

# CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	M.D.K. Boghosian, architect, 2306 'J' Street, Sacramento, CA 95816				
OWNER	William Yaffee (Yaffee, Inc.), 1817-8th Street, Sacramento, CA 95814				
PLANS BY	M.D.K. Boghosian, architect, 2306 'J' Street, Sacramento, CA 95816				
FILING DATE	10/25/83	50 DAY CPC ACTION DATE		REPORT BY:	TM:bw
NEGATIVE DEC.	12/5/83	EIR		ASSESSOR'S PCL. NO.	009-065-14 & 15

- APPLICATION:
1. Environmental Determination
  2. Variance to waive the 50% shading of surfaced areas (Withdrawn)
  3. Variance to allow tandem parking (Withdrawn)
  4. Variance to reduce the required maneuvering room (Withdrawn)
  5. Variance to locate the required parking off site (Sec. 6-D-4)
  6. Lot Line Merger (P83-361) (Sub. Ord. Sec. 40.107)

LOCATION: 1817-8th Street

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 6,400 square foot warehouse addition to an existing restaurant supply house located in the Heavy Commercial (C-4) zone.

PROJECT INFORMATION:

1974 General Plan Designation:	Industrial
1980 Central City Community Plan Designation:	Heavy Commercial
Existing Zoning:	C-4
Existing Land Use:	Vacant (site proposed for warehouse expansion)

Surrounding Land Use and Zoning:

North:	Warehouse; C-4
South:	Parking Lot; C-2
East:	Parking Lot; C-2
West:	Industrial; C-4

Parking Required:	6 spaces
Parking Provided:	6 spaces
Ratio Required:	1 space per 1,000 square foot warehouse
Property Dimensions:	40' x 80' (site proposed for warehouse expansion)
Property Area:	3,200 square feet
Square Footage of Building:	8,520 (existing); 6,400 (proposed addition)
Height of Structure:	26 feet
Topography:	Flat to sloping
Street Improvements:	Existing curb, gutter and sidewalk
Utilities:	Available to site
Exterior Building Colors:	White
Exterior Building Materials:	Concrete block

BACKGROUND INFORMATION: On February 12, 1974 the Commission approved a similar request to allow an expansion of the existing warehouse (P-5780). The current application is for a slightly smaller expansion.

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STAFF EVALUATION: The applicant proposes to construct a 6,400 square foot warehouse addition to an existing restaurant supply house. The required six parking spaces are to be provided off-site across the alley. Staff has no objection to this request because of the close proximity of this parking site. Also, the building site and the parking site are in common ownership.

The proposed parking site is currently paved and partially utilized for outside storage. Once the warehouse structure is completed the outside storage will be eliminated and landscaping installed to ordinance standards.

The Lot Line Merger was routed to the various City Departments for review and comments. There were no objections to the merger.

STAFF RECOMMENDATION: The staff recommends the following actions:

1. Ratification of the Negative Declaration;
2. Approval of the Variance to locate the required parking spaces off site, subject to conditions and based upon Findings of Fact which follow;
3. Approval of the Lot Line Merger by adopting the attached resolution.

Conditions - Variance

- a. The applicant shall submit revised plans providing for 50 percent shading of the required parking spaces per Section 6-D-19 of the Zoning Ordinance prior to issuance of the building permits;
- b. The outside storage area shall be eliminated prior to issuance of occupancy permits for the addition.

Findings of Fact - Variance

- a. The variance does not constitute a special privilege in that the applicant is providing the required parking spaces off site;
- b. The variance is not a use variance in that the proposed warehouse use is allowed in the Heavy Commercial (C-4) zone;
- c. The variance will not be injurious to the public welfare nor to property in the vicinity of the applicant in that the required parking spaces will be provided in close proximity to the warehouse facility;
- d. The variance is consistent with the Land Use Element Goal of the General Plan to:

"Allocate residential, commercial, industrial and other land uses in such a manner as to result in a desirable urban environment which satisfies the needs of the total community."

