

P98-058 - 7-11 Convenience Market - Beer & Wine Sales

- REQUEST:
- A. Negative Declaration
 - B. Mitigation Monitoring Plan
 - C. Special Permit to allow the sale of beer and wine for off-site consumption in a proposed 3,138 sq.ft. 7-11 convenience store with a Citgo gas station on .97± vacant acres in the Heavy Industrial (M-2S) zone.

LOCATION: Northwest corner of Fruitridge Road and Florin Perkins Road
061-0173-014
Council District 6

APPLICANT:	Mike Borgman, (916) 440-1090 2830 G Street. Sacto. CA 95816
OWNER:	Sylva Family Limited Partnership, II 8815 Folsom Blvd. Ste. 1 Sacto. CA 95826
PLANS BY:	RHL Design Group Inc. 650 Howe Ave. Ste 504 Sacramento, CA 95825-4732
APPLICATION FILED:	Original 5\26\98; Revised 8\5\98
STAFF CONTACT:	Bridgette Williams, 264-5000

SUMMARY:

The applicant proposes a Special Permit to allow the sale of beer and wine for off-site consumption in a proposed 3,138 sqft. 7-11 convenience market in the M-2S zone. The .97± acre site will also contain a Citgo gas station with six gas pumps and 16 parking spaces. The business will operate 24 hours a day. In order to meet the applicant's objectives, the proposal requires the discretionary planning entitlement described above. In evaluating the project, the basic issues are the sale of beer and wine for off-site consumption.

RECOMMENDATION:

Staff recommends approval of the project. This recommendation is based on: 1) the project's consistency with the General Plan land use designation and policies; 2) the project's compatibility with surrounding industrially zoned lots and commercial activities in the surrounding area and; 3) no existing residential development in the area that could be negatively impacted by the sale of beer and wine in the area.

PROJECT INFORMATION:

General Plan Designation:	Heavy Commercial or Warehouse
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	M-2S

Surrounding Land Use and Zoning:

North: Industrial Uses; M-2S
South: Packard Bell; M-2S
East: Offices/Industrial Uses; M-2S
West: Vacant & BLT Transfer Station under construction; M-2S

Property Dimensions:	204.8' x 207.5'
Property Area:	.97 _± gross acres
Square Footage of Building:	3,138 sqft w/6 gas pumps
Height of Building:	One-story, 24 feet
Exterior Building Materials:	Cement Plaster w/Ceramic Tile Accents
Roof Material:	Clay Mission Tile
Parking Provided:	16 spaces
Parking Required:	13 spaces
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Development Services Division
Sign Permits	Development Services Division

BACKGROUND INFORMATION:

On April 9, 1998, a Tentative Map was approved to subdivide the site into 10 industrial lots for future development (P97-134). The project site was one of the 10 newly established lots. As mentioned above, the proposal consists of development of a 3,138 square foot 24 hour 7-11 convenience market and a Citgo gas station with 6 gas pumps. A Special Permit is required to sale beer and wine for off-site consumption in the M-2S zone.

STAFF EVALUATION: Staff has the following comments:A. Policy Considerations

The proposed use is consistent with the General Plan land use designation for Heavy Commercial or Warehouse. The proposed convenience market/gas station promotes the goal of the General Plan; in that; 1) mixed uses to serve employees are encouraged in industrial areas, and; 2) new development at this intersection could help stimulate further industrial, office and commercial development in the immediate area.

B. Sale of Beer and Wine

Staff surveyed the immediate area and found Florin Perkins/Fruitridge Road to be primarily an industrial corridor. There are no existing businesses within the immediate area that dispense alcoholic beverages and no residential development is located in the area. The Police Department has indicated to staff that the proposed convenience market is located within a relatively low crime area and is isolated. No reports of loitering or police related activities have occurred in the immediate area. However, because of the site's isolation, conditions will be placed on the site related to the sales of alcoholic beverages (i.e. quantity, security etc). These conditions have in many instances mitigated crime related activities associated with the sale of alcohol. Both Planning staff and the Police Department, therefore, are not opposed to the applicant's request.

The 24 hour operation does not require a discretionary entitlement because no residential development is within 500 feet of the proposed business. The proposed convenience market will include a self-serve gas station and a variety of convenience goods will be sold at the market.

C. Site Plan Design/Zoning Requirements

A. Setbacks

Adequate building and landscape setbacks will be provided along both Fruitridge Road and Florin Perkins Road. The convenience market is setback approximately 130 feet from Fruitridge Road and 144 feet from Florin Perkins Road. The building setbacks are compatible with the surrounding businesses in the area. Landscape setbacks range between 25 to 30 feet wide along both street frontages. The Zoning Ordinance requires a minimum 25 foot wide landscape setback along all street frontages. The site plan depicts parking fronting on Florin Perkins Road and immediately adjacent to the convenience building. A 57' x 68' canopy will cover the six gas pumps. The proposed trash enclosure backs onto Fruitridge Road. Staff recommends that the trash enclosure be relocated next to the convenience market rather than near the street. The trash enclosure relocation shall be reviewed and approved by Planning staff prior to issuance of building permits. The proposed trash enclosure shall comply with the City's Trash Enclosure and Recycling Ordinance.

B. Parking/Circulation

Adequate parking will be provided on the site. The City's Zoning Ordinance requires 1 parking space for every 250 gross square feet of building area for a convenience market. Based on 3,138 square feet, a total of 13 parking spaces are required on the site. The submitted site plan reflects 16 on-site parking spaces. As previously stated above, the parking spaces are located immediately east and south of the convenience market and along the Florin Perkins Road street frontage. The Zoning Ordinance requires that trees be planted and maintained throughout the surface parking lot to ensure that fifty percent of the parking areas will be shaded when trees reach maturity.

A driveway for egress and ingress to the site is shown off of both Fruitridge Road and/or Florin Perkins Road. The two driveway locations are designed to provide reciprocal access between adjacent parcels. The City's Transportation Department has indicated that adequate vehicular maneuvering is provided to serve the gas pump areas.

A Traffic Study was prepared by Planning and Engineering, Inc. (October 5, 1998) for the proposed convenience market. The traffic study evaluated two signalized intersections (Fruitridge Rd/Florin Perkins Rd & Fruitridge Rd/84th Street). The study concluded that neither of the intersections would be impacted by project traffic. The intersection of Fruitridge Road/Florin Perkins Road will continue to operate at LOS C during AM and LOS D during PM periods; and at LOS B at

intersection of Fruitridge Rd./84th Street during AM and PM peak periods, with the addition of project traffic. The study, therefore, recommended no mitigation.

C. Signage

The submitted site plan reflects two monument signs on site. The City's Sign Ordinance allows two monument signs for a corner parcel not to exceed 48 square feet each, with a maximum height of 10 feet. A total of four attached signs are allowed and the sign area is limited to three square feet of sign area for each square foot of building occupancy, not to exceed 300 square feet each. Signs and logos on the canopy are included in the total number of attached signs allowed. It is recommended that all signage comply with the City's Sign Ordinance prior to issuance of sign permits.

