

P98-025- SACRAMENTO PRINCE HALL MASONIC BUILDING
ASSOCIATION @ 3741 Altos Avenue

- REQUEST: A. **Environmental Determination: Categorical Exemption (15301(a));**
- (7) B. **Special Permit** to allow a social center consisting of 7,991 square feet in the Residential Office (RO) zone;
- C. **Special Permit** to allow nutrition program in the Residential Office (RO) zone;
- D. **Special Permit** to allow off-site parking in the Single Family (R-1) and Multi-Family (R-2A) zones;
- E. **Variance** to waive the wall required between the social center and adjacent residential uses.

LOCATION: 3741 Altos Avenue, Southwest corner of Altos and Grand Avenues.
APN: 250-0092-009,010,012, and 013
North Sacramento Plan Area
Del Paso and Grant Joint Union School Districts
Council District 2

| | |
|--------------------|--|
| APPLICANT: | William Y. Harrell Harrell Architectural Partnership 2320 Broadway Sacramento, CA 95818 (916) 454-2051 |
| OWNER: | Sacramento Masonic Building Association 405 Sailwind Way Sacramento, CA 95831 (916) 391-3657 |
| APPLICATION FILED: | March 16, 1998 |
| STAFF CONTACT: | Doug Holmen, (916) 264-8267 |

(1) **SUMMARY:** The applicant is requesting the entitlements to renovate the existing 7,991 square foot building to establish a permanent office and meeting facility for the Masonic Building Association. The facility will also have a nutrition program during the week for people who live in the area.

There are no planning or community issues associated with the project.

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RECOMMENDATION: Staff recommends approval of the Special Permits and Variance subject to conditions set forth herein. Staff believes that the proposed project would be a welcomed use for the surrounding neighborhood. At present the building is vacant and the two parking lots--one located on the west side of the building and the other located on the other side of the single family home to the south-- remain unused with weeds growing through the asphalt and around the perimeter which make the site an eyesore. The development of the facility into a daily use with activities-- many of which benefit the surrounding community--would provide the community with an active and congenial use.

PROJECT INFORMATION:

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|-----------------------------|---|
| General Plan Designation: | Low Density Residential (4-15 DU per net acre) |
| Community Plan Designation: | Residential (7- 15 DU per net acre) |
| Existing Land Use of Site: | Vacant Office Building and parking lots |
| Existing Zoning of Site: | Residential- Office (R-O) zone (office site; Single Family Residential (R-1), Multi-Family (R-2A) (parking lots) zones. |

Surrounding Land Use and Zoning:

North: Vacant; R-1 zone
 South: Vacant and Church; R-1 zone
 East: Park; R-1 zone
 West: Single family dwelling; R-1 zone

| | |
|------------------------------|--------------------|
| Property Area: | 7.8± net acres |
| Square Footage of Building: | 7,991 square feet |
| Height of Building: | 16 feet, one story |
| Exterior Building Materials: | Concrete block |
| Parking Provided: | 60 spaces |
| Parking Required: | 70 spaces |
| Topography: | Flat |
| Street Improvements: | Existing |
| Utilities: | Existing |

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

| <u>Permit</u> | <u>Agency</u> |
|-----------------|---------------------|
| *Special Permit | Planning Division |
| Design Review | Design Review Staff |
| Building Permit | Building Division |

*Requires a public hearing.

BACKGROUND INFORMATION: The subject site was formerly leased by the Sacramento County Welfare Department. On September 10, 1969, the Planning Commission granted a Special Permit to allow use of the three lots in the R-1 and R-2A zones for parking, subject to site plan approval by staff (P-3411). In 1984, the County Welfare Program moved out into new facilities leaving the building vacant. Vandalism and several interior fires caused the structure to be boarded up by the current owner. The parking lot special permit expired with passage of one year of non-use of the building. The applicant reapplied for and was granted a Special Permit to re-establish the parking lots and remodel the interior of the building for a Masonic Lodge Hall in June, 1988. However, the project was never completed and this special permit also expired.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

General Plan: The proposed project would be consistent with Goal B of the Sacramento General Plan Commerce and Industry Element which promotes reuse and revitalization of existing developed areas with special emphasis on commercial and industrial districts (SPGU, p. 4-1). It is also consistent with Policy 4 of the Neighborhood/ Community Commercial and Office Areas section which states: "Strengthen viable strip commercial development and discourage existing marginal strips from being extended." (SGPU, p. 4-17).

