

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15303a).

STAFF RECOMMENDATION: Staff recommends that the Commission take the following action:

Approve the special permit, based on the findings of fact and subject to conditions which follow.

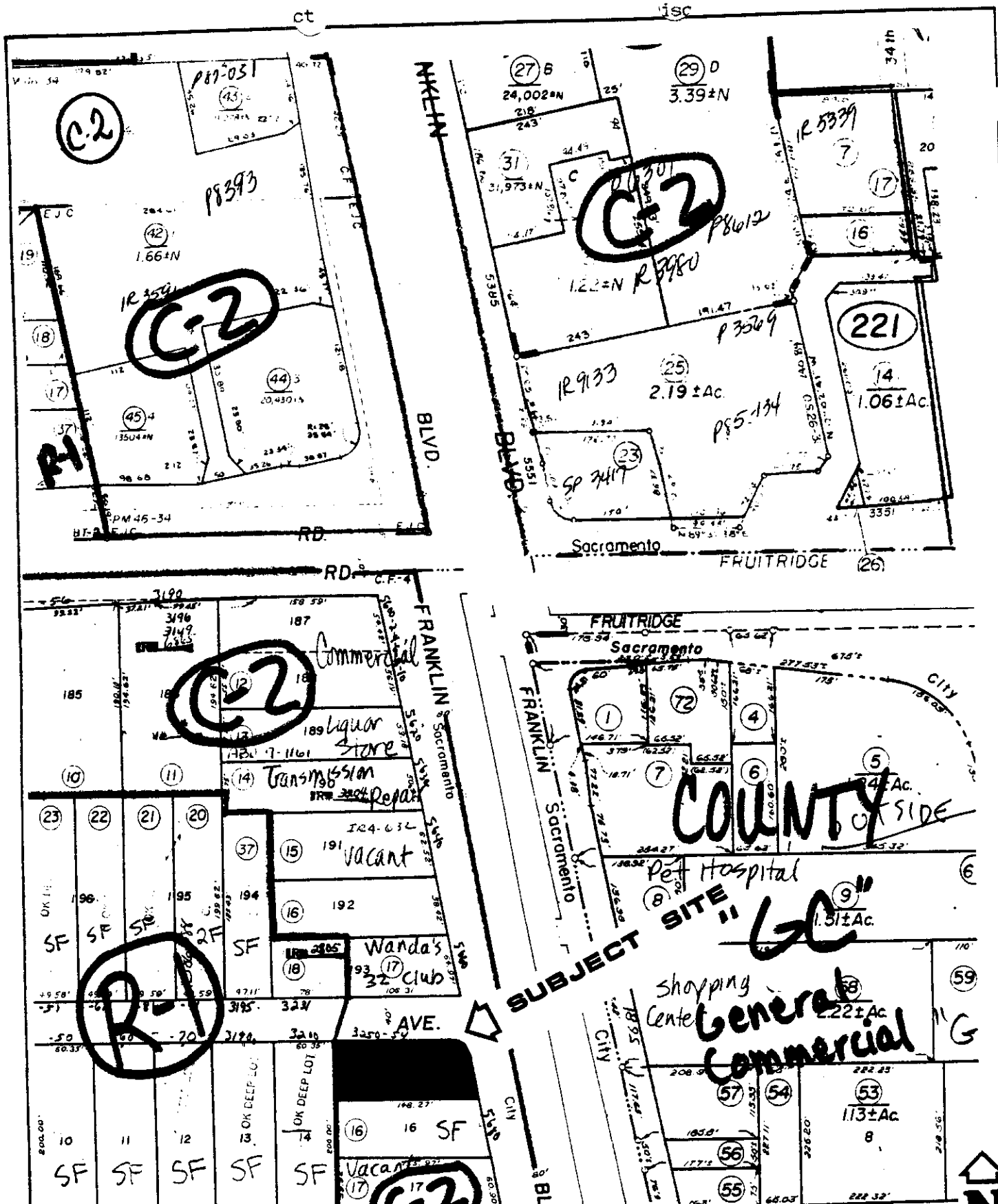
Special Permit - Conditions

1. A covered porch shall be added to the front door.
2. The front window shall be treated as per Exhibit A.
3. The parking area shall be 24 feet wide and 20 to 22 feet long, so that it does not extend beyond the building lines of either of the dwelling units.
4. A landscaped planter shall be added to the front of the new dwelling unit.
5. Six-foot high wooden fences shall be constructed on the north side of the site either along the street side setback line or in line with the north walls of the buildings, in order to enclose the rear yard areas of both dwelling units.
6. The area in front of the new fences shall be landscaped and an automatic sprinkler system installed.
7. Revised plans which incorporate the above conditions shall be submitted to the Planning Director for review and approval prior to issuance of building permit.