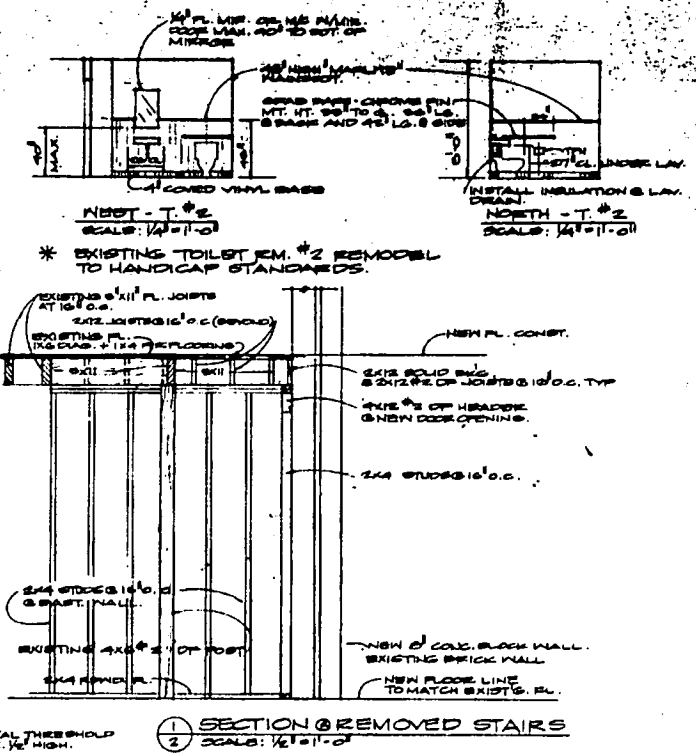
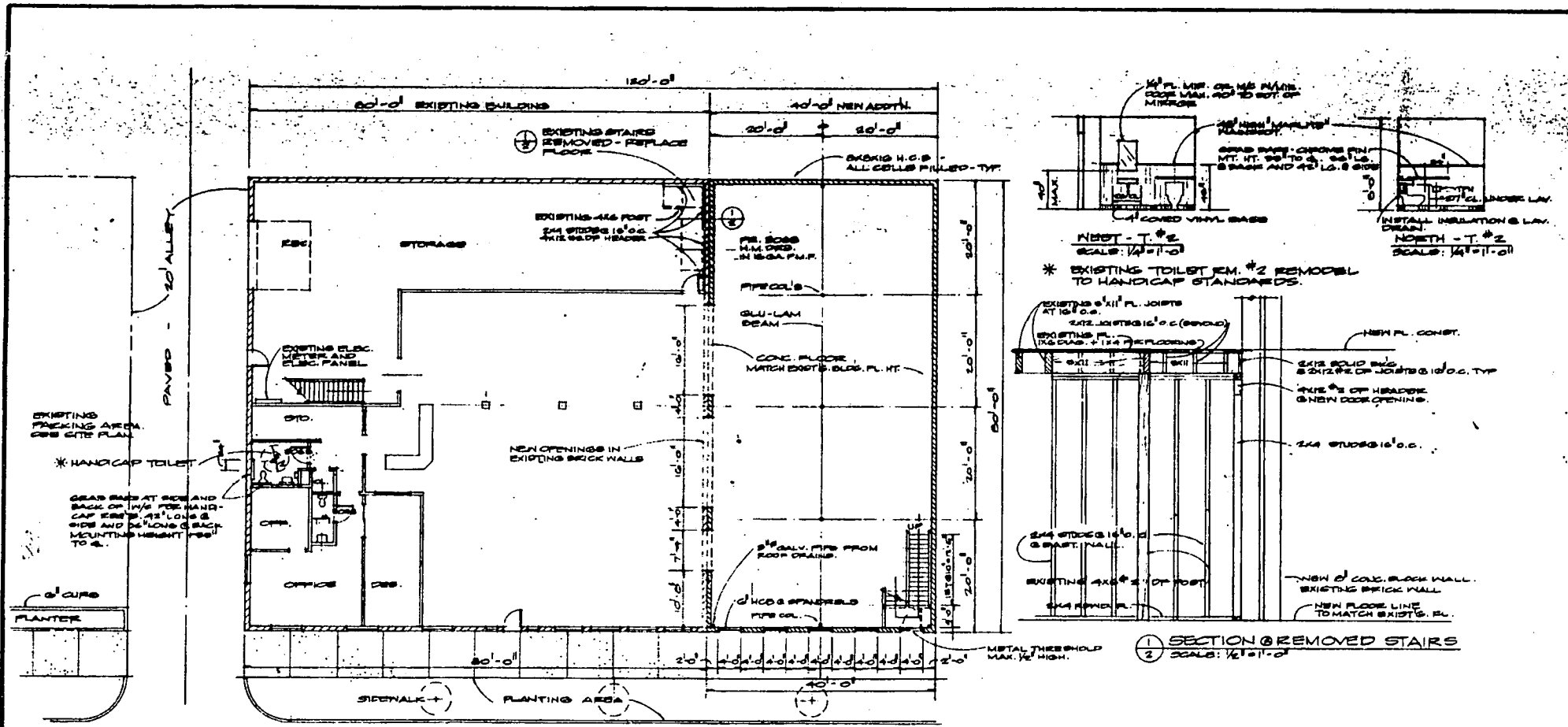
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P 83361