D. Building Design

The applicant proposes to construct a 3,138 square foot one story, convenience market. The building material will consist of cement plaster with recessed ceramic tile accents and a clay mission tile roof. The primary building colors will consist of an adobe finish with juniper tile colors and a juniper wainscot. It is recommended that the wainscot be continued along the north elevation for continuity. The 7-11 logo will be the standard tri-color corporate logo. Overall, Design Review staff found the building design to be in keeping with the City's design goals relative to design and architectural character. The building's design and quality will enhance the corner and set a precedent for future development in the area.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified impacts or to mitigate such impacts to a point where clearly no significant impacts will occur. These mitigation measures address noise. The mitigation measures are listed in the attached Mitigation Monitoring Plan.

B. Public/Neighborhood/Business Association Comments

The proposed project was routed to the Southeast Area Neighborhood Association, Power Inn TMA and the Avondale Action Committee. Power Inn TMA forwarded their comments in support of the project and recommended that the project be developed with quality design features to enhance the area. At the time of writing the staff report, staff received no additional comments on the project.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The attached Notice of Decision includes conditions from various agencies.

PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny the Special Permit. The Planning Commission action may be appealed to the City Council. The appeal must be filed within 10 days of the Planning Commission action:

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:


- A. Ratify the Negative Declaration
- B. Adopt the attached Resolution approving the Mitigation Monitoring Plan.
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to sale beer and wine for off-site consumption in a proposed 3,138 square foot 7-11 convenience market with a gas station on .97± vacant acres in the Heavy Industrial (M-2S) zone.

Report Prepared By,

Report Reviewed By,



Bridgette Williams
Associate Planner

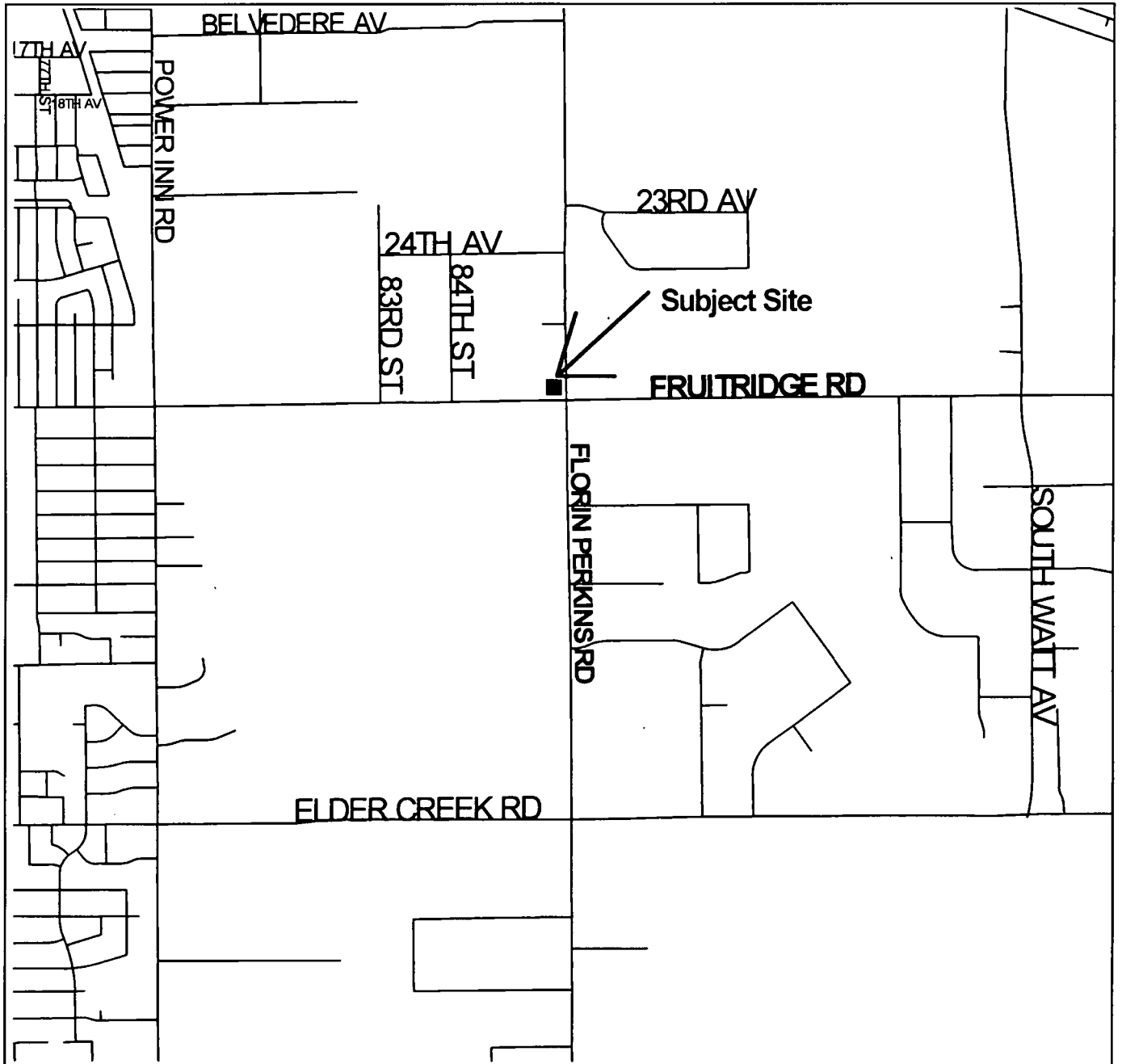


Don Smith
Associate Planner

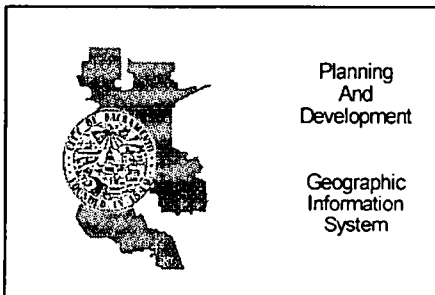
Attachments

Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Notice of Decision and Findings of Fact approving the Special Permit
Exhibit C-1	Site Plan
Exhibit C-2	Floor Plan
Exhibit C-3	Building Elevations
Exhibit C-4	Canopy Elevations
Attachment D	Resolution adopting Mitigation Monitoring Plan
Attachment E	Mitigation Monitoring Plan
Attachment F	Letter From Power Inn TMA