North Sacramento Community Plan: The proposed center would be consistent with the following Goals in the Commercial Office Land Use sections of the North Sacramento Community Plan:

- Encourage land uses which will enhance economic vitality of the community.
- Upgrade commercial areas by eliminating land use conditions that contribute to blight.
- Provide for neighborhood personal service offices.
- Area residents, especially the unemployed should benefit from office developments and new jobs created in North Sacramento.

B. Site Plan Design/Zoning Requirements

1. Setbacks

The proposed project meets the required setback requirements.

2. Parking/Circulation

The proposed project would require 70 parking spaces. The submitted site plan shows 60 spaces.

Since the proposed project would be a mixed use of office, and social hall; the parking requirement has been determined by adding the parking for the two components. The social hall component would require 67 spaces. The social hall component contains approximately 6,681 square feet. A social hall requires one space for every 100 square feet of floor area. The office component would require three spaces. The area of the office component contains approximately 1,120 square feet. The office parking was determined on a ratio of not less than one space per 400 square feet of floor area.

The proposed parking would consist of six spaces (two are handicapped spaces) in the front of the building (lot 10) facing Altos Avenue. The parking area behind the building to the west (lot 9) would provide 15 spaces. There would be two handicapped spaces next to the building and one compact space. The submitted site plan identifies two parallel stalls along the rear property line of the residential property adjacent to and south of lot 10 (the building site). The Traffic Engineering Division of Public Works has asked that one of these two spaces be removed. Thirty seven parking spaces would be provided on lots 12 and 13 which are adjacent to and south of the residential lot. No parking would be located in the designated alley area which runs along the south property lines of the residential lot and lot 9.

As presently presented on the site plan, the proposed project would provide a total of 59 spaces with the removal of the one space the Traffic Engineering Division wants removed. Additional spaces may need to be removed to assure that the 50 percent shading requirement is met. This could be accomplished by eliminating three parking spaces which are not required, and by restriping the lots to provide for more compact spaces which in turn would increase the total number of parking spaces.

3. Landscaping

The site plan shows that landscaping shall be provided in front of and in the rear of the building along Altos and Grand Avenues. A large planter is also shown along Altos Avenue in lots 12 and 13 which are designated for a parking area. More tree planting would need to be done in the three lots designated for parking to meet the 50 percent shade requirement.

4. Signage

The proposed building design shows one circular Masonic Lodge symbol on the Altos Avenue elevation and another one on the Grand Avenue Elevation. The symbols would not be illuminated. The symbols meet the sign ordinance requirements.

D. Building Design

The building exterior is built of small square concrete blocks. The applicant is proposing to "break up" the monotony of the walls by adding areas of painted stucco finish. The entrance

areas at the front and back elevations would have the stucco finish and the wall area would protrude beyond the roof line and be at a slight slant which will also add to an otherwise monotonous elevation. The height of the building would be 16 feet. There are churches, commercial uses (one is an old firehouse), and social service offices in the immediate area of the site, as well as single family dwellings to the south and west. The single family dwelling immediately to the south of the site has a painted brick front portion which appears to have served as a commercial/ office use in the past. The Design Review staff has reviewed the project and has no suggestions as to how the building could be redesigned.

E. Walls and Fences

It is noted that on the lot between the building site and the south parking lot, there exists a concrete block structure with an attached wood sided addition which is currently being used as a dwelling. The structure appears to have been constructed as a commercial building and converted into a dwelling. The dwelling is constructed on the front property line adjacent to the sidewalk and on the north property line nearly touching the office building. An alley 14 feet wide borders the south property line of the dwelling. Staff has determined that the proposed use should not adversely affect the dwelling since it is constructed of concrete block and sound attenuation afforded by this construction should mitigate noise impacts associated with the operation of the lodge.

A six foot high solid decorative masonry wall is required where single family uses or zones abut a commercial use such as a parking lot. When originally constructed, the City Code did not require a wall. In re-establishing the parking lots as a legal use, a wall is required along the west property lines. An existing six foot high, chainlink fence borders the parking lots. In the past, the building use was used only during the day. Now, social events are planned to be held during the evening hours. This could create a potential source of conflict with the neighbors. Staff recommends that a new double sided solid wood board fence, six feet in height, with landscaping adjacent to the west parking lot property lines, would reduce light and sound from the parking lot. Landscaping should consist of evergreen trees or shrubbery. The variance to waive the wall is supported by staff in that the building use would not be inoffensive to the surrounding residential uses.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15301 (a)). This section-class consists of the operation, repair, maintenance, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of use beyond that previously existing, including but not limited to interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.