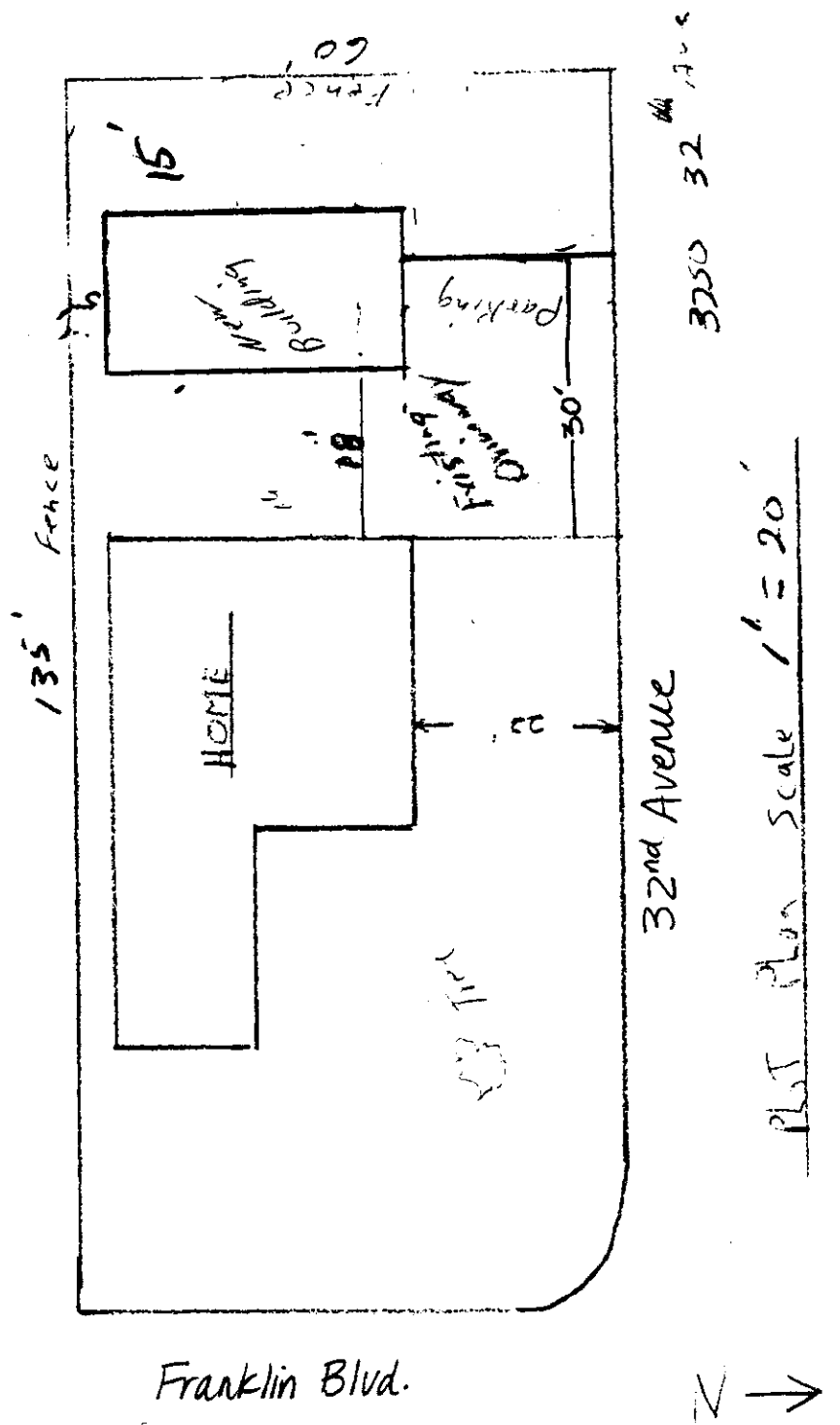
Special Permit - Findings of Fact

1. The project, as conditioned, is based on sound principles of land use in that:  
  
    residential uses are allowed in commercial zones with a special permit.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that:
  - a. adequate on-site parking will be provided,
  - b. setbacks are provided which are greater than required in the C-2 zone,
  - c. usable open space will be provided for both dwelling units,