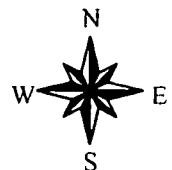
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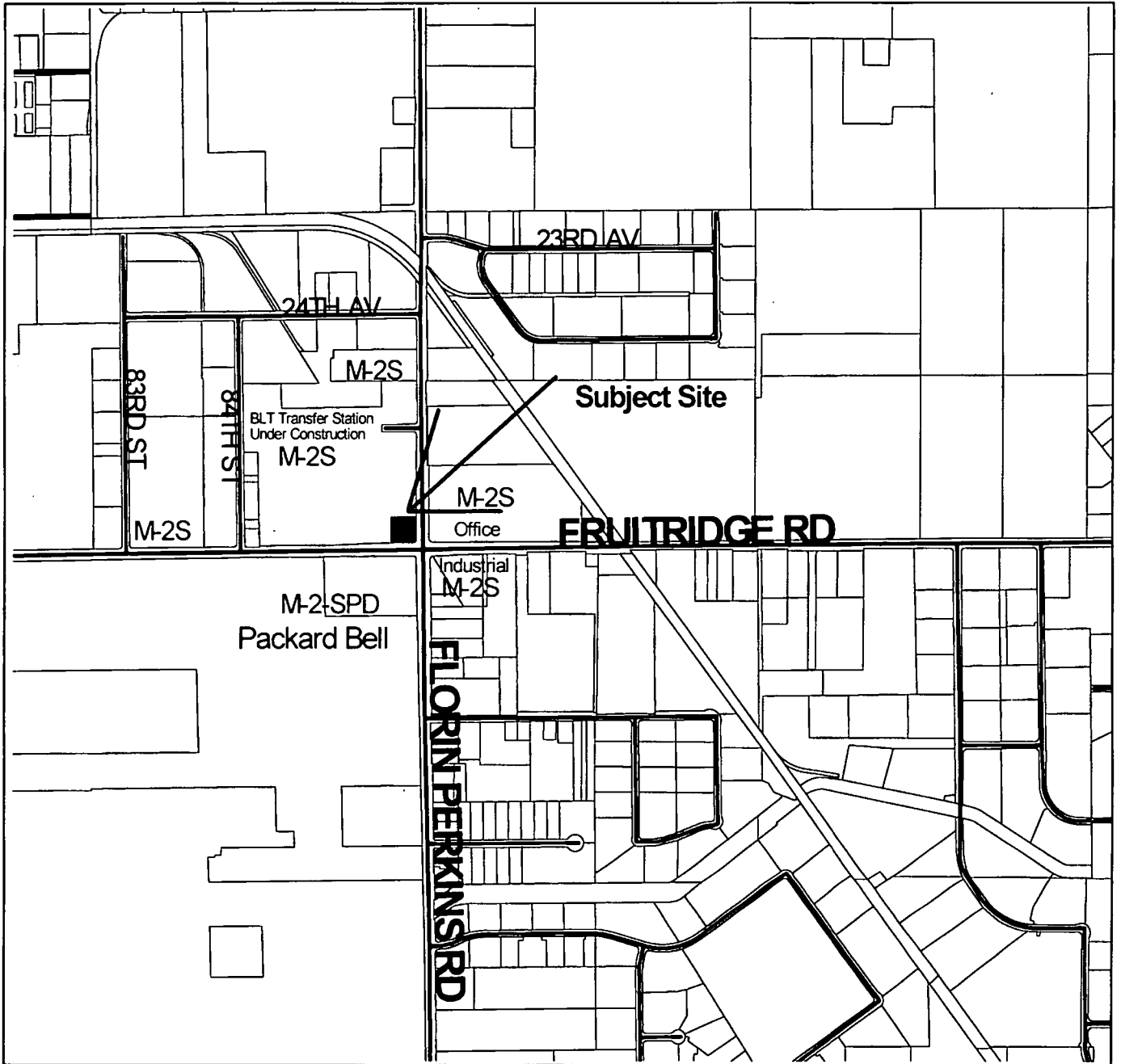


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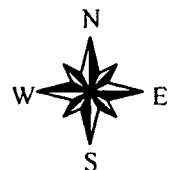
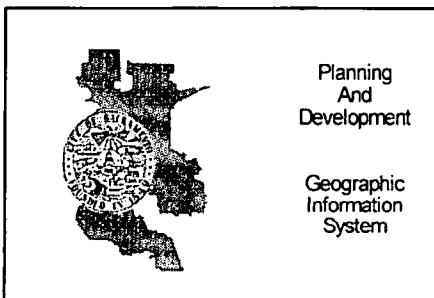


Vicinity Map
P98-058





Land Use & Zoning Map
P98-058



ATTACHMENT C**NOTICE OF DECISION AND FINDINGS OF FACT FOR
SPECIAL PERMIT TO SALE BEER AND WINE FOR OFF-SITE CONSUMPTION IN A
7-11 CONVENIENCE MARKET/CITGO GAS STATION AT NWC OF FRUIT RIDGE ROAD
AND FLORIN PERKINS ROAD IN THE SOUTHEAST PLANNING AREA IN THE HEAVY
INDUSTRIAL ZONE (M-2S) ZONE. (P98-058) (APN: 061-0173-014)**

At the regular meeting of December 17, 1998, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Ratified the Negative Declaration**
- B. **Adopted the Mitigation Monitoring Plan;**
- C. **Approved the Special Permit to sale beer and wine for off-site consumption in a proposed 3,138 square foot 7-11 convenience market with a gas station on .97± vacant acres in the Heavy Industrial (M-2S) zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. **Negative Declaration:** The City Planning Commission approves the Negative Declaration, based upon the following findings:
 - 1. The Negative Declaration was prepared and circulated for the above identified project pursuant to the requirements of CEQA;
 - B. The proposed Negative Declaration and comments received during the public review process were considered prior to action being taken on the project; and
 - C. Based upon the Initial Study and the comments received during the public review process, there is no substantial evidence that the project will have a significant effect on the environment.

B. Mitigation Monitoring Plan: The Mitigation Monitoring Plan for the proposed 7-11 convenience store site based upon the following findings:

1. One or more mitigation measures have been added to the above identified project;
2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above identified project, a copy of which is attached;
3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec.21081.6; and
4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.

C. Special Permit - Beer & Wine Sales for Off-Site Consumption: The Special Permit to sale beer and wine for off-site consumption is hereby approved based upon the following findings of fact:

1. The project is based upon sound principles of land use in that:
 - a. the proposed use is compatible with commercial and industrial uses surrounding the site; and
 - b. adequate landscaping, parking and site design is provided.
2. The project as conditioned, will not be detrimental to the public health and welfare nor result in the creation of a public nuisance in that:
 - a. adequate security measures will be in place to monitor the site;
 - b. no residential uses are located within a 500 foot radius of the site;
 - c. the amount and quantity of containers will be regulated; and
 - d. prohibition of loitering will be posted on the site.
3. The project is consistent with the General Plan which designates the site for Heavy Commercial or Warehouse.

CONDITIONS OF APPROVAL**Planning**

1. Applicant shall comply with the requirements of the Mitigation Monitoring Plan attached.
2. Developer shall obtain all necessary building permits prior to construction.
3. The design of the building, elevations, materials described, and its location shall be in substantial conformance with the Special Permit approval.
4. A landscape and irrigation plan shall be submitted prior to issuance of a building permit.
5. Any modifications related to material, height and overall building design and size shall be reviewed and approved by Planning staff and/or Planning Commission prior to issuance of building permits.
6. The wainscot shall be continued on (north, south, east and west) all elevations of the building.
7. The trash enclosure shall be relocated next to the convenience market. The enclosure shall comply with the City's Trash Enclosure Ordinance and Recycling Ordinance.
8. Fifty percent shading shall be provided for the designated parking areas.
9. All signage shall comply with the City's Sign Ordinance prior to issuance of sign permits.
10. Both monument signs shall be moved a minimum of 10 feet from the street right-of-way.

Utilities

11. A grading plan showing existing and proposed elevations shall be submitted. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

12. The developer shall contact the Regional Sanitation District for sanitary sewer conditions.
13. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedure Manual).
14. On-site treatment control measures may affect site design and site configuration and therefore, shall be considered during the early planning stages.
15. The applicant shall comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This Ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban run-off pollution from the project site during construction.

