

CITY OF SACRAMENTO

Permit No: 9901075

1231 I Street, Sacramento, CA 95814

Insp Area: 3

Site Address: 2548 5TH AV SAC

Sub-Type: ASFR

Parcel No: 013-0203-008

Housing (Y/N): N

CONTRACTOR

CHRIS E BRITTON
310 WISCONSIN AV
SAC, CA 95833

OWNER

FOUTS ROBERT O
3224 BAKER ST
SAN FRANCISCO CA 94123

ARCHITECT

Nature of Work: MASTER BEDROOM ADDITION, & BATHROOM, & UPGRADE ELECTRICAL SERVICE TO 200 AMP

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 20525 Date 2-17-99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 2-17-99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____ Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 2-17-99 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

CITY OF SACRAMENTO
APPLICATION FOR [REDACTED] BUILDING PERMIT

DEVELOPMENT SERVICES DIVISION
PERMIT SERVICES SECTION
 1231 I Street, Rm. 200
 Sacramento, CA 95814 (916) 264-7619 FAX 264-7046

PLAN CHECK # 9901075R **Insp. Area** SR

Applicant MUST complete ALL Unshaded areas this page only

ADDRESS 2548 5TH AVE SACRAMENTO, CA. Suite _____
PARCEL # _____

CONTACT Name <u>CHRIS BRITTON</u> Address _____ Zip _____ Phone <u>922-4382</u> FAX _____		LICENSED CONTRACTOR Lic No. # <u>620525</u> Name <u>CHRIS E. BRITTON</u> Address <u>310 WISCONSIN AVE</u> <u>SACRAMENTO, CA.</u> Zip <u>95833</u> Phone <u>922-4382</u> FAX <u>SAME</u>	
ARCHITECT/ENGINEER Name _____ Address _____ Zip _____ Phone _____ FAX _____		OWNER [REDACTED] Name <u>ELLEN SMITH</u> Address <u>2548 5TH AVE</u> <u>SACRAMENTO, CA.</u> Zip _____ Phone <u>955-3817</u> FAX _____	

→ Will the permittee have any employees on the jobsite? Yes No

→ If yes, WORKER'S COMPENSATION POLICY # _____ EXPIRATION DATE: _____

NAME OF INSURANCE COMPANY: _____

NATURE OF WORK IN DETAIL: MAJOR BED AND BATH ADDITION + ELECTRICAL SERVICES UPGRADE TO 200 AMP.

DBA: _____ VALUATION: _____

FLOOD STATUS:				S.C.A.T.						
JOB DESCRIPTION		BLDG	SHEL	APT	TI()	REM()	SW	FIRE	ADD	OTH
INSP. DISCIPLINES		BLDG		MECH	PLUMB	ELEC		SITE	FIRE	
# Stories	1st flr Area	Total Area	Use Zone	Occp Group	Const type	Fire Req. Y/N		Fed Code	Vio. File	
		<u>158</u>		<u>R3</u>	<u>UN</u>	Spr	Alarm	<u>1A</u>	<u>N</u>	
<u>(P)</u>	<u>L</u>	<u>P</u>	<u>M</u>	<u>(E)</u>	<u>F</u>	<u>S</u>		<u>D</u>	<u>R</u>	

COMMENTS: RESIDENTIAL - ROUTE TO MATH

REGIONAL SANITATION FEES? Yes No HEALTH DEPARTMENT? Yes No

REV

UPC Section 201

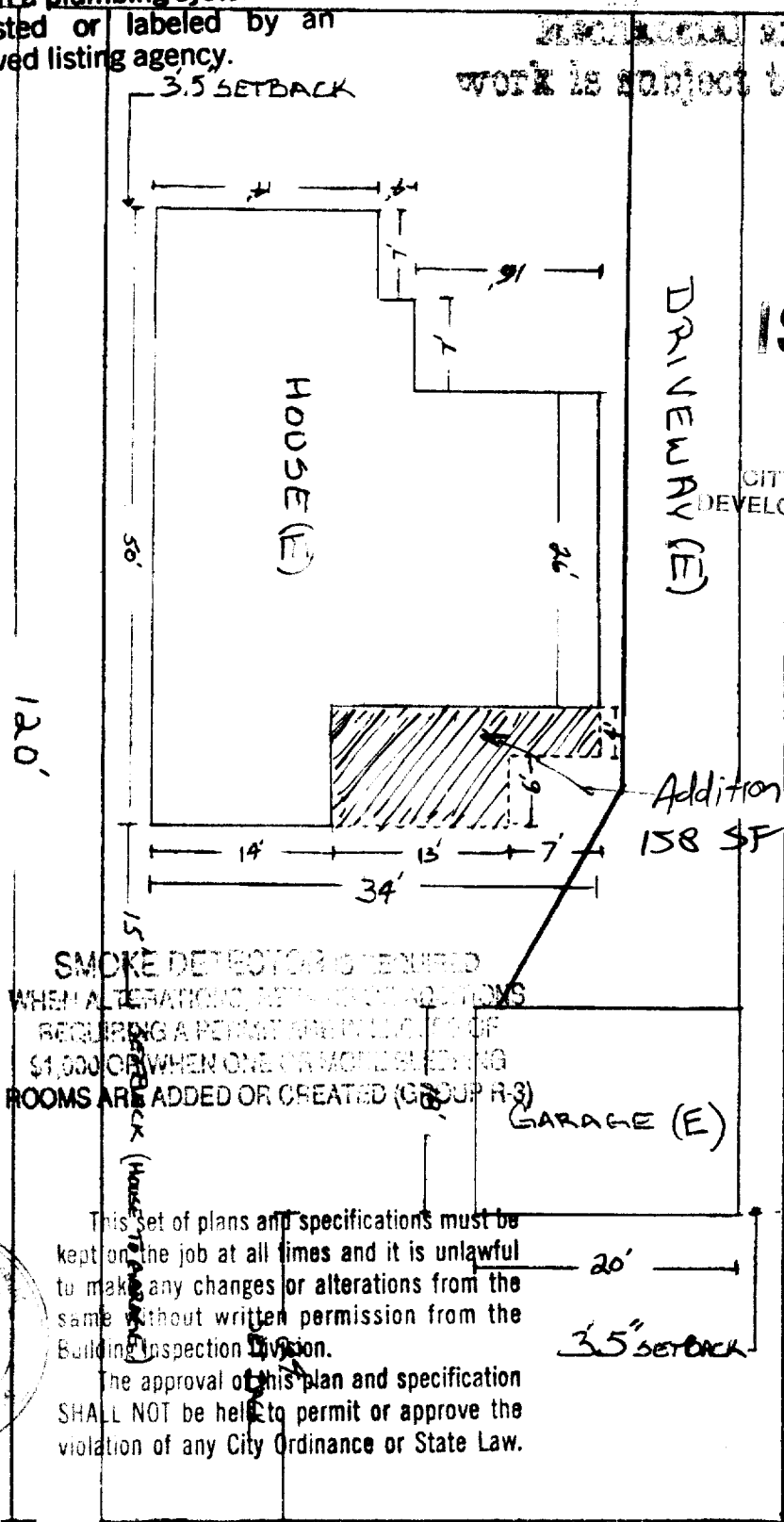
All pipe, pipe fittings, traps, fixtures, materials, and devices used in a plumbing system shall be listed or labeled by an approved listing agency.