B. Public/Neighborhood/Business Association Comments

The proposed project was sent to several community groups in the area. SHRA also

reviewed the project . SHRA is also providing financial assistance to the project. No negative comments have been received on the proposed project.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The following summarizes the comments received:

1. Public Works, Development Services Division

The Development Services Division submitted the following comments:

- a. Repair or replace existing deteriorated curb, gutter, and sidewalk to the satisfaction of the Department of Public Works.
- b. Repair or replace existing alley improvements to the satisfaction of the Department of Public Works.
- c. Both off and onsite parking shall comply with A.D.A. requirements.
- d. Only one parking space will be allowed adjacent and parallel to the existing fence at the southeast end of the onsite parking lot.

2. Building Division

The Building Division has the following comments:

- a. Check exterior wall and opening protection at new canopy west side of building as per UBC.
- b. Need to determine occupant load in meeting rooms based on whether fixed seating would be provided for any further review.

3. Fire Department

The Fire Department has the following comments:

- a. A sprinkler system will be required.
- b. A KNOX lock system will be required.

4. Police Department

The Police Department has the following comments:

- a. Masonic Lodge sponsored dances and concert events may be held without a permit, but a permit would be required of non-members for concerts and

dances.

- b. All external doors shall be equipped with Fire Department approved panic hardware.

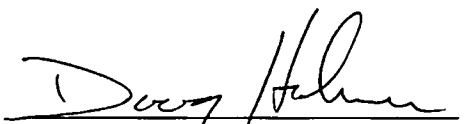
PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny the Special Permit and Variance requests. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15301 (a);
- B. Adopt the attached Notice of Decision and Findings of Fact approving the **Special Permit** to allow a social center consisting of 7,991 square feet in the Residential Office (RO) zone;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the **Special Permit** to allow a nutrition program in the Residential Office (RO) zone;
- D. Adopt the attached Notice of Decision and Findings of Fact approving the **Special Permit** to allow off-site parking in the Multi-Family (R-2A) zone;
- E. Adopt the attached Notice of Decision and Findings of Fact Approving the **Variance** to waive the wall required between the social center and adjacent residential uses.

Report Prepared By,

Report Reviewed By,


Doug Holmen, Associate Planner


Scot Mende, Senior Planner

Attachments

| | |
|--------------|---------------------------------------|
| Attachment 1 | Notice of Decision & Findings of Fact |
| Exhibit 1A | Site Plan |
| Exhibit 1B | Elevations |
| Exhibit 1C | Floor Plan |
| Attachment 2 | Vicinity Map |
| Attachment 3 | Land Use & Zoning Map |

Attachment 1:

NOTICE OF DECISION AND FINDINGS OF FACT FOR

Sacramento Masonic Building Association
@ 3741 Altos Avenue**SACRAMENTO, CALIFORNIA IN THE**
RESIDENTIAL OFFICE, SINGLE FAMILY AND MULTIPLE FAMILY (R0, R-1, R-2A) ZONES
APN: 250-0092-009, 010, 012, 013

At the regular meeting of June 25, 1998, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination;**
- B. **Approved the Special Permit** to allow a social center consisting of 7,991 square feet in the Residential Office (RO) zone;
- C. **Approved the Special Permit** to allow a nutrition program in the Residential Office (RO) zone;
- D. **Approved the Special Permit** to allow off-site parking in the Single Family (R-1) and Multi-Family (R-2A) zones;
- E. **Approved the Variance** to waive the wall required between the social center and adjacent residential uses.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. **Categorical Exemption:** The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section #15301 (a) of the CEQA Guidelines which refer to Categorical Exemptions.
- B. **Special Permits:**
 - 1. The Special Permits, as conditioned, are granted upon sound principles of land use in that:
 - a. The building will be rehabilitated and used as a community facility serving the surrounding community;
 - b. The proposed facility is compatible to the surrounding land uses which

- consist of commercial, office, spiritual, and residential uses;
- c. Landscaping, site redesign, and a six foot high wooden fence will improve the visual effect of the corner.
2. The proposed project, as conditioned, is not injurious to the general public, in that:
 - a. The proposed facility would provide parking on adjacent lots;
 - b. The proposed project, as conditioned, will not create adverse visual problems;
 - c. The proposed project, as conditioned, will provide needed health and social services to the surrounding community.
 - d. The proposed project, as conditioned, will not increase traffic congestion on the adjacent streets.
 3. The proposed project, as conditioned, is consistent with the General Plan and the 1984 North Sacramento Community Plan which designates the site for residential use. Private social clubs and social services are allowed in any zone upon issuance of a special permit.