Police

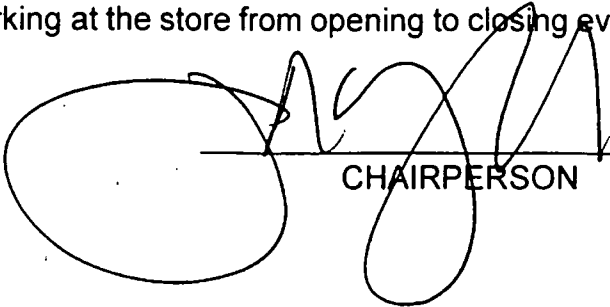
16. The owner/operator of the convenience store/gas station shall be responsible for abatement/removal of any and all graffiti on the property within 48 hours. Graffiti shall mean any unauthorized inscription, work, figure, or design that is marked, etched, scratched, drawn, or painted on or otherwise affixed to or on any surface.
17. Beer and/or malt beverages shall only be sold in original factory packages of six-pack or greater. At no time, shall a single unit be sold individually, or, in conjunction with another brand/size container of beer and/or malt beverage to constitute a six-pack or larger quantity.
18. The sale of wine shall be in bottles or containers no smaller than 750 ml.;
19. Wine coolers, whether made for wine or malt products, shall not be sold in quantities of less than factory packaged four packs.
20. No wine shall be sold with an alcohol content greater than fifteen percent (15%) by volume.
21. There shall be no cups, glasses, or similar receptacle commonly used for the drinking of beverages sold, furnished, or given away at the licensee's premises in quantities of less than twenty-four (24) in their original multi-container package, with the exception of food and beverage containers with a corporate logo or business name embossed or stamped on the container when sold in conjunction with food and non-alcoholic beverages.

22. All ice shall be sold at or about prevailing prices in the area and in quantities of not less than seven (7) pounds per sale, excluding ice sold in conjunction with fountain drinks.
23. Trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.
24. No alcoholic beverages may be sold for off-premises consumption between the hours of 11:00 p.m. and 2:00 a.m.
25. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of .25 foot-candles of illumination shall be provided at the surface of any walkway, alcove, or passageway related to the project during the same hours.
26. The parking area must be visible for internal monitoring. Where windows are not appropriate for this purpose, closed circuit television shall be used. The type and location of the cameras shall meet the satisfaction of the Police Department.
27. Store windows shall be left unobstructed by either signage or/and display racks, shelving, merchandise to allow viewing of the interior of the business by patrolling police.
28. Licensee shall post and maintain on the premises and in the parking lot used in conjunction therewith notices clearly visible to the patrons of the licensee and parking lot and to persons on the public sidewalk stating, in block lettering, the following:

UNLAWFUL TO ENTER, BE OR REMAIN ON
ADJACENT PARKING LOT OR ADJACENT PUBLIC
SIDEWALK WITH AN OPEN ALCOHOLIC BEVERAGE
CONTAINER. B & P Code 25612.5; C.P.C. 647E(A);
S.C.C. 26.24(c).

29. Applicant shall provide bicycle security racks at the front of the business.
30. There shall be no video machine maintained upon the premises at any time.
31. The following minimum security standards shall be incorporated into the interior design of the building:
 - a) The cashier station shall be raised to provide a noticeable height advantage to employees.
 - b) Mirrors or closed circuit television will be placed in such a manner as to provide employees with the ability to observe all hidden corners and blind spots.
 - c) Cold boxes shall be equipped with an audible enunciator to alert employees when the doors are opened.
 - d) The facility shall be equipped with UL approved money safes. Signs shall be prominently posted stating that employees do not have access to the safe.
 - e) The facility shall be equipped with remote locking devices to enable public entry doorway to be locked from cashier station.
 - f) No over the counter sales racks for cigarette packages or other merchandise shall be permitted.
32. The applicant shall be responsible for the removal of all litter generated by the business in the area adjacent to the building.
33. All illegal activities observed on or around the business shall be promptly reported to the Police Department.
34. No public pay telephones shall be maintained on the interior or exterior of the premises.

- 35. Applicant shall work with the Licensing Coordinator of the Police Department to ensure that the property is posted for "NO Loitering" in accordance with 602 (k) P.C. An agreement is to be filed with the Police Department which will allow officers to remove loiterers and applicants agreement to prosecute.
- 36. Two employees shall be working at the store from opening to closing every day.



CHAIRPERSON

ATTEST:

Gayle Storchense
SECRETARY TO CITY PLANNING COMMISSION

12-17-98
DATE (P98-058)

Recording
Not
Required

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-
-
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MITIGATION MONITORING PLAN

FOR

Fruitridge\Florin-Perkins 7-11 Convenience Mkt - Gas Station P98-058

Type of Environmental Document:
Negative Declaration

Prepared By:
City of Sacramento Environmental Services Division
November 13, 1998

Adopted By:
City of Sacramento, City Planning Commission

Date:

Attest:

Chairperson

CITY OF SACRAMENTO

MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan has been required and prepared by the Department of Planning and Development, Environmental Services Division, 1231 I Street, Suite 301, Sacramento, CA 95814, (916) 264-7037, pursuant to California Environmental Quality Act Guidelines Section 21081.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Fruitridge\Florin-Perkins 7-11 Convenience Mkt. Gas Station P98-058

Owner/Developer- Name:

Address:

Sylva Family Limited Partnership, II
8815 Folsom Blvd. Ste. 1 Sacto. CA 95826

Project Location / Legal Description of Property (if recorded):

Northwest corner of Fruitridge and Florin-Perkins Roads (APN: 061-0173-014)

SECTION 2: GENERAL INFORMATION

The project as approved includes mitigation measures placed on noise. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Initial Study for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the owner/developer identified above.

The applicant is requesting a Special Permit to allow the sale of beer and wine for off-site consumption in a proposed 3,138 square foot 7-11 convenience market with a gas station on .97 ± acres in the (M-2S) zone. The Sacramento General Plan designation is Heavy Commercial or Warehouse. The site is located at the northwest corner of Fruitridge and Florin-Perkins Road (APN: portion of 061-0173-014) within the East Broadway Community Plan area. The current zoning is Heavy Industrial (M-2S).

SECTION 3: PLAN CONTENTS

A. Noise

- A. The following noise reduction measures shall be required for the public portions of the structures on the site:
 1. All joints in exterior walls shall be grouted or caulked airtight.
 2. Window or through-the-wall ventilation and air conditioning units shall not be permitted.

3. All penetrations of exterior walls shall include a ½ inch airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
4. Windows must have a minimum STC rating of 29 or better. Windows facing the noise source should comprise less than 25 percent of the wall area. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with a 25 mile an hour wind per ASTM standards.
5. Exterior entrance doors should have a minimum STC rating of 30. They must include complete perimeter door seals.

