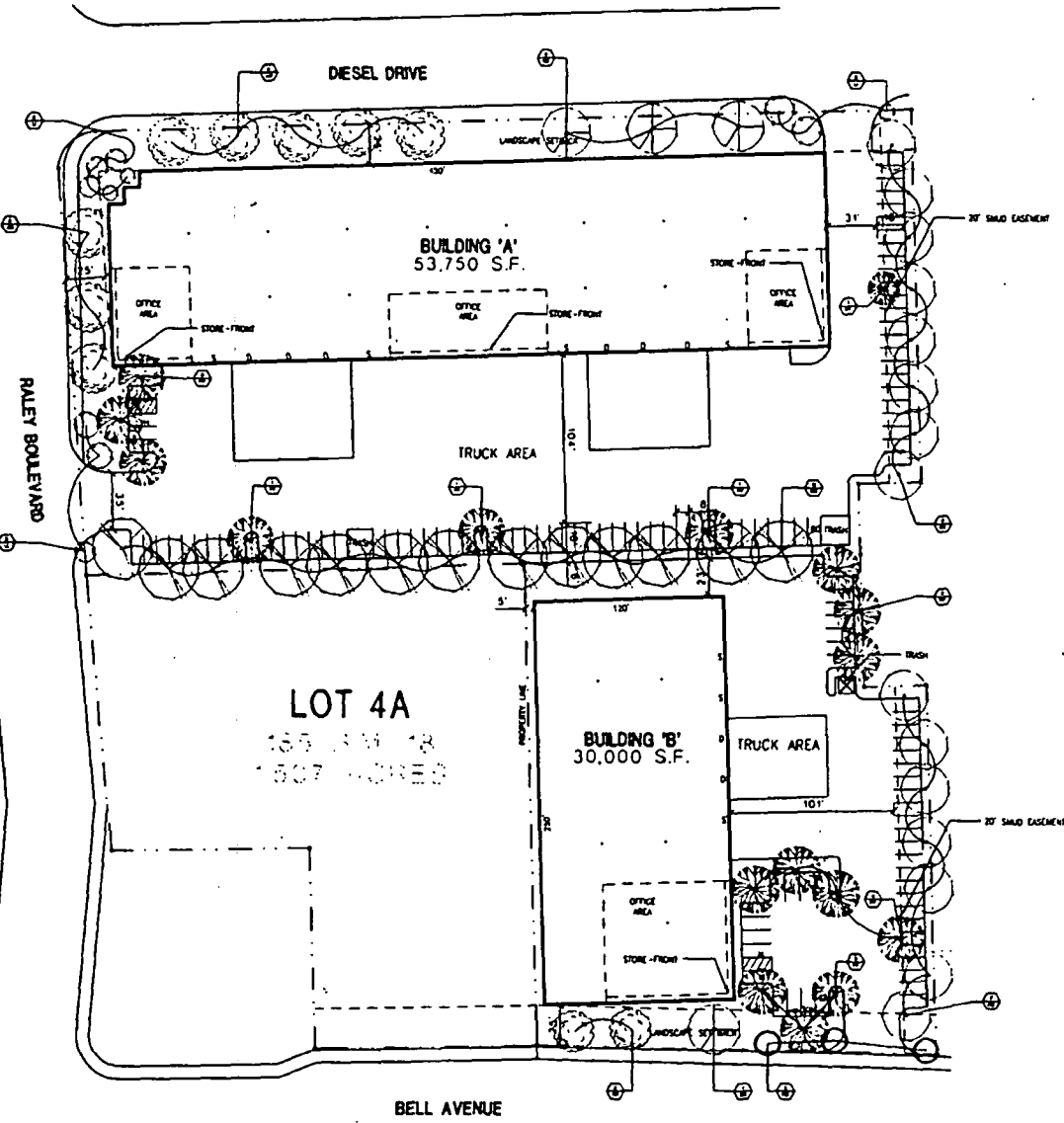
BENVENUTI - KASSIS PROPERTIES B

SACRAMENTO

CALIFORNIA



Exhibit 1D
Landscape Plan



WATER USE CALCULATIONS

USE TYPE	PLANT TYPE	Quantity (Per 1000 sq ft)	Water Use (Gals)	Water Use (MG)	Water Use (MG)
Office	Tree	100	1000	0.000	0.000
Office	Shrub	100	1000	0.000	0.000
Office	Grass	100	1000	0.000	0.000
Office	Other	100	1000	0.000	0.000
Total					