C. Variance:

1. The variance, as conditioned, is granted upon sound principles of land use in that:
 - a. The variance is not a use variance in that the social club and social service use are permitted in the RO zone subject to the granting of a special permit.
 - b. The variance does not constitute a special privilege extended to an individual applicant, in that the subject site contains an existing parking lot and requiring a wall along the west would not serve any practical purpose.
 - c. Granting the variance would not be detrimental to surrounding property in that a landscaped setback area and a six foot high, wood fence would be provided as a buffer.
 - d. The variance is consistent with the General Plan and the 1984 North Sacramento Community Plan which designates the site for residential uses.



CONDITIONS OF APPROVAL

B&C. The Special Permits and Variance are hereby approved subject the following conditions:

1. The applicant shall submit a revised site plan indicating all parking lot striping, planting areas, and signage.
2. A six foot high, double sided solid wooden fence shall be constructed along the west property lines adjacent to the parking lots.
3. All activities shall cease by 11:00 p.m. in the evenings.
4. Provide lighting in the parking lots which will be shielded away from the residential uses. All lighting is to be turned off by 11:30 p.m.
5. The applicant shall submit a detailed landscaping and irrigation plan to the Planning Director prior to issuance of building permits.
6. Repair or replace existing deteriorated curb, gutter, and sidewalk to the satisfaction of the Department of Public Works.
7. Repair or replace existing alley improvements to the satisfaction of the Department of Public Works.
8. Both off and onsite parking shall comply with A.D.A. requirements.
9. Only one parking space will be allowed adjacent and parallel to the existing fence at the southeast end of the onsite parking lot.
10. A fire sprinkler system will be required.
11. A KNOX lock system on the building will be required.
13. All external doors shall be equipped with Fire Department approved panic hardware.
15. The nutrition program will abide by the following business practices:
 - a. All service occurs inside a building;
 - b. Adequate waiting space is provided inside;



- c. Adequate and accessible bathrooms are provided inside;
- d. Trash receptacles are readily available in and outside;
- e. Service activities do not rely on using the public right of ways;
- f. Building and site are regularly cleaned and maintained;
- g. Site is adequately lighted;
- h. Occupancy standards are posted and complied with;
- i. Hours of services are commensurate with the level of services to be provided.
- j. The client load does not overburden the space used;
- k. Trash receptacles are readily available and emptied frequently;
- l. Food is consumed inside.

CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

DATE (June 25, 1998)