5 TH. AVENUE

Electrical work is subject to field inspection

The approval of all Electrical Work is subject to field inspections

SCALE: 1" = 14'



ISSUED

FEB 17 1999

CITY OF SACRAMENTO DEVELOPMENT SERVICES DIV

RECEIVED

FEB 10 1999

Building Inspection Division

PLOT PLAN

Existence (E)

Addition (Hatched)

SMOKE DETECTOR IS REQUIRED WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT HAVE A GROSS VALUE OF \$1,000 OR WHEN ONE OR MORE BUILDING ROOMS ARE ADDED OR CREATED (C.S. SUP R-3)

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

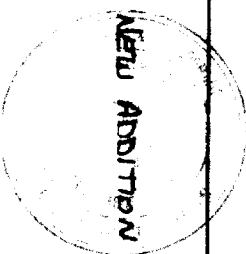
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

PERSONAL SAFETY BUILDING CODE SEE ATTACHED INSTRUCTIONS

CHRIS E. BRITTON Lic # 6805215
 GENERAL CONTRACTOR
 310 WILSONS AVE SACRAMENTO, CA 95835
 2/8/99
 PAGE 1 OF 11

9901075R

Reviewed by MAT P. 2/12/99 see attached 3 sheets at back



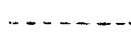
2548 5TH AVE

CHRIS E. BRITTON GENERAL CONTRACTOR
210 WILSON AVE. SACRAMENTO, CA. 95833

LIC. #620525



NEW WALL



BASEMENT WALL



NEW ADDITION DIVIDING LINE



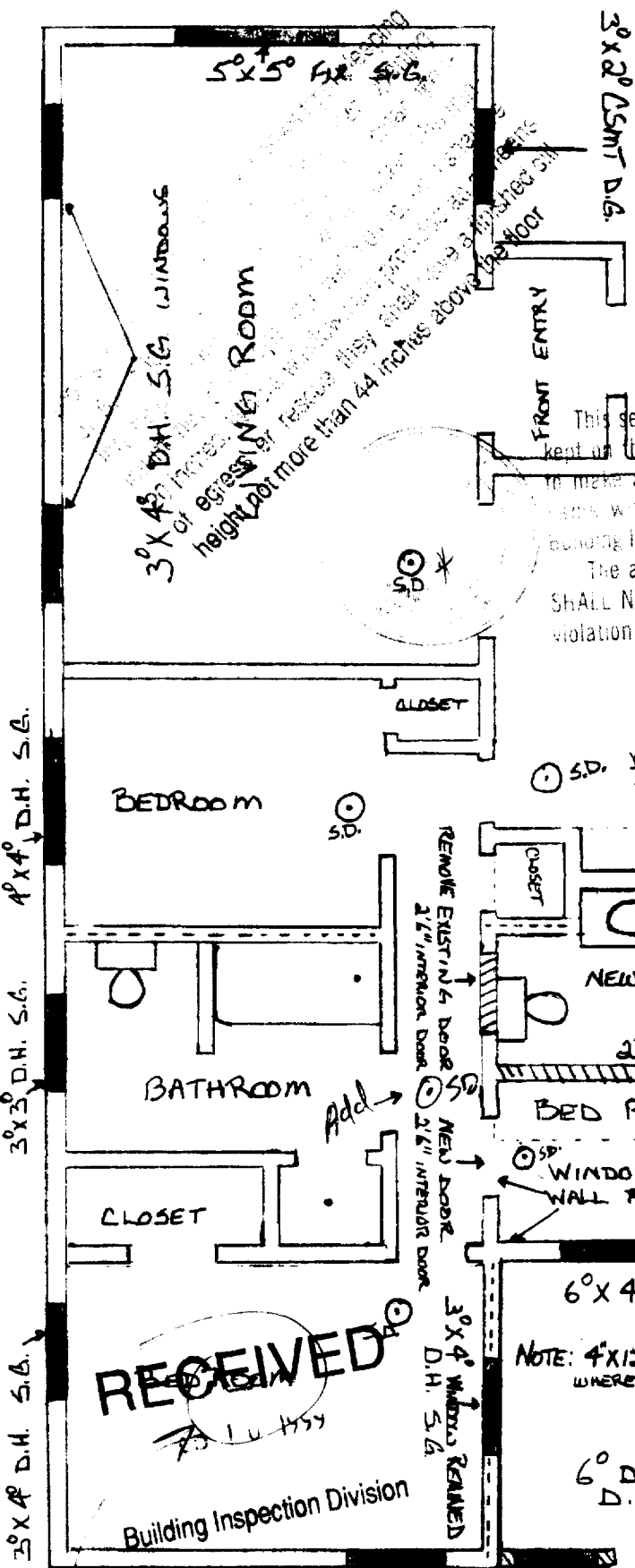
SMOKE DETECTOR (NEW)



BEARING WALL

PAGE 2 OF 11

SCALE: 1/8" = 1'



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations to these plans without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

DINING AREA

FLOOR PLAN

4' x 4" D.H. S.G.
3' x 3" D.H. S.G.
3' x 4" D.H. S.G.
3' x 4" D.H. S.G.

RECEIVED
Building Inspection Division

NOTE: 4' x 12" HEADER INSTALLED WHERE WALL REMOVED 10' LONG

NEW 6" DBL SWING DOOR D.A.

NEW ADDITION LINE
5/8" Type X sheetrock for store room walls & ceiling

* Smoke detectors not req'd per UBC where indicated w/ asterisk

Provide min 3' x 4" D.H. S.G. 3050 or 4030 egress window in bedroom

3' x 4" D.H. S.G. WINDOW
3' x 4" D.H. S.G. WINDOW ROOM
3' x 4" D.H. S.G. WINDOW ROOM
height not more than 44 inches above finished floor

3' x 2" CSMT D.G.
FRONT ENTRY

3' x 3" CSMT. S.G.

3' x 3" D.H. S.G. WINDOWS

REMOVE EXISTING DOOR 2'6" INTERIOR DOOR
NEW DOOR 2'6" INTERIOR DOOR
3' x 4" WINDOW REMAINED
D.H. S.G.

CLOSET

BEDROOM

BATHROOM

CLOSET

NEW BATHROOM

BED ROOM

KITCHEN

LAUNDRY ROOM

CHIMNEY

S.D. *

S.D. *

S.D.

S.D.

S.D.

S.D. *

S.D.