ENTITIES RESPONSIBLE FOR ENSURING COMPLIANCE

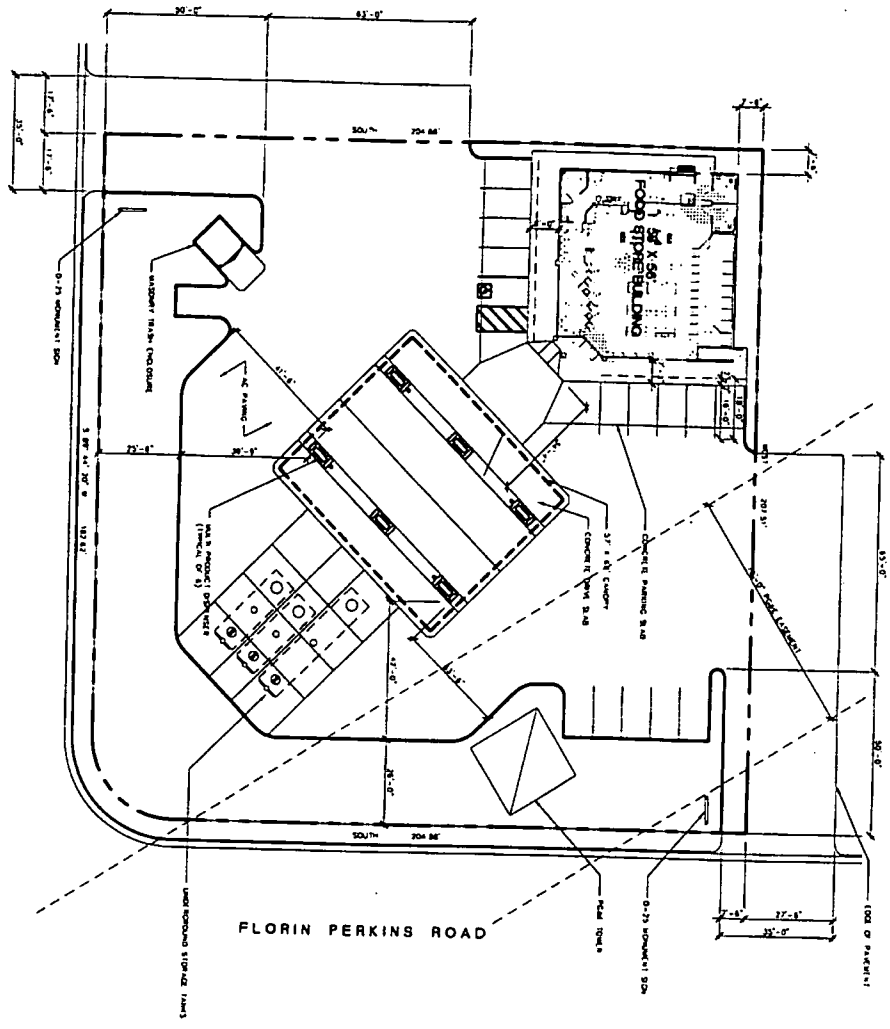
Department of Planning and Development, City of Sacramento

MONITORING PROGRAM

Prior to issuance of any Building Permits the Building Division shall require that the final building plans incorporate the applicable attenuation measures. The Building Division shall also require that site inspections are included on the Special Conditions Attachment. Prior to finalizing the permit, Certificate of Compliance or Certificate of Occupancy, the Building Division shall require full compliance and completion of the specified noise attenuation measures.

SITE PLAN

FRUITRIDGE ROAD
NORTH
SCALE: 1" = 40'-0"



PROJECT DATA

PROJECT NAME: COMMERCIAL FOOD STORE AND DELI, INC.
PROJECT ADDRESS: 1800 S. 17th St., Sacramento, CA 95811
OWNER: COMMERCIAL FOOD STORE AND DELI, INC.
ARCHITECT: JKS ARCHITECTS, INC.
DATE: 11/15/11

CONSTRUCTION TYPE: COMMERCIAL
CONSTRUCTION YEAR: 2011

LANDSCAPE SERVICES: JKS ARCHITECTS, INC.
LANDSCAPE YEAR: 2011

PROPOSED USE: RETAIL STORE

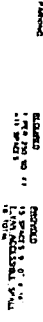
APPROVED USE: RETAIL STORE

PROJECT DESCRIPTION: COMMERCIAL FOOD STORE AND DELI, INC.

PROJECT CODE SUMMARY

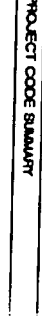
CALIFORNIA BUILDING CODE: 1991 (DOB) (1991 IBC)
CALIFORNIA MECHANICAL CODE: 1991 (DOB) (1991 IMC)
CALIFORNIA ELECTRICAL CODE: 1991 (DOB) (1991 NEC)
CALIFORNIA FIRE CODE: 1991 (DOB) (1991 FRC)
CALIFORNIA PLUMBING CODE: 1991 (DOB) (1991 UPC)
CALIFORNIA GAS CODE: 1991 (DOB) (1991 GCS)

VICINITY MAP

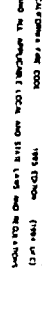


NO SCALE

MONUMENT SIGN



MODEL D-25 SCROLLING PRICE SIGN



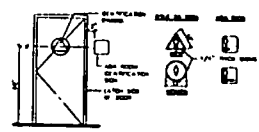
Item 70
Pg. 2

ROOM FINISH SCHEDULE

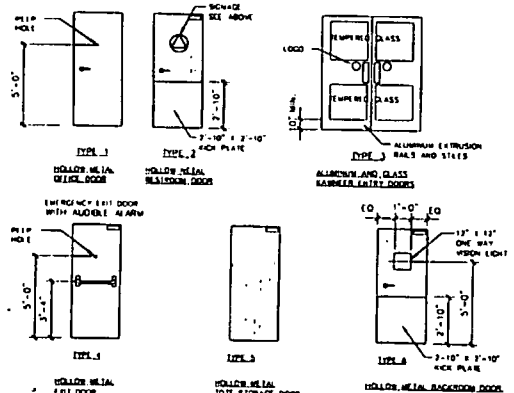
ROOM NUMBER	ROOM NAME	FLOOR	WALLS	CEILING	GENERAL NOTES
101	MERCHANDISE	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
102	SALES	12" G.F. TILE	PAINT - EXTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
103	F.F. PREP	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
104	COFFEE ISLAND	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
105	BEV. BAR	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
106	BACK ROOM	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
107	H.C. RESTROOM	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
108	H.C. RESTROOM	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
109	CDC TOILET	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
110	ELECTRICAL OFFICE	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
111	TOILET	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
112	TOILET	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	
113	VESTIBULE	12" G.F. TILE	PAINT - INTERIOR - SEE PAINT SPECIFICATION	ACCOUSTICAL TILE - AMERSONIC	

DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	DOOR OPENING SIZE	DOOR THICKNESS	MATERIALS	DETAILS	GENERAL NOTES
1	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	UNDERCUT ALL INTERIOR DOORS 1-5/8" FROM TOP OF SLAB
2	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
3	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
4	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
5	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
6	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
7	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
8	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
9	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
10	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
11	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
12	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
13	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
14	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
15	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
16	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
17	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
18	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
19	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
20	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
21	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
22	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
23	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
24	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
25	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
26	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
27	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
28	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
29	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	
30	ALUMINUM & GLASS	3'-0" x 7'-0"	1-3/4"	ALUMINUM & GLASS	TYPE 1	



- 1. Double doors and swing doors shall be fitted with fire-rated hardware.
- 2. Hardware shall be tested and certified for use on doors of rated fire and smoke resistance.
- 3. Hardware shall be tested and certified for use on doors of rated fire and smoke resistance.
- 4. Hardware shall be tested and certified for use on doors of rated fire and smoke resistance.
- 5. Hardware shall be tested and certified for use on doors of rated fire and smoke resistance.
- 6. Hardware shall be tested and certified for use on doors of rated fire and smoke resistance.