Attachments

- Exhibit 1A
- Exhibit 1B
- Exhibit 1C

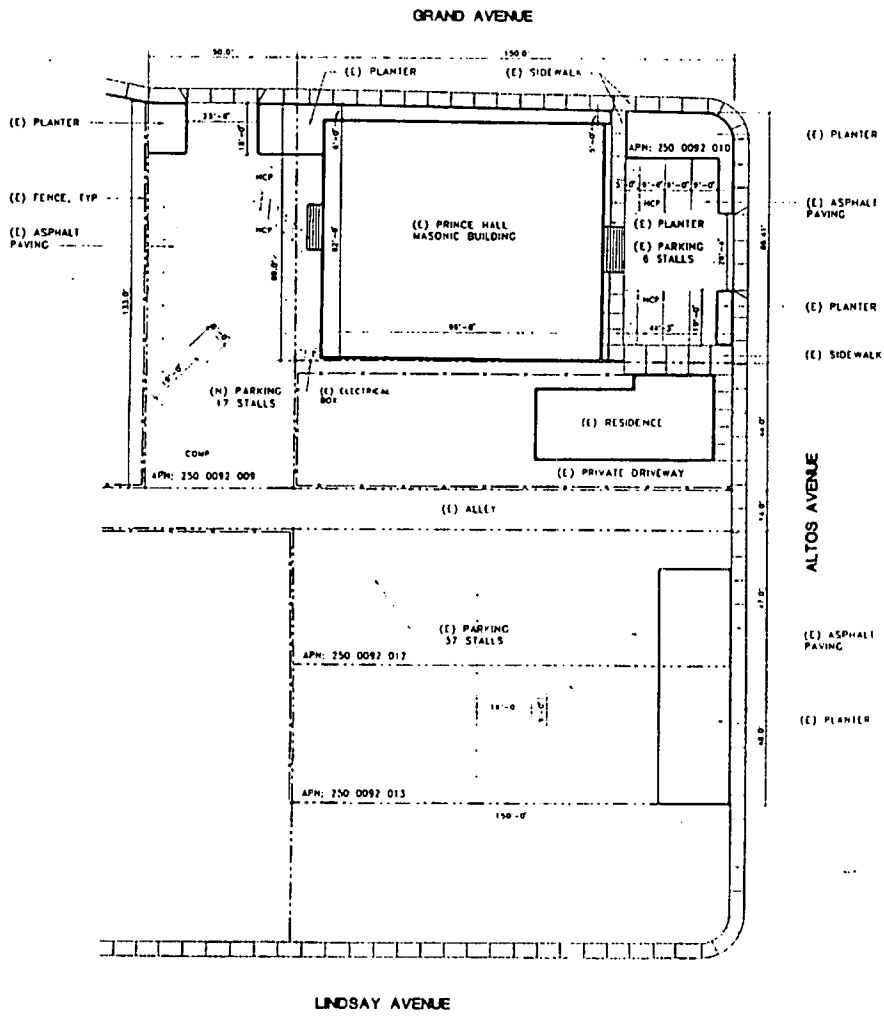
Sacramento Prince Hall
Masonic Building Renovation

3741 Altos Avenue
Sacramento, California

P98-025

JUNE 25, 1998

ITEM # **8**
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Site Plan

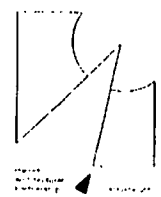
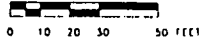
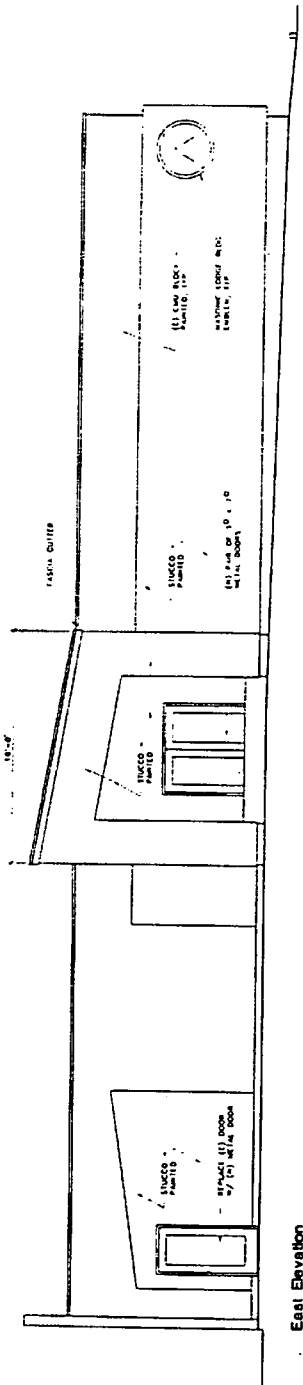
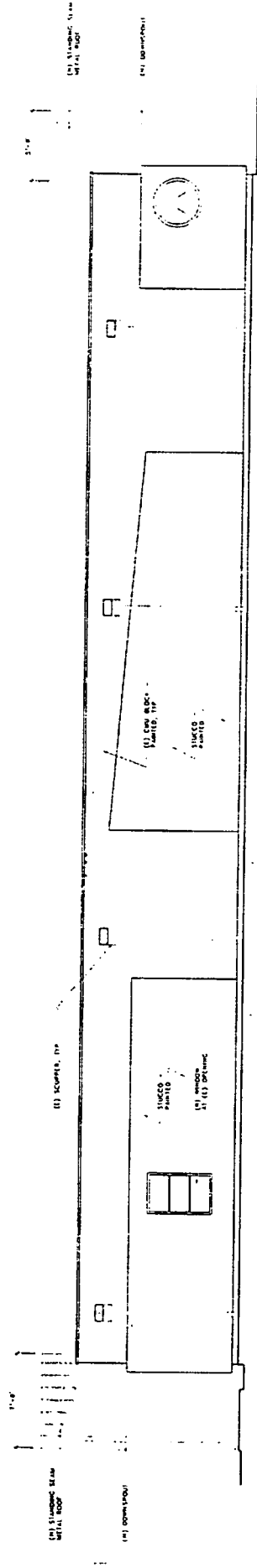