d. the project design is compatible with existing



P87049

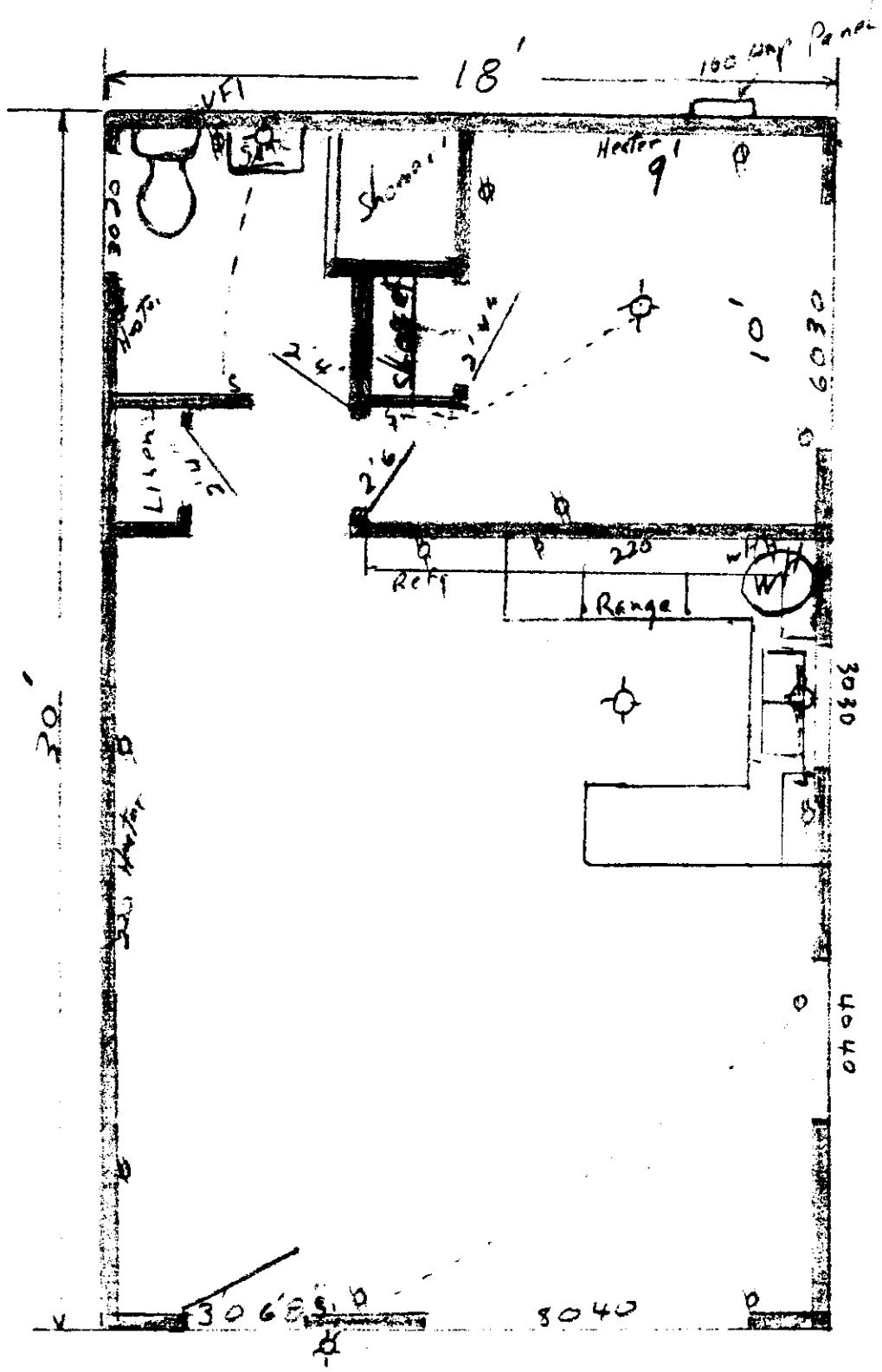


# SITE PLAN

P87-049

February 12, 1987

Item 15-



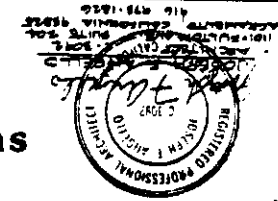
# FLOOR PLANS

Floor Plan  
540 sq ft

P87-049

February 12, 1987

P87049  
 Item 15

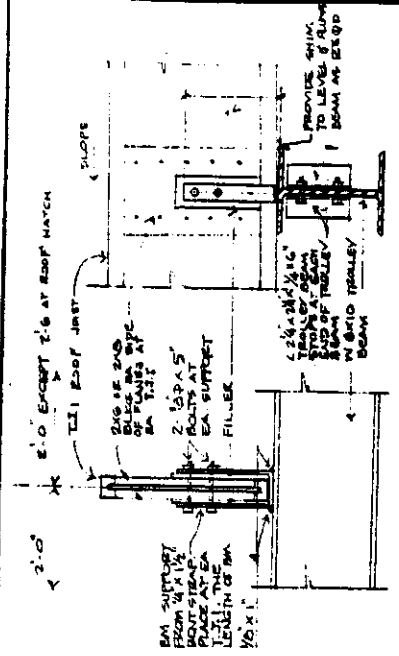


# EXHIBIT F

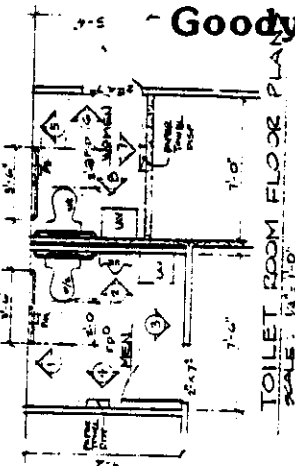
## Goodyear Elevations

DATE: JAN. 9, 87	BY: [Signature]
CHECKED BY: [Signature]	APPROVED: [Signature]
DESIGN: [Signature]	APPROVED: [Signature]

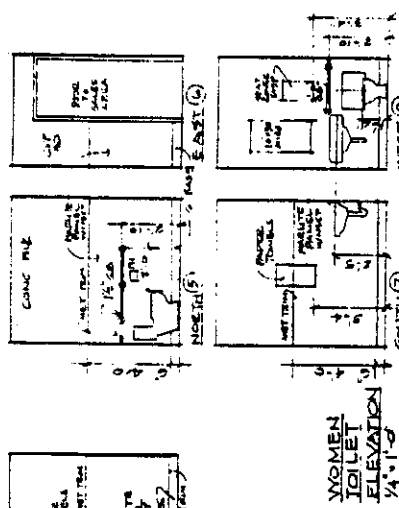
REVISIONS: 3-5-DW



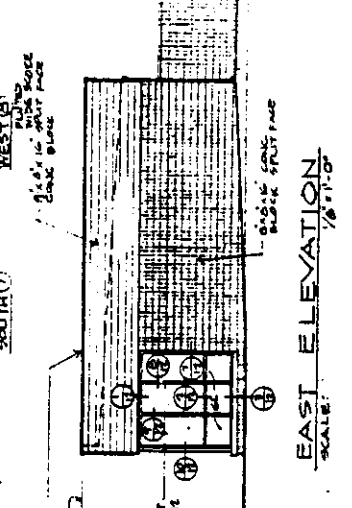
1 TROLLEY BEAM SUPPORT DETAIL  
SCALE: 1/2" = 1'-0"