2548 5TH AVE

CHRIS E. BRITTON GENERAL CONTRACTOR
310 WISCONSIN AVE. SACRAMENTO, CA 95833
LIC.# 620525

2/8/99

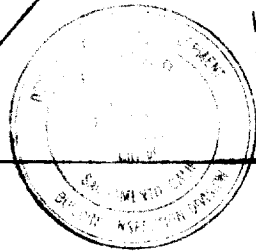
PAGE 3 OF 11

EXISTING ROOF LINE

8 IN 12 PITCH

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

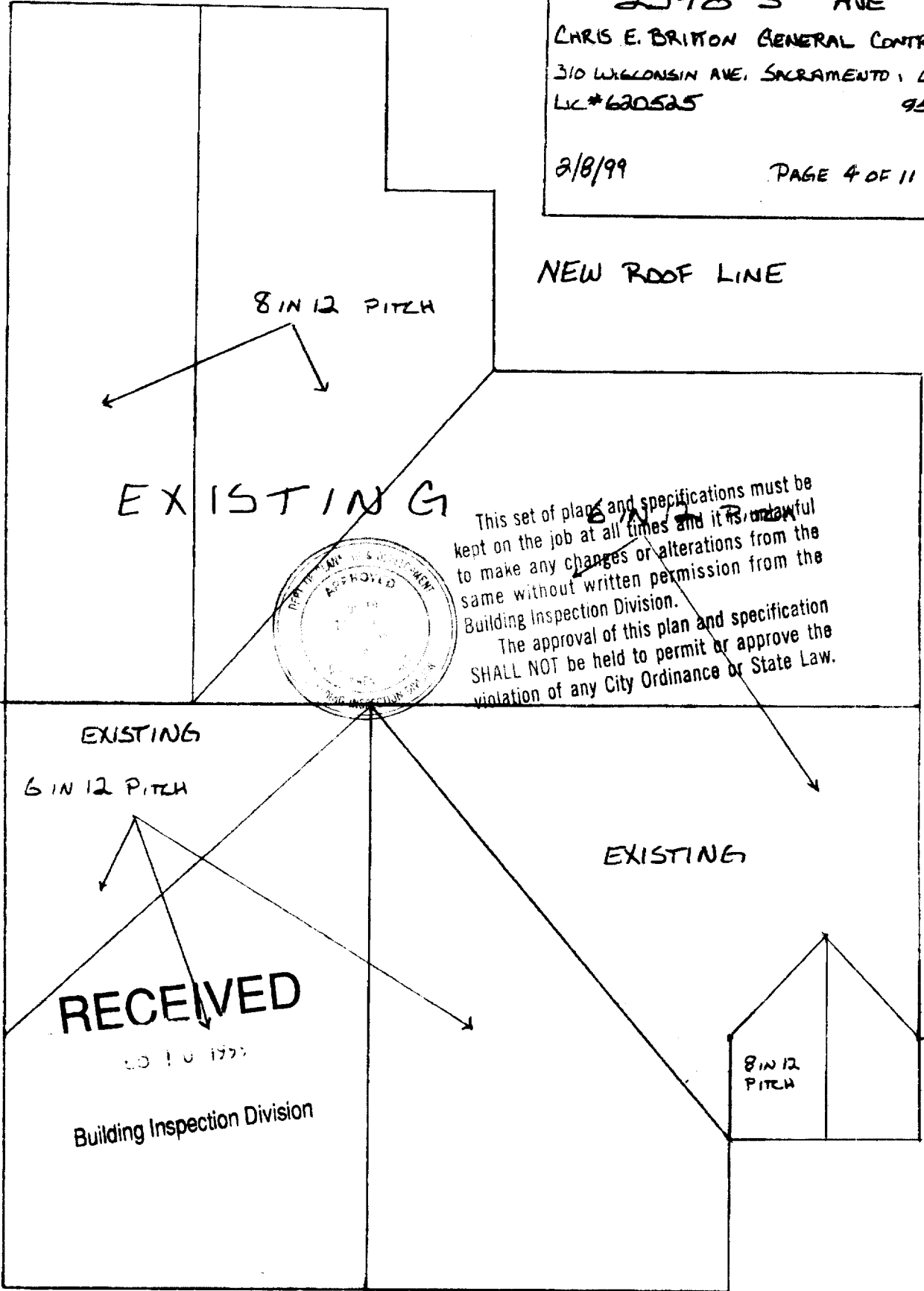


8 IN 12 PITCH

Building Inspection Division

HIP

2548 5TH AVE
CHRIS E. BRITTON GENERAL CONTRACTOR
310 WILLONSIN AVE. SACRAMENTO, CA
LIC # 620525 95835
2/8/99 PAGE 4 OF 11



EXISTING

8 IN 12 PITCH

NEW ROOF LINE

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.



EXISTING

6 IN 12 PITCH

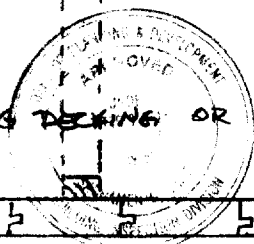
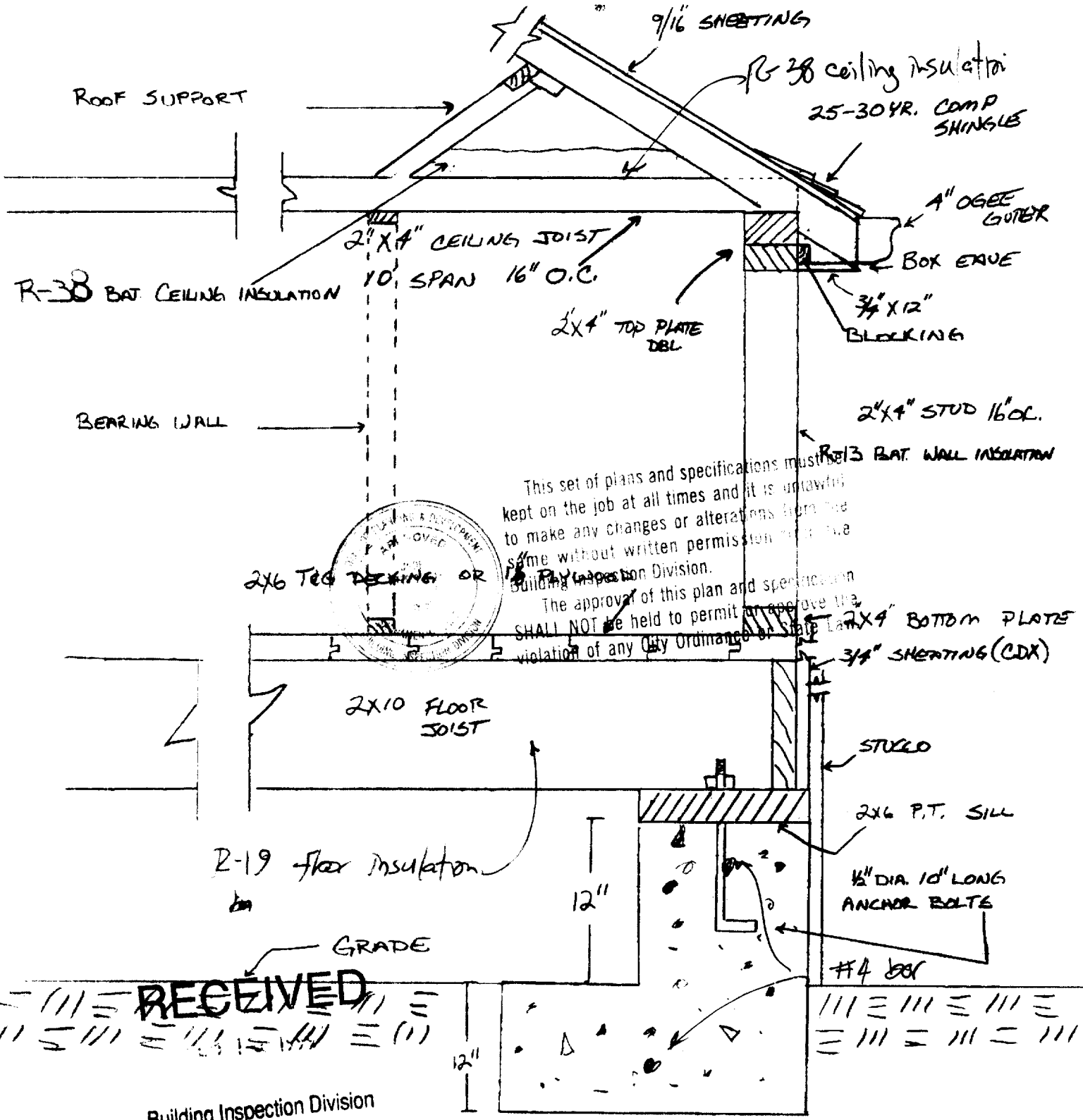
EXISTING