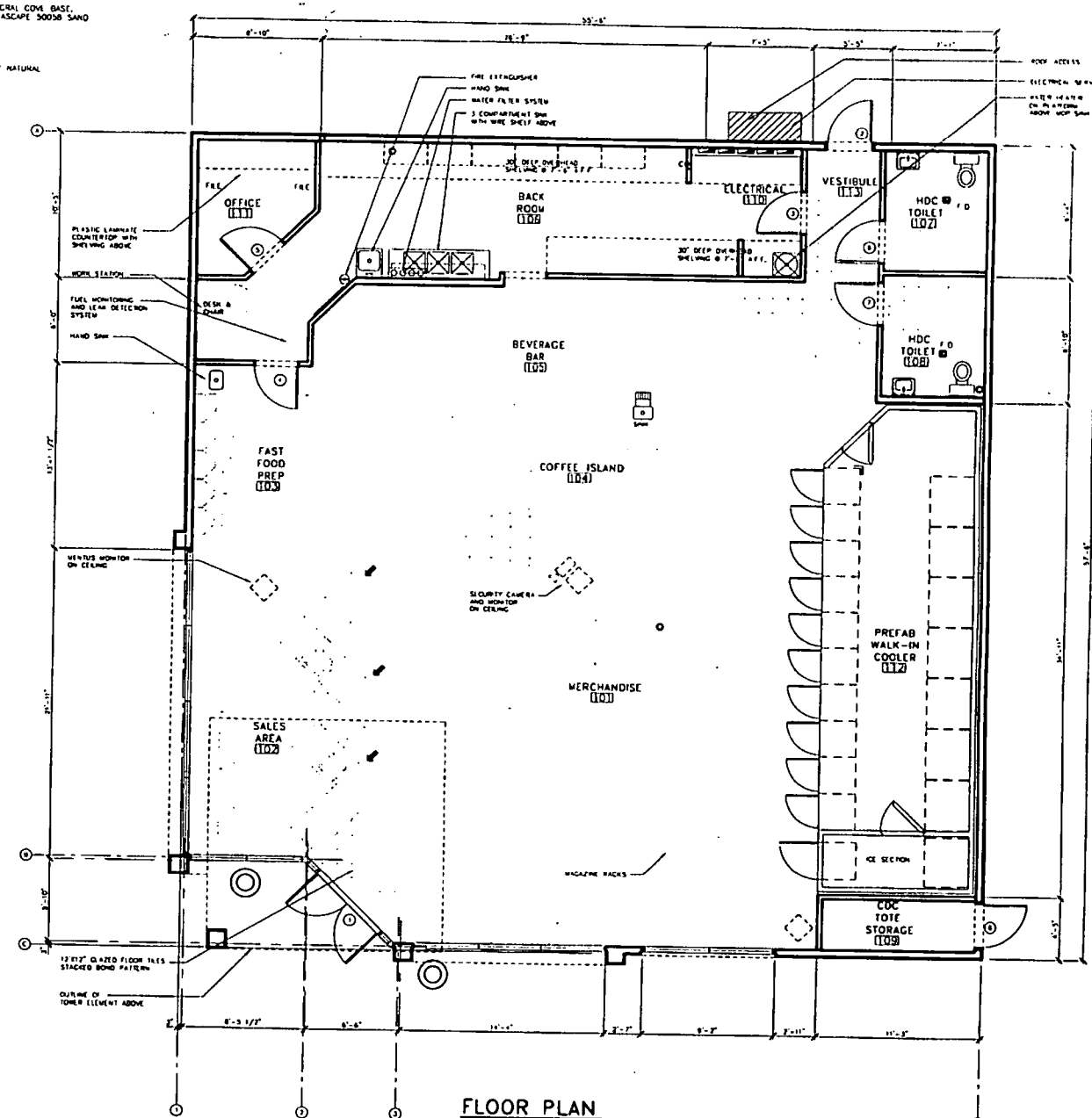


DOOR ELEVATIONS
REFER TO SPECIFICATIONS FOR HARDWARE

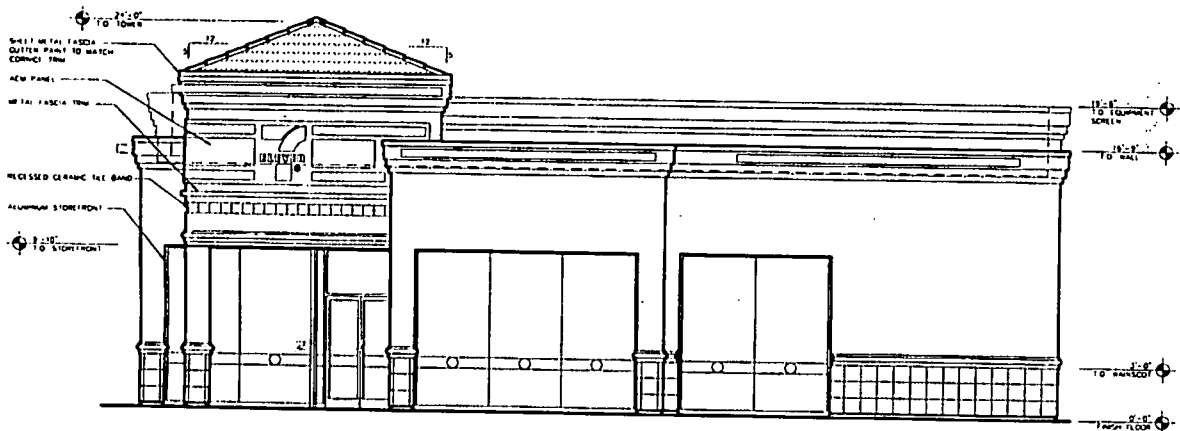
MATERIALS SCHEDULE

- FLOOR**
- GLAZED FLOOR TILE (12" x 12")
 - GROUT: FLORIDA IRE ILC, IA-650
 - ACCOLCOLOR 8130 NATURAL GREY
 - VINYL COMPOSITION FILL
 - AMERSONIC
 - INTERIOR MODERN
 - ESTER SANDS (1) WHITE
 - 1 1/2" x 1 1/2" x 1/8" GAUGE
 - PLAIN CONCRETE WITH STEEL IRONWIRE FINISH
 - SEALED WITH 2 COATS, SEMI-GLYPH-AM-111
 - SHEET VINYL FLOORING WITH 6" INTERNAL CORE BASE
 - CONGOLEUM T10R-EVER SERIES STIASCOPE 3005B SAND
- BASE**
- BURKE BASE - 8" TOP SLE WITH 1/8" RADIUS
 - CONC. NO. 507P-MOCHA
 - FLORIDA IRE NATURAL DUFFREX #7007 NATURAL
 - 676'S SANITARY BASE
- SIORIFRONT**
- ANODIZED ALUMINUM EXTRUSION
 - KAMBER ARCHITECTURAL PRODUCTS
 - DARK BRONZE ANODIZED