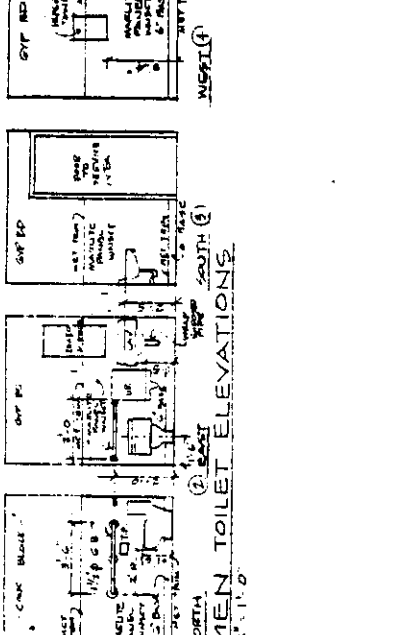
TOILET ROOM FLOOR PLAN  
SCALE: 1/4" = 1'-0"



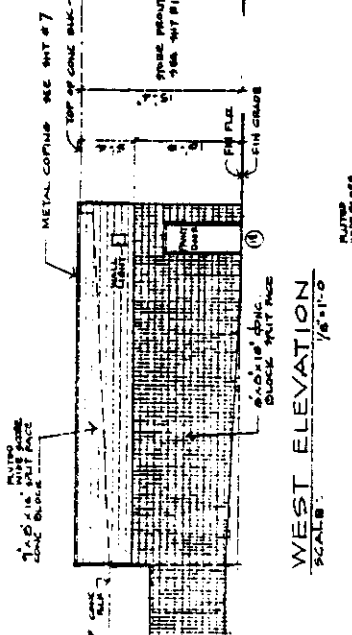
MEN TOILET ELEVATION  
SCALE: 1/4" = 1'-0"



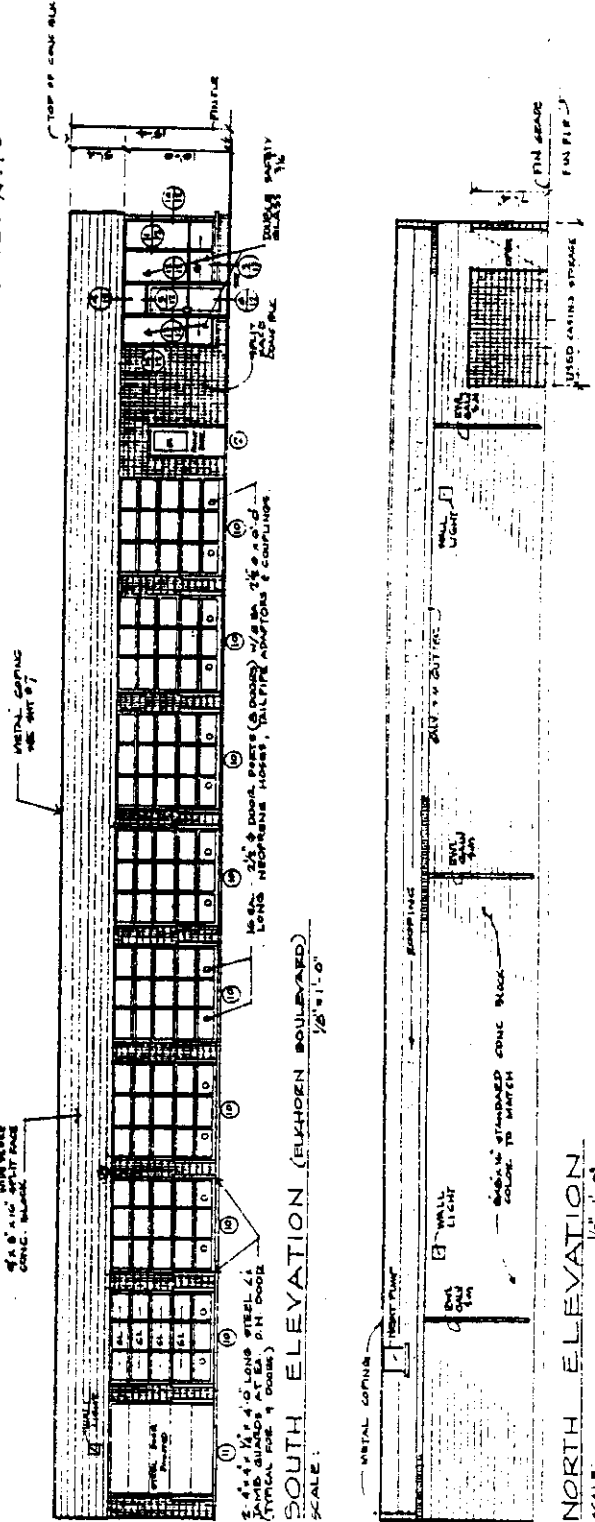
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



MEN TOILET ELEVATIONS  
SCALE: 1/4" = 1'-0"