RECEIVED

FEB 10 1999

Building Inspection Division

8 IN 12 PITCH

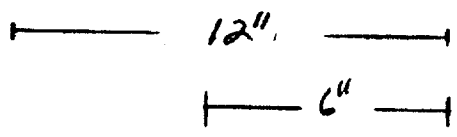


This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

RECEIVED

Building Inspection Division

2548 5TH AVE
 CHRIS E BRITTON GENERAL CONTRACTOR
 310 VISCAGNIN AVE SACRAMENTO, CA 95833
 LIC # 620525 PAGE 5 OF 11



2548 5TH AVE
 CHRIS E. BRITTON GENERAL CONTRACTOR 620525
 310 WASHINGTON AVE SACRAMENTO, CA 95833
 2/8/99 PAGE 6 OF 11

CALIFORNIA VALLEYS (OVER FRAMING)

2x8 RIDGE (EXISTING)

EXISTING ROOF FRAMING - 2x4 @ 24" OC.

ROOF SUPPORT FOR EXISTING GABLE.
 5 JACKS ON EITHER SIDE OF GABLE.

NEW CRAWL ACCESS
 24" X 18"

10" X 14" FOUNDATION VENTS
 2x10" RIM JOIST

NOTE: ALL LUMBER D.F. #2 OR BETTER.

BEARING WALL

SCALE: 1/4" = 1'

RECEIVED

Building Inspection Division

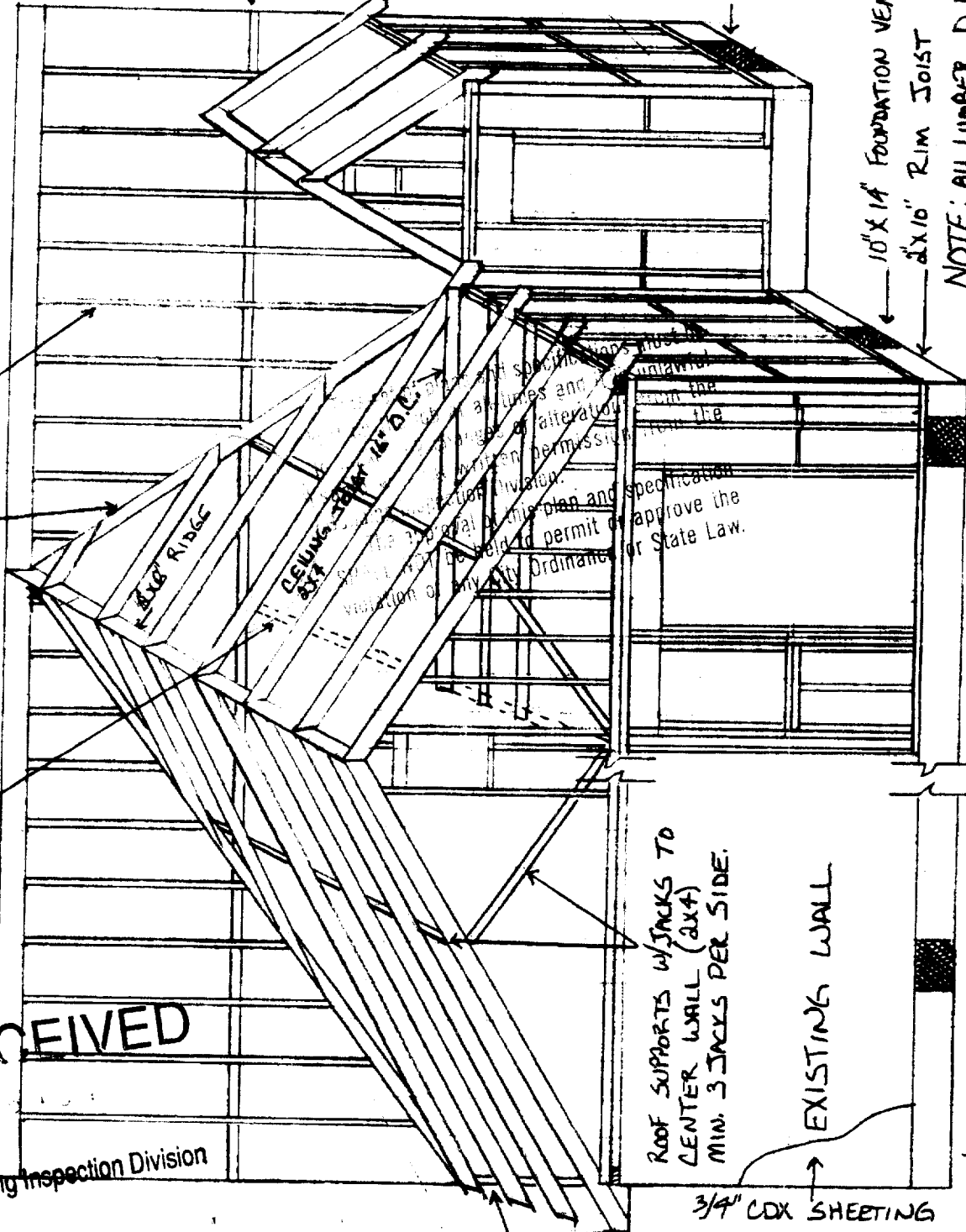
ROOF SUPPORTS W/ JACKS TO
 CENTER WALL (2x4)
 MIN. 3 JACKS PER SIDE.