- WALLS**
- PAINT - INTERIOR - SEE PAINT SPECIFICATION
 - PAINT - EXTERIOR - SEE PAINT SPECIFICATION
 - FIBERGLASS REINFORCED POLYESTER WALL PANELS
 - TEMP. WATTLE # 118
 - PEBBLE FINISH, ALMOND
 - RED STRIP DECOR TAPE
 - COLOR: RED STRIP WITH CHROME, 9" HEIGHT, WFR. BY KLE
- CEILING**
- ACCOUSTICAL TILE - AMERSONIC
 - SHASTA 2007 NON PERFORATED
 - 510 FIBERGLASS E.C. FINISH
 - WHITE WITH FACED SUSPENSION SYSTEM - PRELUDE II
- MISC.**
- PLASTIC LAMINATE DESKTOP
 - MILSONANT 370-B USQUE
- PAINT**
- REFER TO SPECIFICATION

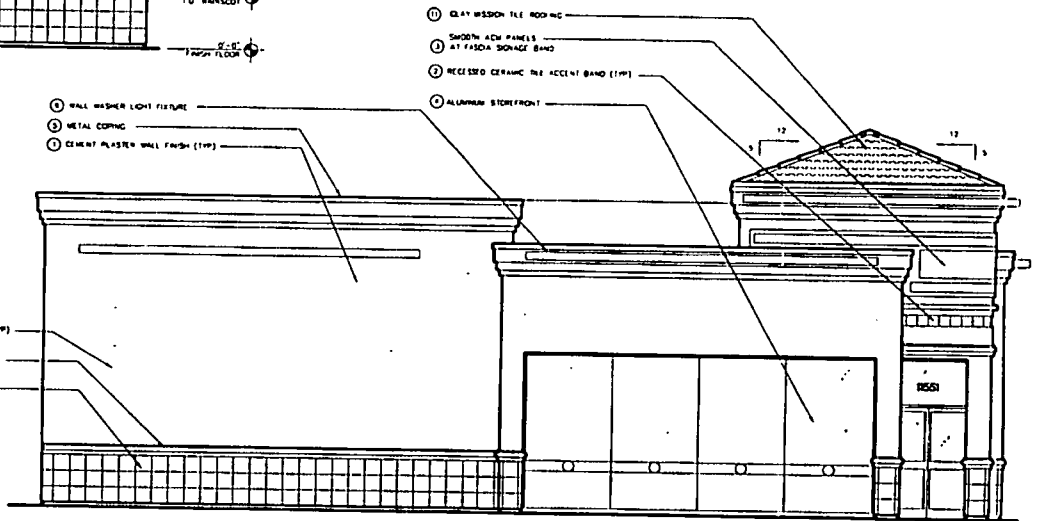


FLOOR PLAN
SCALE: 1/4" = 1'-0"

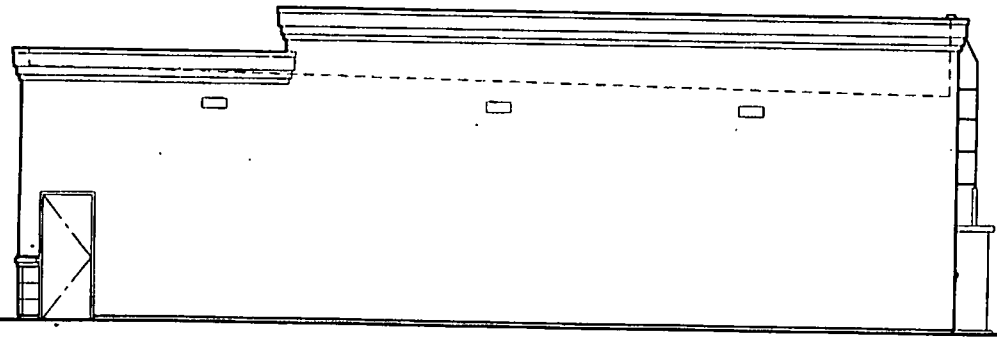


1 EAST ELEVATION
AS SCALE
1/8"=1'-0"

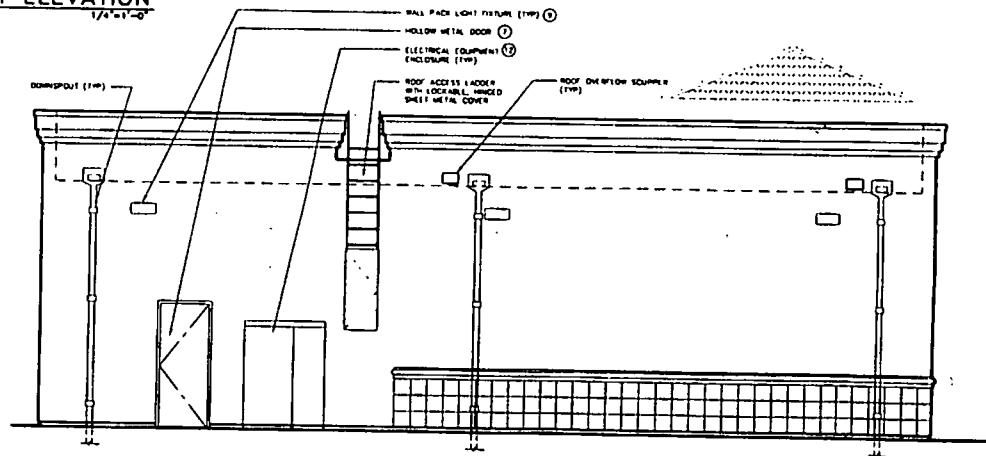
MARK	AREA	FINISH MATERIAL	COLOR
(1)	WALLS	CEMENT PLASTER	LS - GREY 2-1/2" ABOVE
(2)	TILE ACCENTS	CERAMIC TILE	SUNNYSIDE 2-1/2" SQUARE
(3)	FASCIA STORAGE BAND	ACM PANELS FACTORY FINISH	3-ELEMENT TR-COOR
(4)	STOREFRONT	ALUMINUM FACTORY ANODIZED	DARK BRONZE
(5)	MISCELLANEOUS METALS	PAINTED METAL	BROWN (MATCH STOREFRONT)
(6)	RECESSED FLOOR	PAINTED METAL	BRICE (MATCH WALLS)
(7)	WETIN DOOR AND FRAME	PAINTED METAL	BRICE (MATCH WALLS)
(8)	NOT USED	-	-
(9)	WALL LIGHT FIXTURES	PAINTED METAL	BROWN (MATCH STOREFRONT)
(10)	WANSKOT	CERAMIC TILE	SUNNYSIDE 2-1/2" SQUARE
(11)	ENTRY TOWER ROOF	SHADE PRODUCTS WAINU SERIES ROOF TILES	SUN VALLEY 22-1/2" ALMOND, BRICK PLANK
(12)	ELECTRICAL ENCLOSURES	WETIN	BRICE (MATCH WALLS)