SHADING CALCULATIONS

USE TYPE	PLANT TYPE	Quantity (Per 1000 sq ft)	Shading (Per 1000 sq ft)	Shading (MG)	Shading (MG)
Office	Tree	100	1000	0.000	0.000
Office	Shrub	100	1000	0.000	0.000
Office	Grass	100	1000	0.000	0.000
Office	Other	100	1000	0.000	0.000
Total					

PLANT LEGEND

- Plant Species 100'
- Plant Species 200'
- Plant Species 300'
- Plant Species 400'
- Plant Species 500'
- Plant Species 600'
- Plant Species 700'
- Plant Species 800'
- Plant Species 900'
- Plant Species 1000'
- Plant Species 1100'
- Plant Species 1200'
- Plant Species 1300'
- Plant Species 1400'
- Plant Species 1500'
- Plant Species 1600'
- Plant Species 1700'
- Plant Species 1800'
- Plant Species 1900'
- Plant Species 2000'
- Plant Species 2100'
- Plant Species 2200'
- Plant Species 2300'
- Plant Species 2400'
- Plant Species 2500'
- Plant Species 2600'
- Plant Species 2700'
- Plant Species 2800'
- Plant Species 2900'
- Plant Species 3000'
- Plant Species 3100'
- Plant Species 3200'
- Plant Species 3300'
- Plant Species 3400'
- Plant Species 3500'
- Plant Species 3600'
- Plant Species 3700'
- Plant Species 3800'
- Plant Species 3900'
- Plant Species 4000'
- Plant Species 4100'
- Plant Species 4200'
- Plant Species 4300'
- Plant Species 4400'
- Plant Species 4500'
- Plant Species 4600'
- Plant Species 4700'
- Plant Species 4800'
- Plant Species 4900'
- Plant Species 5000'
- Plant Species 5100'
- Plant Species 5200'
- Plant Species 5300'
- Plant Species 5400'
- Plant Species 5500'
- Plant Species 5600'
- Plant Species 5700'
- Plant Species 5800'
- Plant Species 5900'
- Plant Species 6000'
- Plant Species 6100'
- Plant Species 6200'
- Plant Species 6300'
- Plant Species 6400'
- Plant Species 6500'
- Plant Species 6600'
- Plant Species 6700'
- Plant Species 6800'
- Plant Species 6900'
- Plant Species 7000'
- Plant Species 7100'
- Plant Species 7200'
- Plant Species 7300'
- Plant Species 7400'
- Plant Species 7500'
- Plant Species 7600'
- Plant Species 7700'
- Plant Species 7800'
- Plant Species 7900'
- Plant Species 8000'
- Plant Species 8100'
- Plant Species 8200'
- Plant Species 8300'
- Plant Species 8400'
- Plant Species 8500'
- Plant Species 8600'
- Plant Species 8700'
- Plant Species 8800'
- Plant Species 8900'
- Plant Species 9000'
- Plant Species 9100'
- Plant Species 9200'
- Plant Species 9300'
- Plant Species 9400'
- Plant Species 9500'
- Plant Species 9600'
- Plant Species 9700'
- Plant Species 9800'
- Plant Species 9900'
- Plant Species 10000'

GENERAL STATISTICS:

ZONE	MIS-R
SITE ACRES	4.95 acres
PROPOSED BUILDING 'A' SF	53,750 SF
PARKING REQUIRED BLDG 'A'	54
PARKING SHOWN	80
PROPOSED BUILDING 'B' SF	30,000 SF
PARKING REQUIRED BLDG 'B'	30
PARKING SHOWN	44