EXISTING WALL

NO EAVE ON GABLE ENDS - TO MATCH EXISTING

2x4 EAVE BLOCKING W/ NO EAVE VENTS

3/4" CDX SHEETING



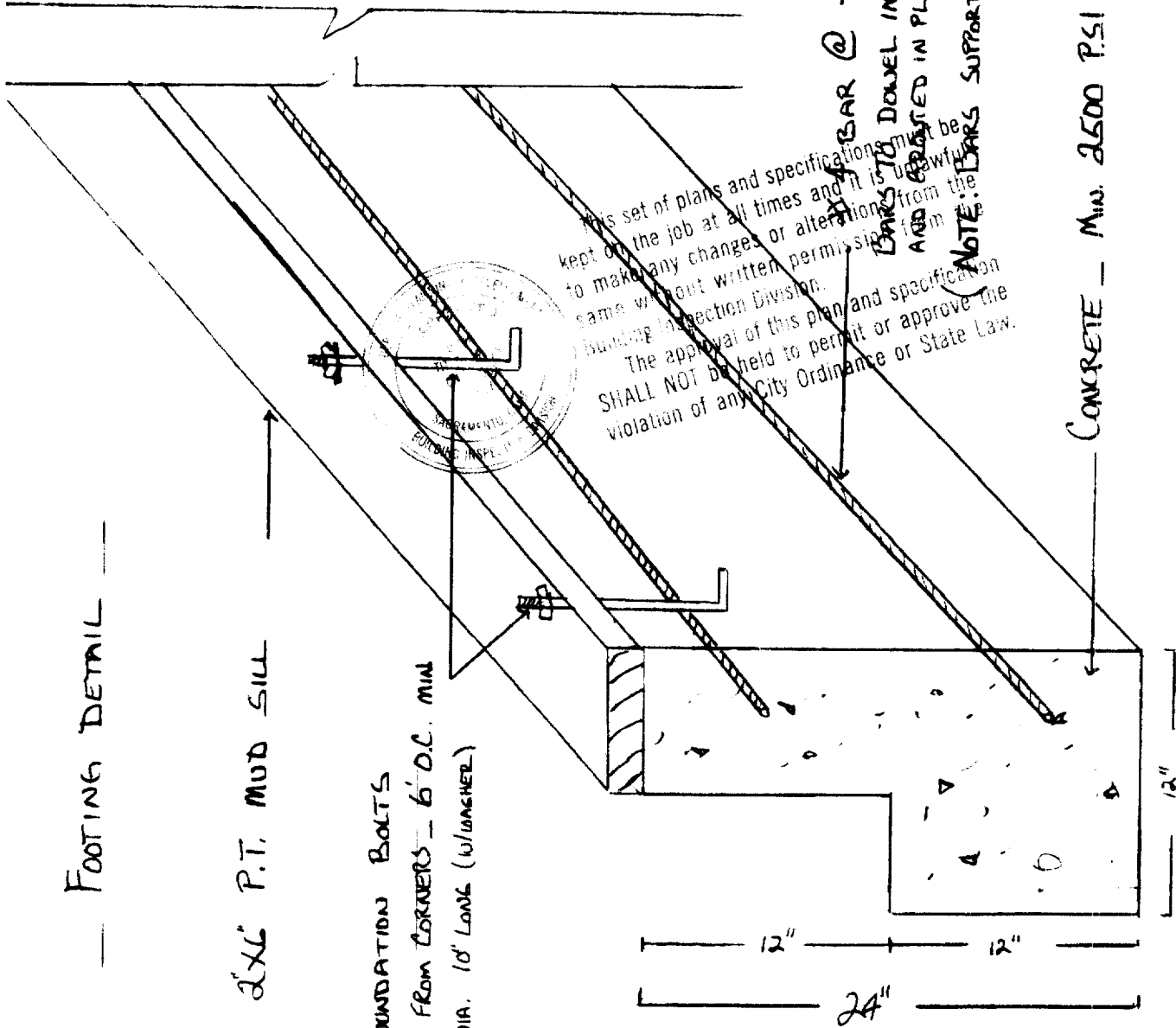
FOOTING DETAIL

2' X 6' P.T. MUD SILL

FOUNDATION BOLTS

12" FROM CORNERS - 6" O.C. MIN

1/2" DIA. 10" LONG (W/WASHER)



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

REBAR @ TOP AND BOTTOM OF FOOTING -
 BARS TO DOUGEL INTO EXISTING FOOTING - MIN 6" PENETRATION
 AND BRIDGED IN PLACE

(NOTE: BARS SUPPORTED W/NOV METRICAL MATERIAL)