12-15-83

No. 34



**1ST FLOOR**  
 SCALE: 1/8" = 1'-0"  
 0 5 10 15 20



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10.5.83 6.15.83

**WAREHOUSE ADDITION  
 FOR: YAFFEE INC.**

1817 8TH STREET  
 SACRAMENTO CALIF

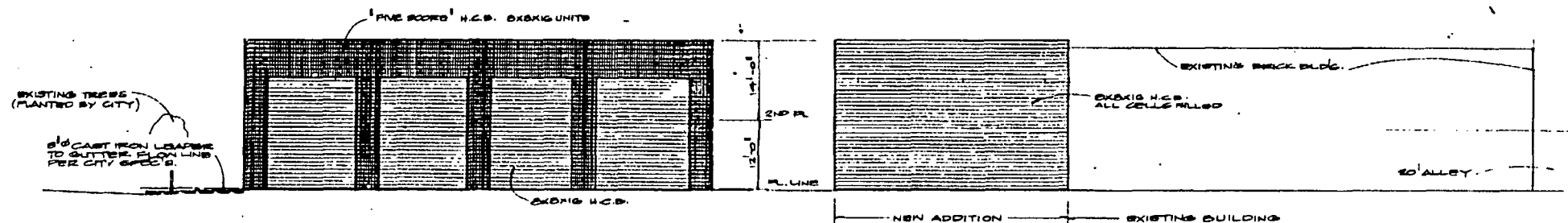
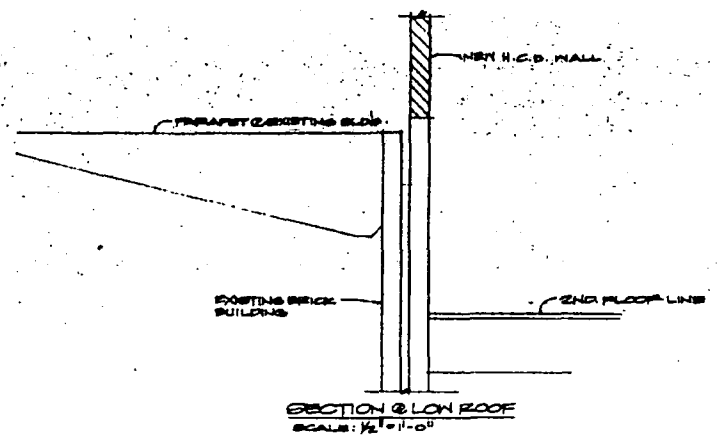
M. D. K. BOGHOSIAN  
 2308 J STREET SACRAMENTO 95811  
 ARCHITECT

SHEET 2 OF 4



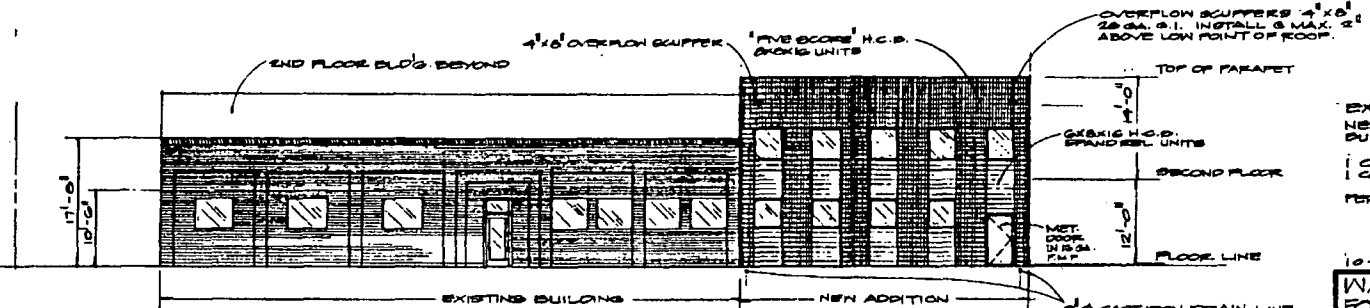
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**SOUTH**  
1/8" = 1'-0"

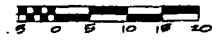
**EAST**  
1/8" = 1'-0"



**EXTERIOR FINISH:**  
 NEW ADDITION TO MATCH EXISTING BUILDING - PAINTED WHITE.  
 1 COAT CONC. PRIMER - SEALER  
 1 COAT COLOR ACRYLIC LATEX  
 PER APPROVED MFR. SPECIFICATION.