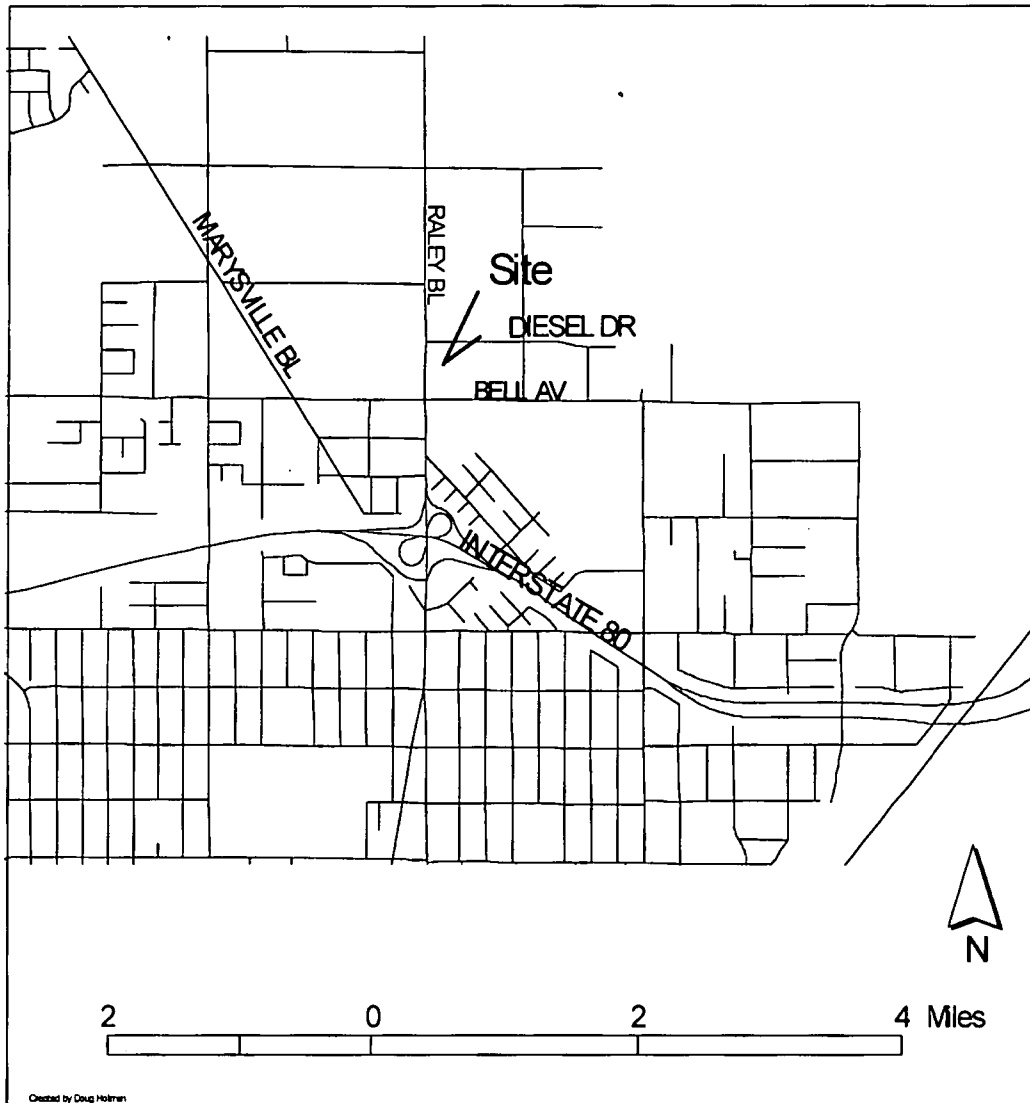
NOTE: OFFICE AREA IS LESS THEN 25% OF TOTAL SF

I - 80 INDUSTRIAL PARK - LOT 4
BENVENUTI - KASSIS PROPERTIES

SACRAMENTO CALIFORNIA



**Attachment 2
Vicinity Map**



**Attachment 3
Land Use and Zoning Map**

