

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Tuesday September 6, 1994, the Zoning Administrator approved with conditions a variance to increase the fence height for a single family residence for the project known as Z94-079. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

Project Information

Request: Zoning Administrator's Variance to exceed the six foot fence height limit by four inches along the property lines for a single family residence on 0.19± developed acres in the Standard Single Family (R-1) zone.

Location: 5470 Carlson Drive

Assessor's Parcel Number: 005-0153-001

Applicant: Larry and Carol Bogovich **Property** Same as Applicant
5470 Carlson Drive **Owner:**
Sacramento, CA 95819

General Plan Designation: Low Density Residential (4-15 du/na)
Existing Land Use of Site: Single Family Residence
Existing Zoning of Site: Standard Single Family (R-1)

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided (Existing)
North: R-1; Single Family Residence	Front:	25'	25'
South: R-1; Duplex	Side(Int.):	5'	25'
East: R-1; Single Family Residence	Side(Str.):	12.5'	13'
West: R-1; Duplex	Rear:	15'	4' (Rear Yd. Sub.)

Property Dimensions:	68 feet x 120 feet
Property Area:	0.19± acres
Square Footage of Buildings:	3,067 square feet
Height of Building:	Single Story
Fence Building Materials:	Redwood
Roof Materials:	Composition Shingles

Z94-079

September 6, 1994

ITEM 2

Topography: Flat
Street Improvements: Existing
Utilities: Existing

Project Plans: See Exhibits A and B

Previous Files: None

Additional Information: The applicant is requesting to allow an existing fence along the interior property lines to remain. The wood fence is 6.25'-6.3' feet in height due to a decorative cap. The fence was cited by the Neighborhood Services Division after a complaint. The applicant intended to construct the fence to meet the height requirement; however, the investigation of the complaint indicated the slight height construction error. The Zoning Ordinance allows a maximum height of six feet for residential fences along interior property lines. The fence is not in the front or street side yard setback area which requires a lower height fence.

The property owners to the south and east affected by the fence have been notified and signed letters in support of the variance (see Exhibit C). The project has been noticed and staff has not received any calls. Additionally, the site is located within the East Sacramento Improvement Association Neighborhood organization area. The proposed plans have been submitted to the neighborhood association and they have no comments.

Environmental Determination:

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15303(e)}.

Conditions of Approval

1. There shall be no further expansion of the fence into the front or street side yard setback area.
2. The fence height shall not exceed 6 feet 4 inches (no additional decorative features shall be added such as lattice).

Findings of Fact:

1. Granting the variance does not constitute a special privilege extended to an individual applicant in that a variance would be and has been granted to other property owners facing similar circumstances.
2. Granting the variance request does not constitute a use variance in that the single family dwelling is residential use that is permitted in the Standard Single Family (R-1) zone.

3. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. the proposed fence height is compatible in size, style and appearance with the adjacent residential properties;
 - b. the property owners to the south and east support the fence variance; and
 - c. the fence shall not be further expanded in either height or length.
4. The project is consistent with the General Plan which designates the subject site as Low Density Residential (4-15 du/na).