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**WEST**  
1/8" = 1'-0"



10-8-83 6-12-83

**WAREHOUSE ADDITION FOR: YAFFEE INC.**

1817 5TH STREET  
SACRAMENTO CALIF

M. D. K. BOGHOSIAN 2300 J STREET SACRAMENTO 444-1804 ARCHITECT	SHEET <b>4</b> OF 7
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No. 34

Exhibit "B"

Property Description

APN 009-065-26114

All that property situated in the city of Sacramento,  
County of Sacramento, State of California described  
as follows;

All of lot 8 in the Block Bounded by R and S Streets,  
8th and 9th Streets, Excepting therefrom the southerly  
40 feet.

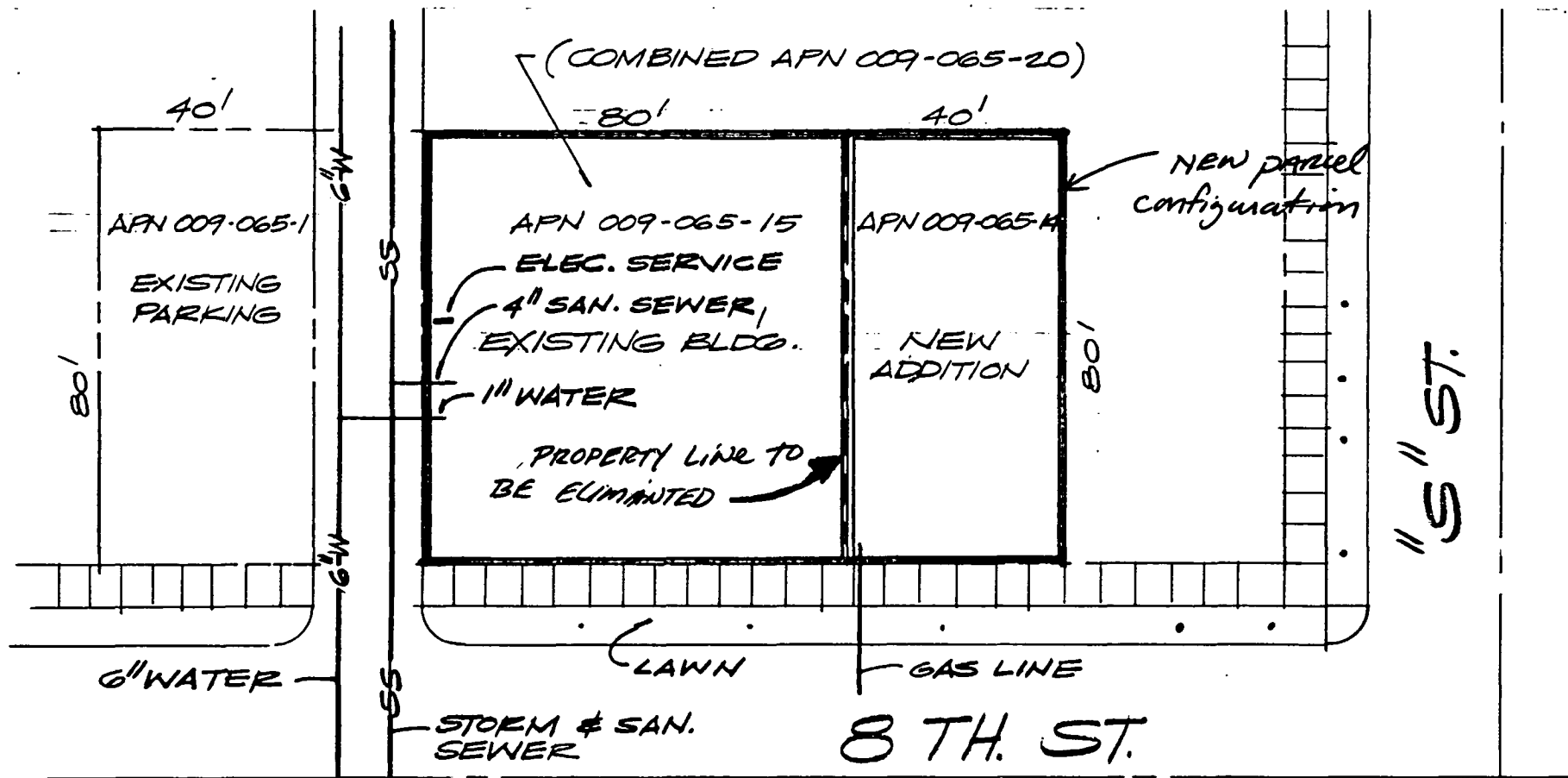
Legal ok  
10-26-83  
M.A. [Signature]

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P 83-361

12-15-83



SITE PLAN  
SCALE: 1" = 10'



YAFFEE INC.  
1817 8TH ST.  
SACRAMENTO

EXHIBIT "A"

M. D. K. BOGHOSIAN  
2306 J ST.  
SACRAMENTO, CA.  
442-1284

002728

No. 34