CONCRETE - MIN. 2500 P.S.I

2598 5TH AVE
 CHRIS E. BRITTON GENERAL CONTRACTOR
 310 WYSCONASIN AVE SPICERVILLE, IN 45833
 LIC.# 62005225

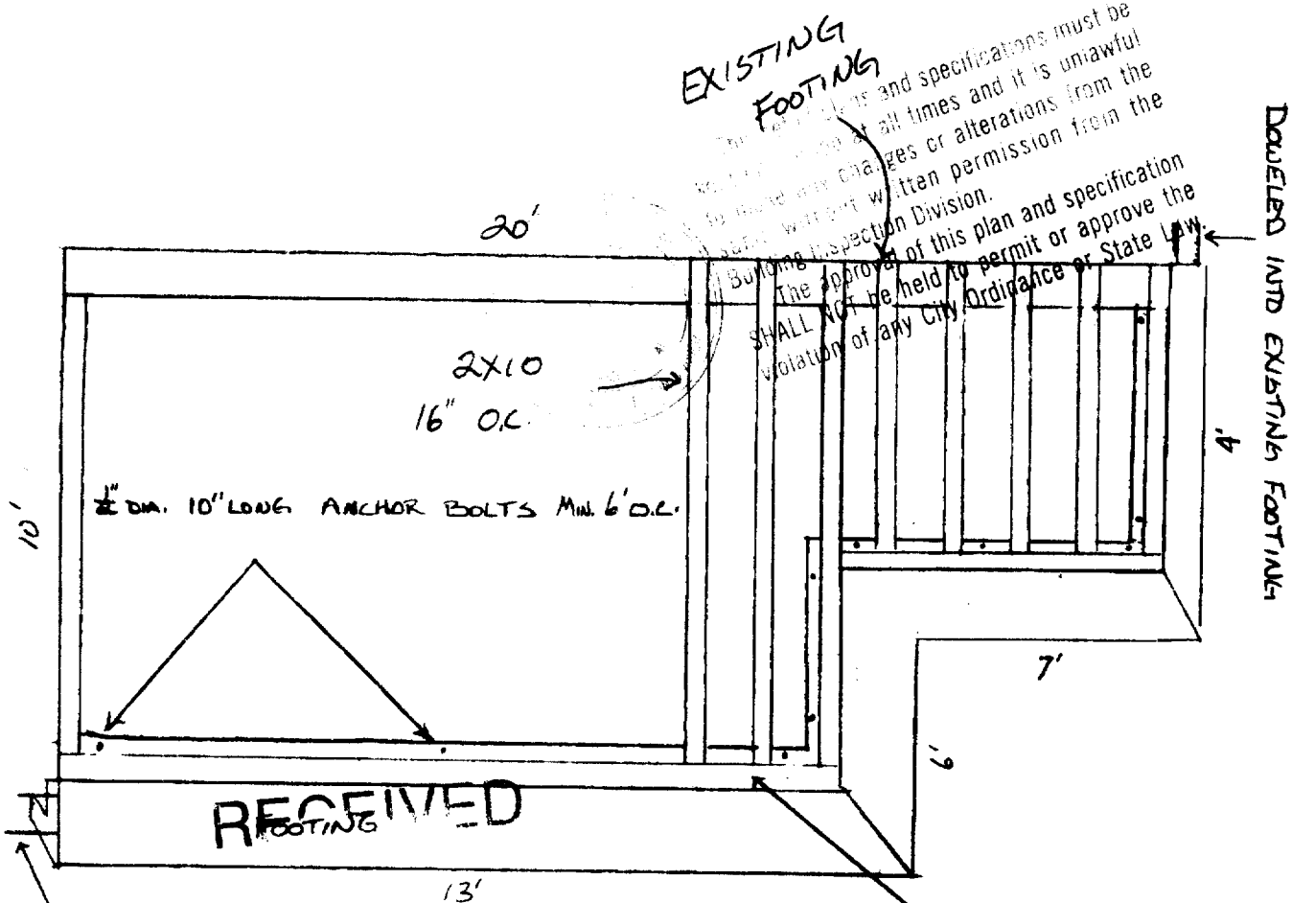
2/8/99 PAGE 7 OF 11

RECEIVED
 Building Inspection Division

2548 5TH AVE
 CHRIS E. BRITTON GENERAL CONTRACTOR # 620525
 310 WISCONSIN AVE SACRAMENTO, CA. 95833
 2/8/99 PAGE 8 OF 11

SCALE: $\frac{5}{16}'' = 1'$

FLOOR FRAMING W/ FOOTING



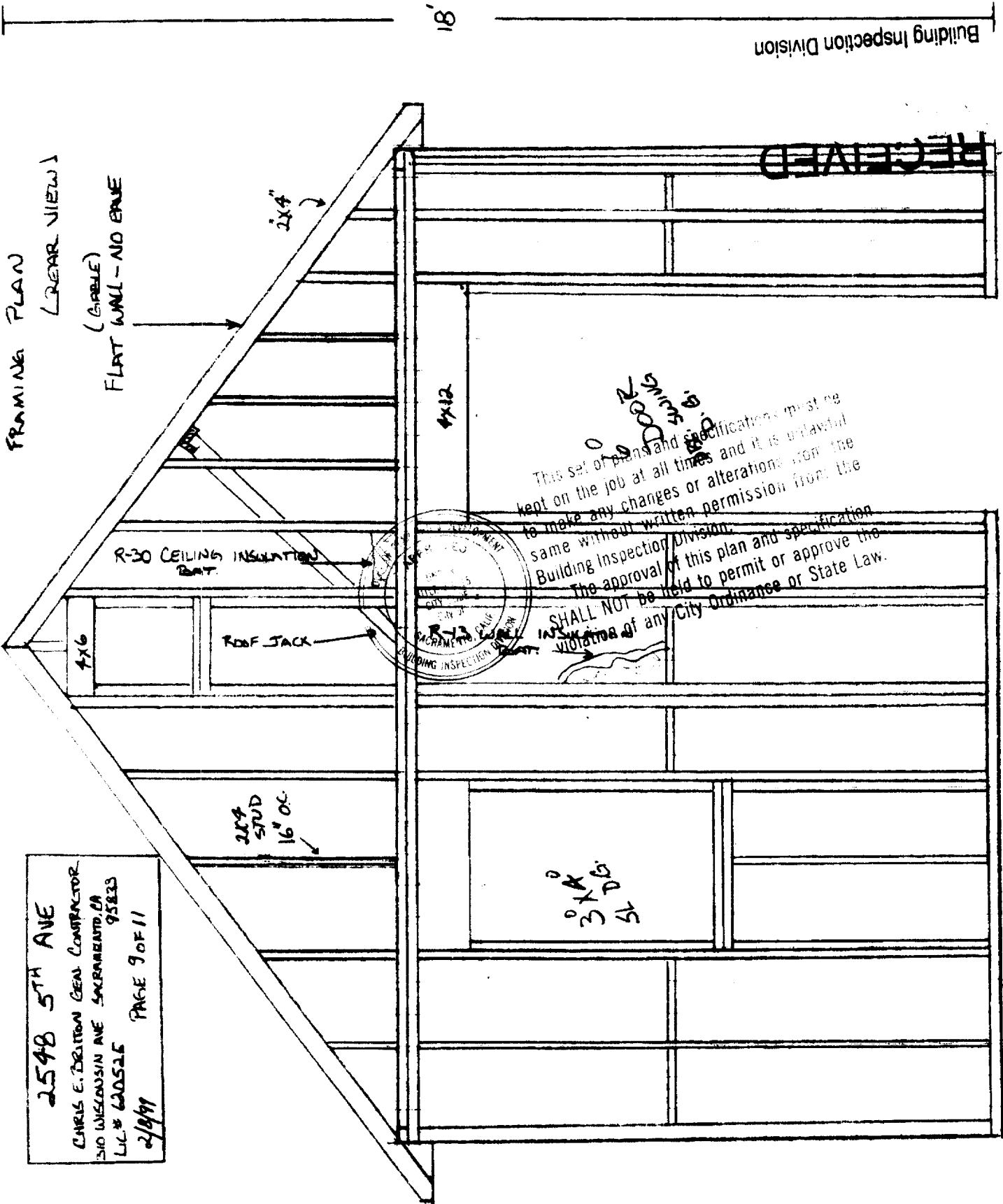
EXISTING FOOTING

The contractor and specifications must be held in force at all times and it is unlawful to make any changes or alterations from the plans without written permission from the Building Inspection Division.

The approval of this plan and specification shall not be held to permit or approve the violation of any City Ordinance or State Law.

DOVELED & GROUTED INTO EXISTING FOOTING.
 2 #4 BARS @ TOP & BOTTOM OF FOOTING
 PENETRATING MIN. 6" INTO EXISTING FOOTING
 AND SPANNING ENTIRE LENGTH OF FOOTING.