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (RUBEN BOULEVARD)  
SCALE: 1/8" = 1'-0"

NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

P87-046

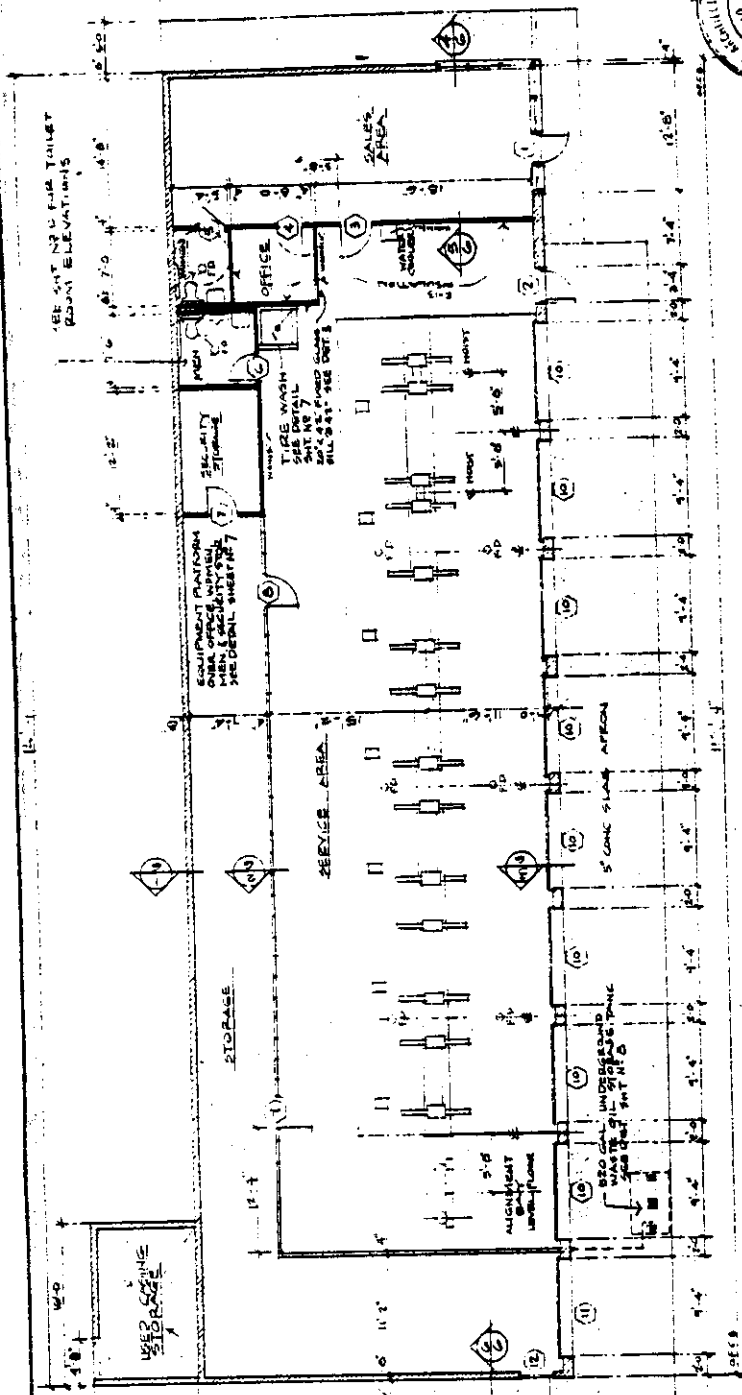
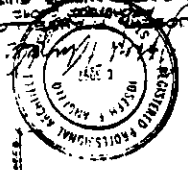
2-12-87

Item 14

EXHIBIT G

Goodyear Floor Plan

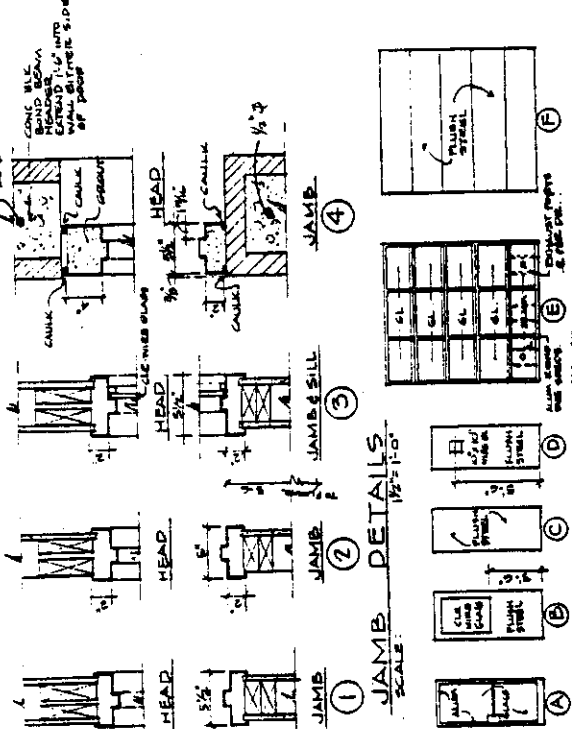
DATE: JAN. 9, 85  
 CHECKED BY: [Signature]  
 DRAWN BY: [Signature]  
 APPROVED: [Signature]  
 THE GOOD YEAR TIRE & RUBBER COMPANY  
 REVISIONS: 5-5-85