Exhibit 1A
Site Plan

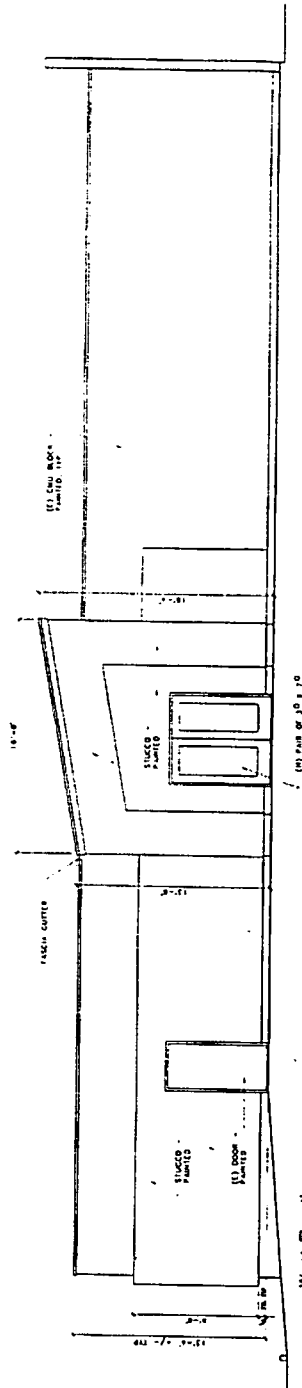
Exhibit 1B
Elevations



East Elevation



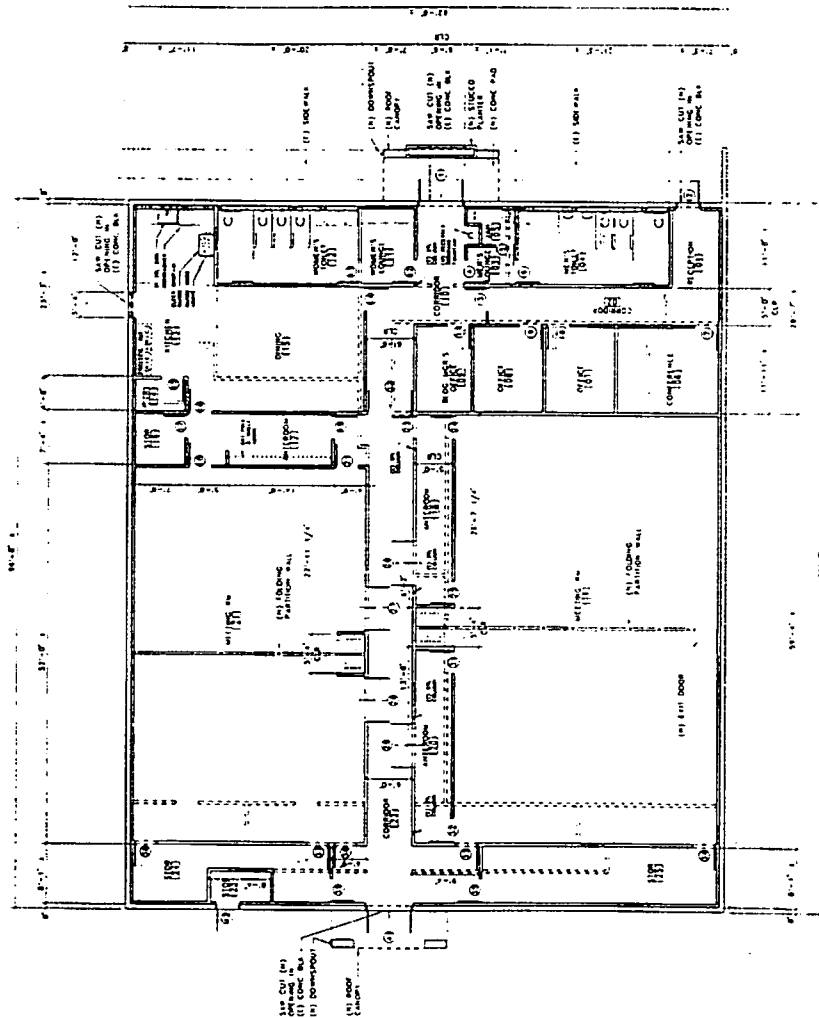
North Elevation



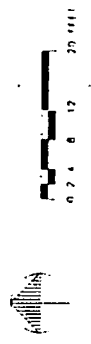
West Elevation

Exterior Elevations

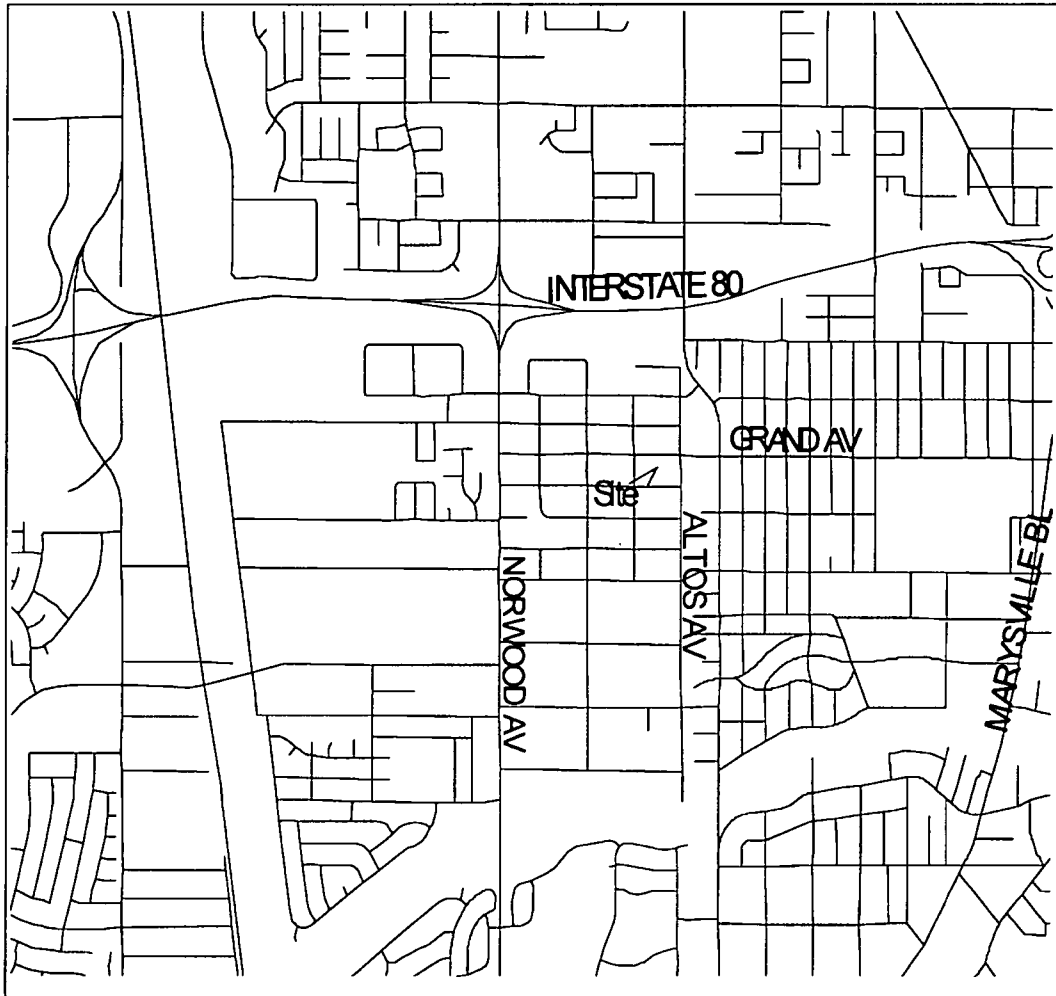
Exhibit 1C
Floor Plan



- LEGEND**
- (1) CONC. BLK. WALL W/ (N) TUBRING & 8" R-11 BATT INSULATION
 - (N) PARTITION WALL
 - (1) PARTITION WALL
 - (2) PARTITION WALL PAINTING OR DROP TO BE REPROD



Floor Plan



Attachment 3
Land Use and Zoning Map