2"X10" RIM JOIST



FRAMING PLAN
(REAR VIEW)
(GABLE)
FLAT WALL - NO EAVE

2x4

R-30 CEILING INSULATION
BAT

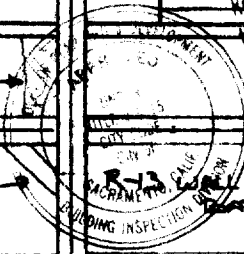
ROOF JACK

2x6

2x4
STUD
16" OC

2x12

2x6
3x6
5x



RECEIVED

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

Building Inspection Division

18'

27'

2548 5TH AVE
CHRIS E. DUTTON GEN CONTRACTOR
210 WILSON AVE SACRAMENTO, CA 95833
LIC # 620526
2/9/11
PAGE 9 OF 11

2548 5th Ave.
Chris E. Britton General Contractor
Lic. # 620525
310 Wisconsin Ave. Sacramento, Ca. 95833

CORRECTIONS TO COMMENTS

ITEM #1

- a. All drawings are to scale and noted on page.
- b. All pages have been numbered.
- c. Designers name, lic. number and address on every page.
- d. Job address is on every sheet.
- e. No pencil drawings-two photo copies made.
- f. A lot plan has been drawn that shows all buildings, driveway, lot lines, setback dimensions, lot dimensions, building dimensions, the street, the street name, and the north arrow (see pg. 1).
- g. Specifications have been noted for min. 2500 psi concrete (pg. 7.), lumber type (pg. 6.), window glazing (pg. 8.), siding type (pg. 5.), shear paneling (pg. 5.), and insulation type and R value (pg. 9.).

ITEM #2

- a. A labeled division line between existing and new work has been drawn (pg. 2.).
- b. Show all walls. Indicate where existing wall will be removed (pg. 2.).
- c. Size of existing windows to be removed (pg. 2.).
- d. Double lines have been used to draw walls (pg. 2.).

PT-111111 All windows have been labeled (pg. 2.).

- f. All doors in the addition have been identified (pg. 2.).
- g. Type and size of windows removed are shown (pg. 2.).

Building Inspection Division

- h. Smoke detectors are shown (pg. 2.).

CITY OF SACRAMENTO
DEPARTMENT OF NEIGHBORHOODS, PLANNING AND DEVELOPMENT SERVICES
BUILDING INSPECTIONS DIVISIONS
RESIDENTIAL PLAN CHECK

PLAN CHECK #: 990107SR

JOB ADDRESS: 2548 5th Ave DATE: 2/12/99

These sheets, when attached to a set of plans, become a part of those plans and must remain attached thereto. The items listed below, when circled, must be complied with as well as items noted on plans. The approval of this plan and specification shall not be held to permit or approve the violation of any city ordinance or State law.

I. BUILDING CODE REQUIREMENTS

1. Place 4" of well graded crushed rock under dwelling slab floors (3/8" minimum to 1 1/2 inch maximum).
2. Expansive soils (special foundation requirements). See note on plan. See attached soils report on plan.
3. When required, all bolts, all hold downs and other foundation hardware shall be installed at foundation inspection.
4. All bearing walls supporting a second floor must rest on a continuous footing.
5. Provide 1 square foot of screened opening of 1/4" mesh per 150 sq. ft. of underfloor area.
6. Provide 18" by 24" access to underfloor area. Accessible underfloor clearance shall not be obstructed by pipes, ducts or other construction.
7. Foundation cripple walls must be braced as per bracing requirements of UBC.
8. Stud size, length, and spacing shall conform to UBC specifications.
9. Provide post base and post cap connections as per plan and specifications.
10. Provide weep screed foundation plate line on exterior stucco walls.
11. Plywood roof sheathing at overhangs or soffits must be of exterior type.
12. Roof overhang, including gutter, cannot project more than 24" into side yard.
13. Property line walls for zero clearance to be one hour construction.
14. Install materials for one hour construction on garage side of common wall and/or ceiling with dwelling with dwelling. Protect all supportive beams and posts.
15. Door between R-3 (dwelling) and U-1 (garage) to be 1 3/8" solid core, self closing and tight fitting.
16. Stairways shall meet minimum requirements as follows: Maximum rise 8", run (tread) 9", handrail 34" to 38" above nosing, minimum stair width 36" and minimum headroom 6' and 8".
17. Usable storage space under stairways shall be of one hour construction.
18. One operable window in each sleeping room must have a minimum net clear opening width of 20", a minimum net clear height of 24" and a minimum net clear of 5.7 sq. Ft. in that opening. Window sill height shall not exceed 44" above the finished floor.
19. Ventilation for bathrooms, laundry rooms and laundry areas to have 1/20th of floor area in operable window area with a minimum size to 1 1/2 sq. ft. or provide a fan vented to the exterior. Fan to be on a separate switch.
20. Provide attic ventilation. Concealed space between rafter and ceiling joist shall be ventilated unless solidly insulated.
21. Provide truss calculations and layout drawing.
22. Provide an approved 120 volt smoke detector above stairways and at access to bedrooms, on each floor, and in vaulted areas, and in each bedroom.
23. Masonry chimneys shall be fastened at the plate line to the structural framework of the building with 2 1/2" bolts per strap.
24. Chimneys shall terminate with a 14 gauge 3/4" mesh or 12 gauge 1" mesh galvanized spark arrestor 2" above the flue liner.

II. ELECTRICAL CODE REQUIREMENTS

25. Electrical meters shall have a minimum of 30" wide and 36" deep clear working space in front of equipment. Install UFER ground per NEC requirements. VERIFY THE SERVICE LOCATION WITH SMUD.
26. Service equipment and panel boards shall not be located in closets, lavatories, or under stairways.
27. Electrical receptacles in habitable rooms shall be placed a maximum 12' apart, 6' maximum from any door opening and any wall space wider than 2'. In kitchen and dining area, any counter wider than 12" separated by ranges, ovens, sink, refrigerator etc., shall be provided with a receptacle.
28. Provide two evenly balanced 20 amp small appliance branch circuits for the receptacles in kitchen, pantry, dining and breakfast areas.
29. Provide one 20 amp circuit for dishwasher and disposal.
30. Provide at least one outside weatherproof, 120 volt G.F.C.I. protected receptacle.
31. Provide G.F.C.I. protection to all 120 volt, 15 & 20 amp receptacles installed outdoors, in bathrooms, in garages, in basements, and within 6' horizontally of a kitchen sink.
32. Provide G.F.C.I. protection to hydromassage tubs.
33. Recessed lighting fixtures installed in insulated ceilings must be I.C. rated and thermally protected. Single wall fixtures required to be boxed in.
34. Surface mounted lighting fixtures in closets must be a minimum of 12" from storage areas. Flush mounted fixtures must be a minimum of 6" away.