**LEGEND**  
 CONTROL JOINT  
 FLOOR DRAIN  
 5" CONC. SLAB  
 1" CONC. SLAB  
 1" CONC. STUDES @ 24" O.C.  
 1" CONC. W/ 1/2" O.C. OF REBAR  
 1" CONC. W/ 1/2" O.C. OF REBAR  
 1" CONC. W/ 1/2" O.C. OF REBAR  
 1" CONC. W/ 1/2" O.C. OF REBAR

**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

DOOR SCHEDULE		ROOM FINISH SCHEDULE	
NO.	SIZE	DOOR	ROOM
1	36" x 78"	STEEL	SALES AREA
2	36" x 78"	STEEL	OFFICE
3	36" x 78"	STEEL	WOMEN
4	36" x 78"	STEEL	MEN
5	36" x 78"	STEEL	SERVICE AREA
6	36" x 78"	STEEL	SECURITY STOK
7	36" x 78"	STEEL	STORAGE
8	36" x 78"	STEEL	REST ROOM
9	36" x 78"	STEEL	REST ROOM
10	36" x 78"	STEEL	REST ROOM
11	36" x 78"	STEEL	REST ROOM
12	36" x 78"	STEEL	REST ROOM



\*AMENDED BY STAFF 3-11-87  
**CITY PLANNING COMMISSION**

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

**APPLICANT** James Construction Company - 7828 Charmette Way, Sacramento, CA 95823  
**OWNER** Olivia Rinetti - 3250 32nd Avenue, Sacramento, CA 95824  
**PLANS BY** James Construction Company - 7828 Charmette Way, Sacramento, CA 95823  
**FILING DATE** 1-9-87 **ENVIR. DET.** Exempt 15303a **REPORT BY** KMB:sp  
**ASSESSOR'S-PCL. NO.** 025-0092-015

**APPLICATION:** Special Permit to construct <sup>an additional</sup> a/~~second~~ residential unit on 0.2+ developed acres in the General Commercial (C-2) zone.

**LOCATION:** 3250 32nd Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct a 540-square foot residential unit on a 0.2+ acre, C-2 zoned lot which is presently developed with one residential unit.

PROJECT INFORMATION:

1974 General Plan Designation: General Commercial  
 1986 South Sacramento Community Plan Designation: General Commercial  
 Existing Zoning of Site: C-2  
 Existing Land Use of Site: *single/family residence duplex*

Surrounding Land Use and Zoning:

Setbacks:	Required	Provided
Front:	0'	29'
Side(Int):	5'	5'
Side(St):	0'	22'
Rear:	15'	15'

North: Commercial & residential; C-2  
 South: Commercial & residential; C-2  
 East: Commercial; C-2 (County)  
 West: Residential; R-1

Parking Required: Two spaces  
 Parking Provided: ~~Three~~ spaces  
 Property Dimensions: 60' x 135'  
 Property Area: 0.2+ acres  
 Density of Development: ~~15~~ d.u. per acre  
 Square Footage of Building: 540 sq. ft.  
 Height of Building: 12'  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing  
 Exterior Building Materials: Stucco  
 Roof Material: Fiberglass

PROJECT EVALUATION

A. Land Use and Zoning - The subject site consists of a single family residence <sup>which has been converted to two units</sup> and detached garage on a 0.2+ acre lot located in the General Commercial (C-2) zone. The site is designated "General Commercial" by both the General Plan and the 1986 South Sacramento Community plan. Surrounding zoning is C-2 to the north, south and east, and R-1 to the west. Surrounding land uses include commercial and

**APPLC. NO.** P87-049 **MEETING DATE** February 12, 1987 **ITEM NO** 15

\*Due to field inspection report was amended by staff after CPC meeting. No change in recommendation or conditions.

residential to the north, commercial to the east, a single family residence and commercial to the south and single family residences to the west.

B. Project Description - The applicant proposes to demolish an existing detached garage and to construct a detached 540-square foot <sup>add garage</sup> residential unit on the site. The ~~two~~ <sup>three</sup> required off-street parking spaces are proposed to be provided on a 30-foot wide, 23 to 28-foot long driveway. The new unit will not diminish the existing front or street side yard setbacks, and a 15-foot rear yard and 5 foot interior side yard setback are proposed.

C. Land Use Compatibility - A special permit is required for residential development in the C-2 zone. Fifteen hundred square feet of lot area is required per dwelling unit. When the rear or interior side property lines abut R-zoned lots, 15 and 5 foot setbacks, respectively, are required.

While only the rear of the subject site abuts an R-zoned parcel, residential setbacks are provided around the entire site, with 29 at the front, 22 on the street side, 15 at the rear, and 5 on the interior side. The lot is approximately 8,100 square feet, which would mean ~~2,700~~ <sup>3,700</sup> square feet of lot area per dwelling unit, which exceeds the 1,500 required in the C-2 zone. *Although 3 units are allowable on this site, this special permit does not address the adequacy of the conversion of the home into a duplex with respect to building code requirements.* The residential neighborhood to the west of the site is of mixed quality. Several of the units near the site do not have garages. Garages for dwelling units are not required in the C-2 zone. Staff finds that the provision of the ~~two~~ <sup>three</sup> required off-street parking spaces in a driveway area is acceptable and that, at this location, the provision of additional usable open space is more desirable than having a garage on the site. Staff has no objections to demolition of the existing garage. However, in order to minimize any potential impacts of the new dwelling the unit and the driveway parking area on the nearby commercial and residential areas, several improvements to the proposed project are recommended.