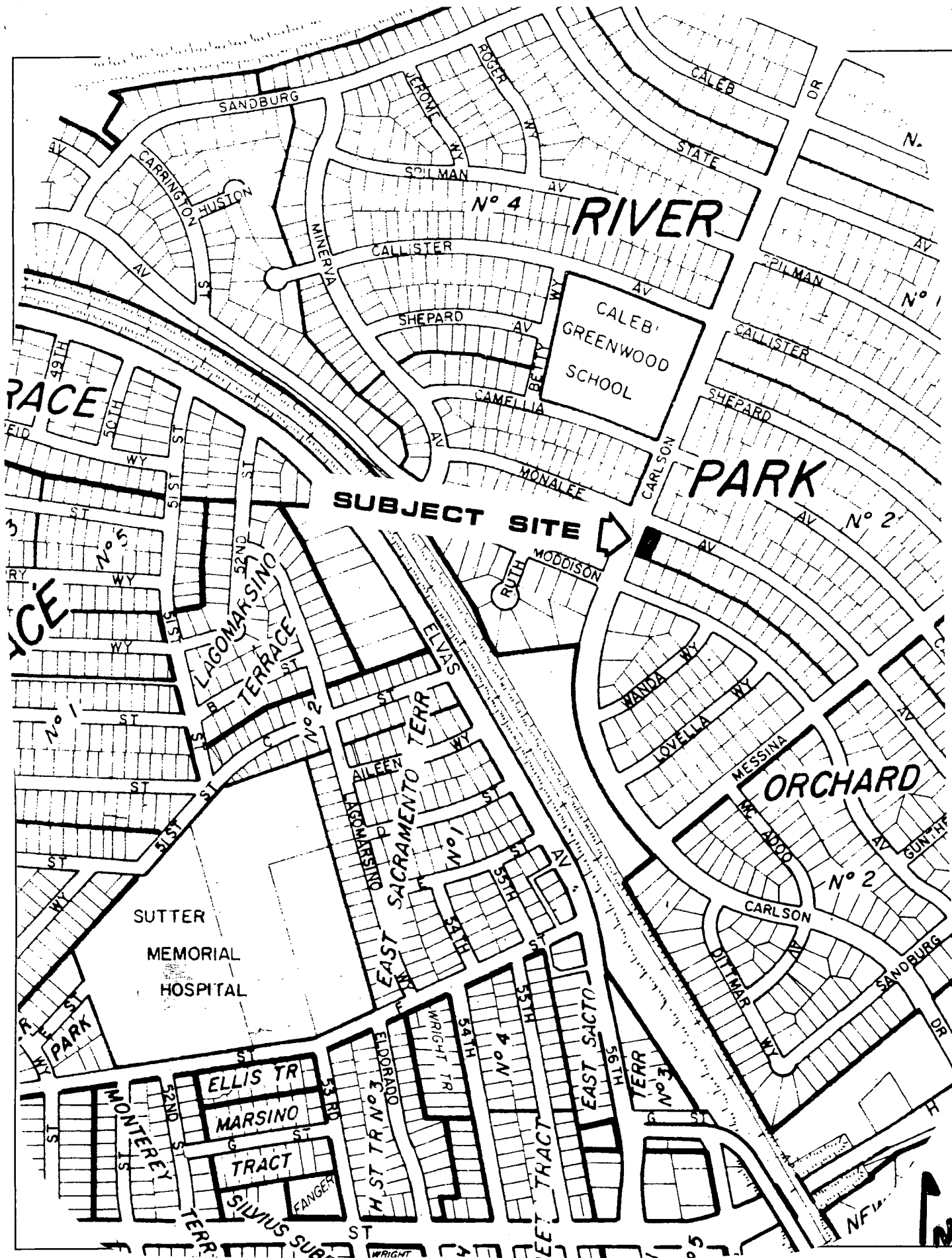
Joy D. Patterson

Joy D. Patterson
Zoning Administrator

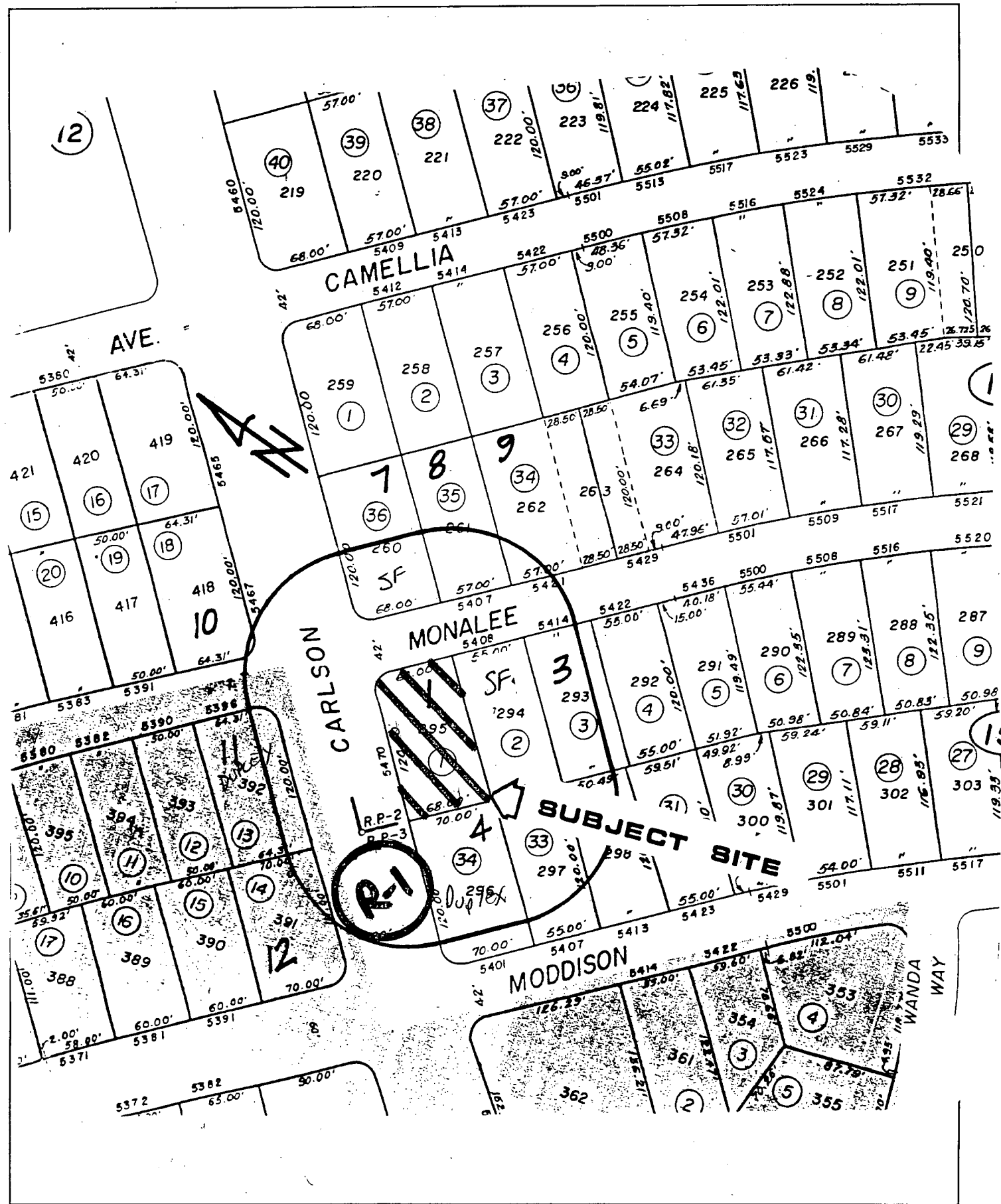
A use for which a Variance is granted must be established within two years after such permit is approved. If such use is not so established the Variance shall be deemed to have expired and shall be null and void. A Variance which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File
Applicant
ZA Log Book
Rod Arnold, Neighborhood Services



VICINITY MAP



LAND USE & ZONING MAP

294-079

CARLSON DRIVE

(A)

LARRY AND CAROL BOGOVICH
5470 CARLSON DRIVE
SACRAMENTO, CA 95819

2' PUE

7'-0"

+6'-4"

GARAGE

RESIDENCE

RESIDENCE

FENCE

GARAGE

POOL

(B)

FENCE

+6'-4"

+6'-3"

2' PUE

EXHIBIT A

MONALEE AVENUE

(C)

SEPTEMBER 6, 1994

25'-0"