III. PLUMBING/MECHANICAL CODE REQUIREMENTS

35. All heating and cooling units creating a glow or flame installed in a garage must be raised on a stand so the glow or flame is minimum of 18" above the floor. Provide a protective barrier, 3" or larger steel pipe 30" high, concrete filled for hot water heater units and heating units in garage in line with car storage.
36. Water heaters having non-rigid water connections and over 4' in height shall be anchored or strapped.
37. Access doors to enclosed water heaters shall be a minimum of 24" wide.
38. No mechanical equipment shall be located in the side yard setback area which will not meet the minimum noise ordinance requirements (55 dcbs 1' inside adjacent properties at 3' to 5' above ground).
39. Furnace and water heater installations must comply with UMC and UPC requirements.
40. Fireplace gas valves must be located outside of the required hearth area but not more than 48".
41. All hose bibs must have an approved anti-siphon device.
42. Dryer vent 14' total length.
43. Provide 2 X 6 minimum wall construction where 3" ABS pipe is installed. Comply with requirements of UBC for notching requirements.

Note: Electrical, plumbing and mechanical work is not thoroughly checked on plan check review and will be subject to field inspection.

REV: February, 1998

PERSONAL SAFETY BUILDING CODE

October 21, 1984

MEMORANDUM

SUBJECT: Personal Safety Building Code

As of the date of this memo, all new dwellings, half-plexes, and duplexes must comply with the personal safety building code, to wit:

1. All building numbers and street addresses shall be clearly visible from all public or private access streets. The streets and building numbers shall be no less than four inches in height and of a contrasting color to their background.
2. All entry doors shall be of the solid core type and be equipped with a single cylinder deadbolt lock meeting the following minimum standards:
 - a) The bolt shall have a throw of at least one inch and be constructed so as to repel cutting tool attack.
 - b) The cylinder of the deadbolt shall be equipped with a guard designed to repel attack by prying or wrenching.
 - c) The deadbolt shall be of the pin tumbler type with a minimum of five pins for a maximum of two entry doors only. Additional entry doors may be fitted with keyless deadbolts.
 - d) Double cylinder deadbolt locks may be used only in accordance with the Uniform Fire Code.
3. Each exterior door hinge shall be secured with a minimum of two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the frame to which the hinge is attached.
4. The strike plates designed to receive the deadbolt locks shall be constructed of a minimum 16 U.A. gauge steel, bronze or brass and shall be secured to a wood jamb with not less than two (2) number eight screws which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached. Strike plates attached to metal jambs shall be secured with a minimum of four (4) number eight machine screws.
5. Sliding door and window assemblies shall be so designed that the door or window cannot be lifted from the track when the door or window is in the closed position.
6. Sliding door assemblies shall have an auxiliary locking device permanently mounted on the interior and which is not accessible from the exterior.
7. All primary egress doors shall be so equipped as to provide the occupant with a clear view of that area immediately outside the door. This view may be provided by a one-way door viewer designed to provide a 180° field of view. Such viewer shall not be mounted in excess of 54 inches from the interior floor.

An additional requirement of this ordinance is that all above items are retroactive for all non-owner occupied living units (dwellings, half-plexes, duplexes, etc.) and must comply by June 1, 1985.

Ord. #84-056, Eff. 10-21-84
Add to Chap. 9, Art. XXIII

CITY OF SACRAMENTO - BUILDING INSPECTION DIVISION
 SPECIAL PACKAGE D/E FOR RESIDENTIAL ADDITIONS IN CLIMATE ZONE 12
 100 TO 999 SQUARE FEET

NOTE: ADDITIONS OF 100 SQUARE FEET OR L WITH 50% OR LESS GLAZING NEED MEET ONLY APPLICABLE FEATURES OF MANDATORY MEASURES CHECKLIST ON BACK OF THIS FORM.

CERTIFICATE OF COMPLIANCE OF IR ADDITION

Project Title Room Addition Date 2-3-99
 Project Address 2578 5TH AVE. SACRAMENTO, CA.
 Total Floor Area Addition 158 sq' Addition and existing total 158+1220 = 1378 sq'
 Total Glazing Area Addition 50 sq' Glazing removed existing 36 sq'

REQUIREMENTS THAT APPLY TO NEW AREA: BUILDING SHELL INSULATION:

COMPONENT	TYPE (BATT OR BLOWN)	100 SQUARE FEET R VALUE MINIMUM	101 - 999 SQUARE FEET R VALUE MINIMUM
Ceiling	<u>R-38</u>	<u>R - 19</u>	<u>R - 38</u>
Wall	<u>R-13</u>	<u>R - 13</u>	<u>R - 13</u>
Raised Floor	<u>R-19</u>	<u>R - 13</u>	<u>R - 19</u>
Shading			
North/South Facing Glazing	0.66 maximum	Enter Shading Device: _____	Enter Shading Device: _____
East/West Facing Glazing	0.40 maximum	Enter Shading Device: _____	Enter Shading Device: _____
Penetration (Glazing)		<u>DOUBLE REQUIRED</u>	<u>U = .75 MAX</u>
Maximum Glazing Area of New Addition	16% (Example: New Glazing (-) Removal of Existing Glazing + Total Area Additional Square Footage)		

Thermal Mass: Package D = 20 per cent _____ COMPLETE ATTACHED WORKSHEET
 See Worksheet Package E = 05 per cent _____

NEW HEATING, COOLING OR DOMESTIC WATER HEATING:

Systems installed in conjunction with addition must comply with the appliance standards applicable to new residences. Complete the following standards if new equipment is being installed in conjunction with the room addition; cannot add electric resistant heat:

HVAC SYSTEMS

Type (Furnace, air conditioner, heat pump)

kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division. The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

10.0 / 9.7

Insulation R-42
 R-42

Output (Btu/h)

Manufacturer/Model # (Or approved equal)

HOT WATER SYSTEMS

System Type

(Storage gas, etc)

Type

Capacity

Manufacturer/Model # (or approved equal)

Special Features

GAS

UPGRADING TO 40 G.

30 Gal

COMPLIANCE STATEMENT

This certificate of compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6, of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility. When this certificate of compliance is submitted for a single building plan to be built in multiple orientations, any shading feature that is varied is indicated in the Special Features/Remarks section.

RECEIVED

FEB 03 1999

Building Inspection Division

Designer or Owner (per Business & Professions Code)

Documentation Author

Name

Name

Title/Firm

Title/Firm

Address

**City of Sacramento Development Services Division
Planning and Zoning Information Request**

Project Address: 2548 5TH AVE SACRAMENTO

Assessor's Parcel Number: 013-0203-008

Current Land Use: RESIDENTIAL

Description of Request/Proposed Use: ROOM ADDITION 150 sq ft
onto 1550 sq bldg 360 sq garage
new bath 2060 sq

Zoning Designation: R-1

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: lot coverage, setbacks



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State Law.

Are There Any Planning Issues?: (Circle One) YES NO

Site Plan Check Required? (Circle One) YES NO

Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: [Signature] 2-2-99

A list of items that must be reviewed by Planning is provided on the reverse side of this form.