The design of the new unit can be improved by adding a covered porch to the front door. The front window should be treated as detailed by Exhibit A. The treatment of the parking area and front yard area can be improved by reducing the width of the parking area to 24 feet, which can still accommodate three automobiles. The length of the parking area can be reduced to 20 to 22 feet, so that it does not extend beyond the building lines of either of the dwelling units. A landscaped planter in front of the new unit would improve the appearance of the unit and make it more compatible with existing residential development in the neighborhood. Six foot high wooden fences should be constructed in order to enclose both rear yard areas. The yard area in front of this fence, which is the front yard for the new unit, should be landscaped and an automatic sprinkler system installed.

D. Agency Review - This project was sent for review to Traffic Engineering, Engineering, Building Inspections and the Water Division, and the following comments were received:

Engineering - Separate water and sewer connections required

Building Inspections - Per all applicable building codes and Title 24 State energy requirements.



ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15303a).

STAFF RECOMMENDATION: Staff recommends that the Commission take the following action:

Approve the special permit, based on the findings of fact and subject to conditions which follow.

Special Permit - Conditions

1. A covered porch shall be added to the front door.
2. The front window shall be treated as per Exhibit A.
3. The parking area shall be 24 feet wide and 20 to 22 feet long, so that it does not extend beyond the building lines of either of the dwelling units.
4. A landscaped planter shall be added to the front of the new dwelling unit.
5. Six-foot high wooden fences shall be constructed on the north side of the site either along the street side setback line or in line with the north walls of the buildings, in order to enclose the rear yard areas of both dwelling units.
6. The area in front of the new fences shall be landscaped and an automatic sprinkler system installed.
7. Revised plans which incorporate the above conditions shall be submitted to the Planning Director for review and approval prior to issuance of building permit.

Special Permit - Findings of Fact

1. The project, as conditioned, is based on sound principles of land use in that:  
  
residential uses are allowed in commercial zones with a special permit.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that:
  - a. adequate on-site parking will be provided,
  - b. setbacks are provided which are greater than required in the C-2 zone,
  - c. usable open space will be provided for both dwelling units,

- d. the project design is compatible with existing residences in the neighborhood and will not detract from the character of the area.
3. The proposed project is consistent with the City's Discretionary Land Use Policy in that the site is designated for general commercial use by the 1986 South Sacramento Community Plan and the proposed residential use is allowed by special permit and is consistent with the plan designation.

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

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**OWNER** Olivia Rinetti - 3250 32nd Avenue, Sacramento, CA 95824  
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**FILING DATE** 1-9-87 **ENVIR. DET.** Exempt 15303a **REPORT BY** KMB:sp  
**ASSESSOR'S-PCL. NO.** 025-0092-015

**APPLICATION:** Special Permit to construct a second residential unit on 0.2+ developed acres in the General Commercial (C-2) zone.

**LOCATION:** 3250 32nd Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct a 540-square foot residential unit on a 0.2+ acre, C-2 zoned lot which is presently developed with one residential unit.

PROJECT INFORMATION:

1974 General Plan Designation: General Commercial  
 1986 South Sacramento Community  
     Plan Designation: General Commercial  
 Existing Zoning of Site: C-2  
 Existing Land Use of Site: Single family residence

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Commercial & residential; C-2	Front:	0'	29'
South: Commercial & residential; C-2	Side(Int):	5'	5'
East: Commercial; C-2 (County)	Side(St):	0'	22'
West: Residential; R-1	Rear:	15'	15'

Parking Required: Two spaces  
 Parking Provided: Two spaces  
 Property Dimensions: 60' x 135'  
 Property Area: 0.2+ acres  
 Density of Development: 10.7 d.u. per acre  
 Square Footage of Building: 540 sq. ft.  
 Height of Building: 12'  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing  
 Exterior Building Materials: Stucco  
 Roof Material: Fiberglass

*All amended report*

PROJECT EVALUATION

A. Land Use and Zoning - The subject site consists of a single family residence and detached garage on a 0.2+ acre lot located in the General Commercial (C-2) zone. The site is designated "General Commercial" by both the General Plan and the 1986 South Sacramento Community plan. Surrounding zoning is C-2 to the north, south and east, and R-1 to the west. Surrounding land uses include commercial and

residential to the north, commercial to the east, a single family residence and commercial to the south and single family residences to the west.

- B. Project Description - The applicant proposes to demolish an existing detached garage and to construct a detached 540-square foot second residential unit on the site. The two required off-street parking spaces are proposed to be provided on a 30-foot wide, 23 to 28-foot long driveway. The new unit will not diminish the existing front or street side yard setbacks, and a 15-foot rear yard and 5 foot interior side yard setback are proposed.
- C. Land Use Compatibility - A special permit is required for residential development in the C-2 zone. Fifteen hundred square feet of lot area is required per dwelling unit. When the rear or interior side property lines abut R-zoned lots, 15 and 5 foot setbacks, respectively, are required.

While only the rear of the subject site abuts an R-zoned parcel, residential setbacks are provided around the entire site, with 29 at the front, 22 on the street side, 15 at the rear, and 5 on the interior side. The lot is approximately 8,100 square feet, which would mean 4,050 square feet of lot area per dwelling unit, which exceeds the 1,500 required in the C-2 zone.