2 SOUTH ELEVATION
AS SCALE
1/8"=1'-0"



3 NORTH ELEVATION
AS SCALE
1/8"=1'-0"



4 WEST ELEVATION
AS SCALE
1/8"=1'-0"

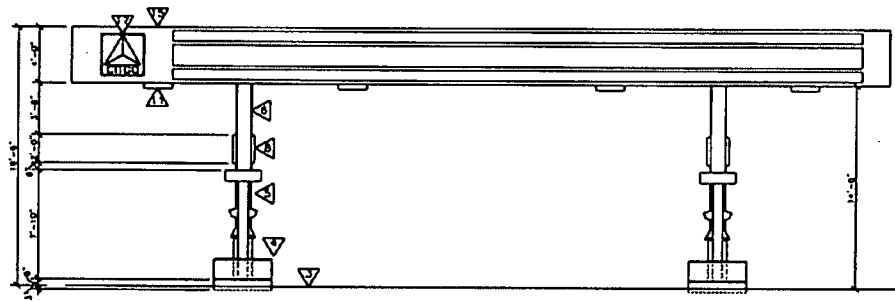
TYPICAL FLAG NOTES

- ▲ 6" CONCRETE SLAB WITH #3 REINFORCING BARS @ 18" O.C. BOTH WAYS. (VERIFY PER LOCAL ORDINANCES AND SOA CONDITIONS)
- ▲ 3" - 23 @ 8'-0" @ 43" TO MIT, TYPICAL AT EACH CORNER
- ▲ TOP OF CONCRETE FINISH (SEE SPECIFICATIONS FOR FINISHING SLAB SURFACE AND RELATED DETAILS).
- ▲ METAL "DOORSHED" SLAND FORM (8'-0" @ 4'-0"). FORM IS TO BE SET 2" BELOW TOP OF FINISHED CONG. SLAB. (PAINT METAL CLAMP FACE).
- ▲ MULTI-PRODUCT DISPENSER (MPD).
- ▲ CANOPY COLUMN (PAINTED).
- ▲ INTERIOR CALL BOX MECHANICALLY FASTENED TO COLUMN FACING THE MPD MOUNT AT 5'-0" ABOVE SLAB
- ▲ MERCHANDISE SPANDREL (2' x 8') (PER NAT. DIMENSION). MOUNTING HEIGHT 8'-10" FROM CONCRETE FINISH TO BOTTOM OF SPANDREL
- ▲ WASH BUCKET
- ▲ SEE SITE PLAN FOR THE LOCATION OF VENT PIPES. INTERIOR CANOPY COLUMN LOCATION IS AN ALTERNATIVE.
- ▲ CANOPY LIGHT FIXTURE (STD. 400W S.A.H.).
- ▲ LINE OF CANOPY ABOVE.
- ▲ SEE SHEET SP4 FOR DETAILS ON DOWN-SPLIT FROM CANOPY (INSIDE THE COLUMN).
- ▲ OVERFLOW PROTECTION AS REQUIRED. SEE CANOPY DRAWINGS & SPECIFICATIONS.
- ▲ DIMENSION CANOPY. SEE MANUFACTURER'S DIMENSIONS & SPECIFICATIONS FOR DETAILS OF CONSTRUCTION.
- ▲ CANOPY FASCIA
- ▲ ILLUMINATED SIGN ONE LOCATION (SEE SIGNAGE DRAWING, SG-1 FOR GUIDELINES ON THE PLACEMENT OF THE LOGO OR SIGN CAN).
- ▲ ROCK TRASH CAN SUPPLIED BY SOUTHLAND INSTALLED BY GAS CONTRACTOR. (TYP OF 4)

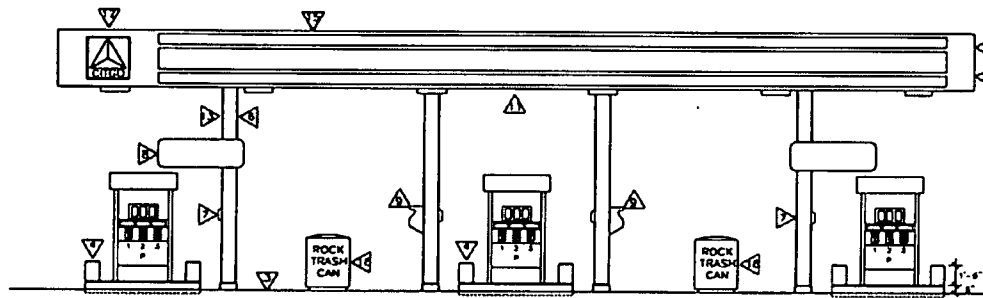
FASCIA TYPE :

- A. T8- STRIPS (NON-ILLUMINATED) w/ SIGN CAN'S FOR LOGOS. (SEE SIGNAGE DRAWING, SG-1, FOR STRIPE CONFIGURATION, COLOR, PLACEMENT, & RELATED DETAILS.

NOTE: REFER TO SITE PLAN FOR VENT LINE LOCATION. VENT LOCATION MAY VARY FROM THIS PLAN. SITE PLAN TAKES PRECEDENCE.



CANOPY - SIDE ELEVATION 1/4" = 1'-0"



CANOPY - FRONT ELEVATION 1/4" = 1'-0"

C. 10/1/88

P98 058

THE SOUTHLAND CORPORATION

FUEL ISLAND CANOPY ELEVATIONS

NEW FOOD STORE AND FUELING FACILITY
4425 FRUITWOOD ROAD AT FLORISS PETERS ROAD
SACRAMENTO, CALIFORNIA
C.U.P. CORPORATION

DATE	6-9-88
PROJECT NO	31A420
DRAWN BY	AS
APPROVED BY	AS
DESIGNED	

A4



Power Inn Transportation Management Association

4410 Power Inn Road, Suite 8, Sacramento, CA 95826
Ph. 916.453.8888. Fx. 916.448.5305 email: pitma@ms.net

Sponsors:

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- Sacramento Metropolitan AQMD

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- California Waste Recovery Systems, Inc.
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- College Greens Shopping Center
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- Recycling Industries
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- Safety-Kleen
- Separovich • Domich
- SQAR, Inc.
- Sophie's Kitchen
- Sylva-Kirk and Company
- Tred-Mill Tire Mart
- Vietnam Veterans of Ca., Inc.
- Welco Supermarket
- Willamette Industries
- Avondale Action Committee
- Colonial Village Neighborhood Association
- College Glen Neighborhood Association
- Hiram Johnson High School
- Office of Councilmember Steinberg
- Office of Senator Johnston
- Office of Supervisor Nottoli
- South Sacramento Chamber of Commerce

December 1, 1998

RECEIVED

DEC 01 1998

CITY OF SACRAMENTO
CITY PLANNING DIVISION

Ms. Bridgette Williams
Associate Planner
City of Sacramento
1231 I Street, Room #300
Sacramento, CA 95814

RE: PROPOSED 7-11 FACILITY -
APN portion of 061-0173-014

Dear Bridgette:

On behalf of the Power Inn Transportation Management Association (TMA), which represents 70 employers and over 20,000 employees and residents, we offer our comments on the proposed 7-11 facility on the northwest corner of Fruitridge Road and Florin Perkins Road.

We support the land use and know that the employees surrounding the proposed project will appreciate the services as well. We also appreciate the improved design features of the proposed project, including a tile roof and enhanced landscaping.

The proposed project would be located near Packard Bell NEC's world headquarters and the approved BLT waste transfer facility. We have worked with both of these companies, as well as others such as Granite Regional Park to ensure that improved design guidelines for the area be met. One of the TMA's goals is to improve the economic vitality of the area and we believe that higher design standards help to meet this goal.

Please do not hesitate to contact me or Alyssa Kelly at (916) 453-8888 if you have any questions.

Sincerely,

Wendy J. Hoyt
Wendy J. Hoyt
Executive Director

- c: A. Jackson, District 6 Office
- C. Sylva, Sylva Kirk Company