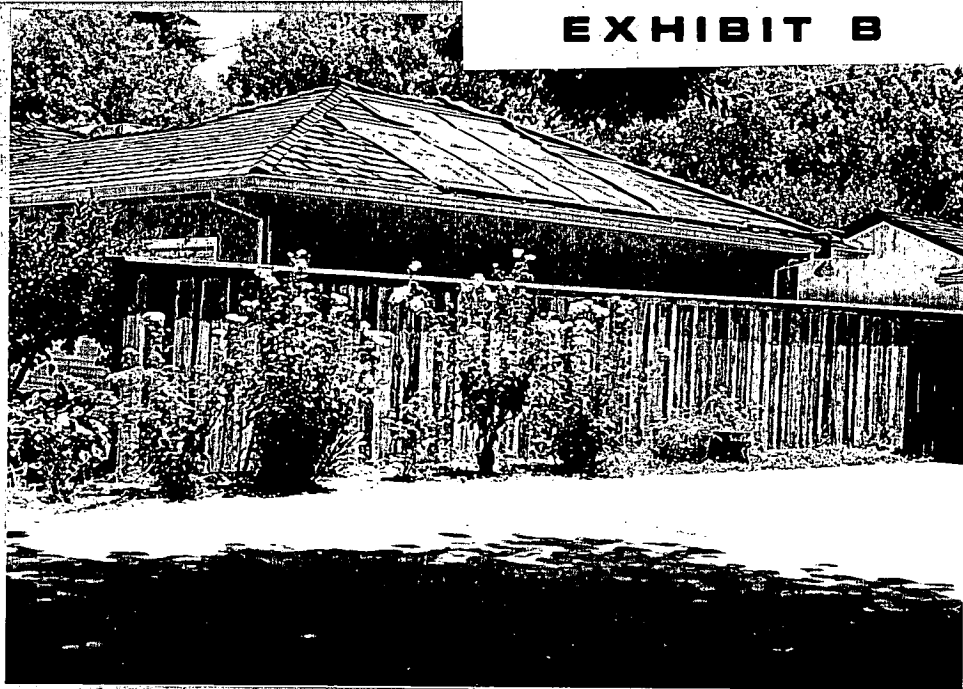
GARAGE

RESIDENCE

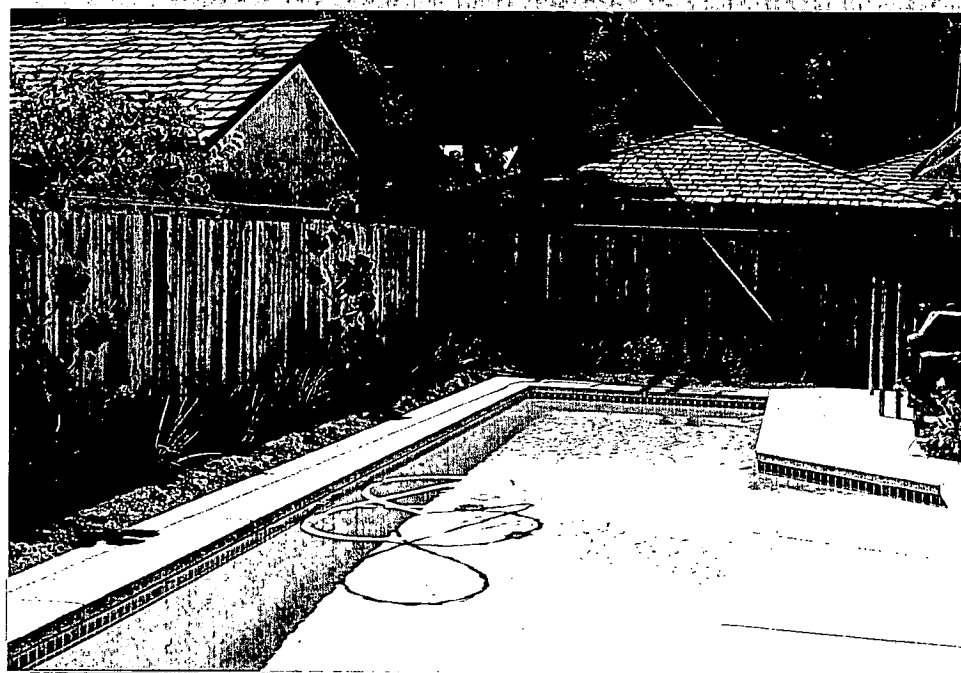
294-079

ITEM 2

EXHIBIT B



A



B



C

Z 94 - 079

Bogovich
5470 Carlson Dr.
Sacramento CA

Z94-079

SEPTEMBER 6, 1994

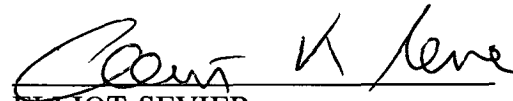
TRM 7 95819

EXHIBIT C

The undersigned owner of the parcel of land with County of Sacramento Assessor's Parcel Number (APN) 005-0153-034-0000, located adjacent to and southwesterly of the parcel of land owned by Larry and Carol Bogovich (APN 005-0153-001-0000), is aware of the following:

- Current City of Sacramento regulations allow fences along side and rear property lines, and within front and street side yard setbacks, to be a maximum height of 6'-0" above finish grade (AFG).
- Larry and Carol Bogovich have submitted a Variance Application to the City of Sacramento which would allow an existing fence, with a height varying between 6'-3" and 6'-4" AFG, to remain. This Variance Application includes that portion of the fence which is along the common property line of the two parcels referenced above.

The undersigned has no objection to the approval of said Variance.


ELLIOT SEVIER or
DELORES SEVIER

8/12/94
Date

294-079

RECEIVED

AUG 17 1994

CITY OF SACRAMENTO
CITY PLANNING DIVISION

294-079

SEPTEMBER 6, 1994

ITEM 2

294-079

SEPTEMBER 6, 1994

ITEM 2