The residential neighborhood to the west of the site is of mixed quality. Several of the units near the site do not have garages. Garages for dwelling units are not required in the C-2 zone. Staff finds that the provision of the two required off-street parking spaces in a driveway area is acceptable and that, at this location, the provision of additional usable open space is more desirable than having a garage on the site. Staff has no objections to demolition of the existing garage. However, in order to minimize any potential impacts of the new dwelling the unit and the driveway parking area on the nearby commercial and residential areas, several improvements to the proposed project are recommended.

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- D. Agency Review - This project was sent for review to Traffic Engineering, Engineering, Building Inspections and the Water Division, and the following comments were received:

Engineering - Separate water and sewer connections required

Building Inspections - Per all applicable building codes and Title 24 State energy requirements.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA, Section 15303a).

STAFF RECOMMENDATION: Staff recommends that the Commission take the following action:

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Special Permit - Conditions

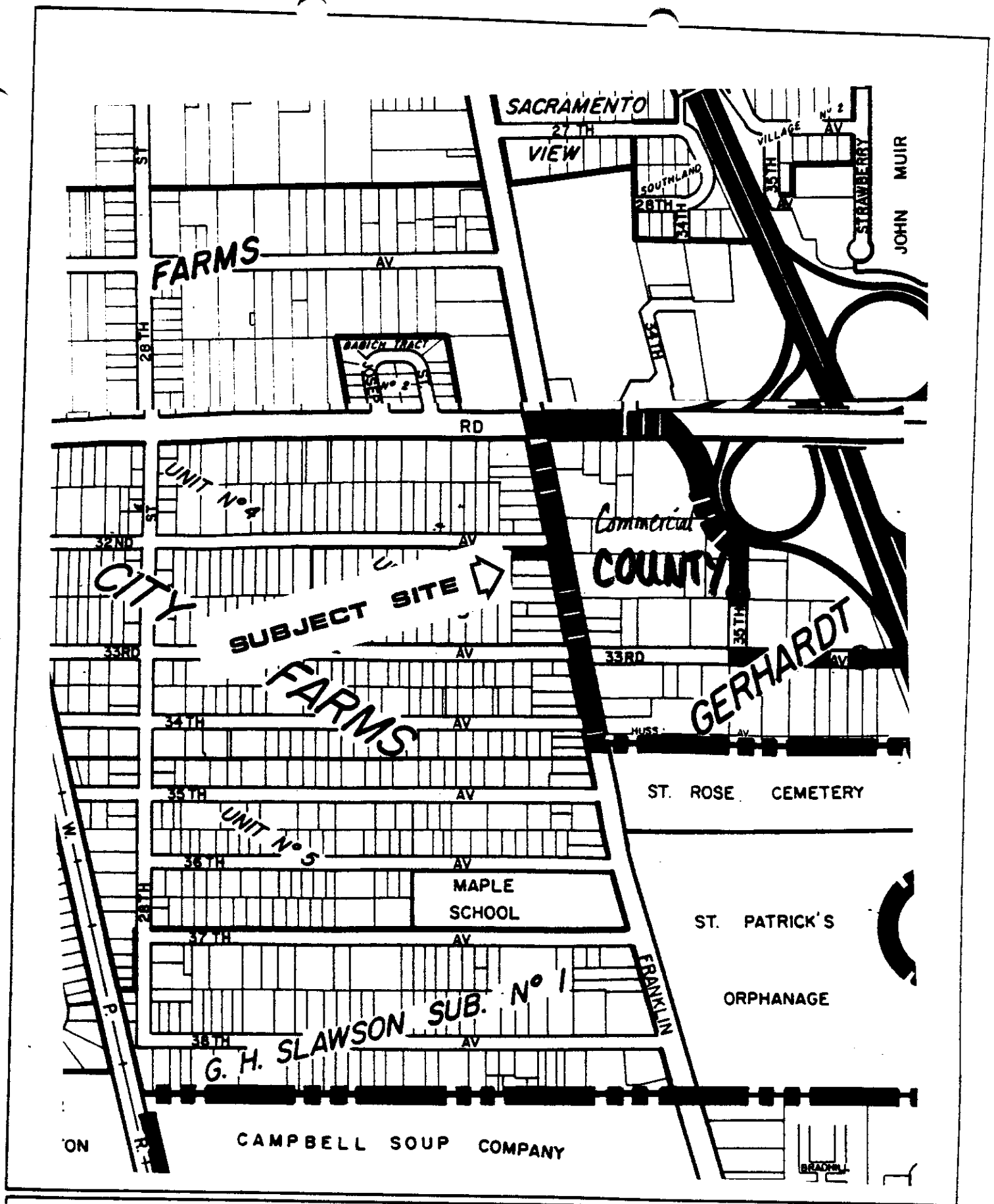
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2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that:
  - a. adequate on-site parking will be provided,
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  - c. usable open space will be provided for both dwelling units,

- d. the project design is compatible with existing residences in the neighborhood and will not detract from the character of the area.
3. The proposed project is consistent with the City's Discretionary Land Use Policy in that the site is designated for general commercial use by the 1986 South Sacramento Community Plan and the proposed residential use is allowed by special permit and is consistent with the plan designation.

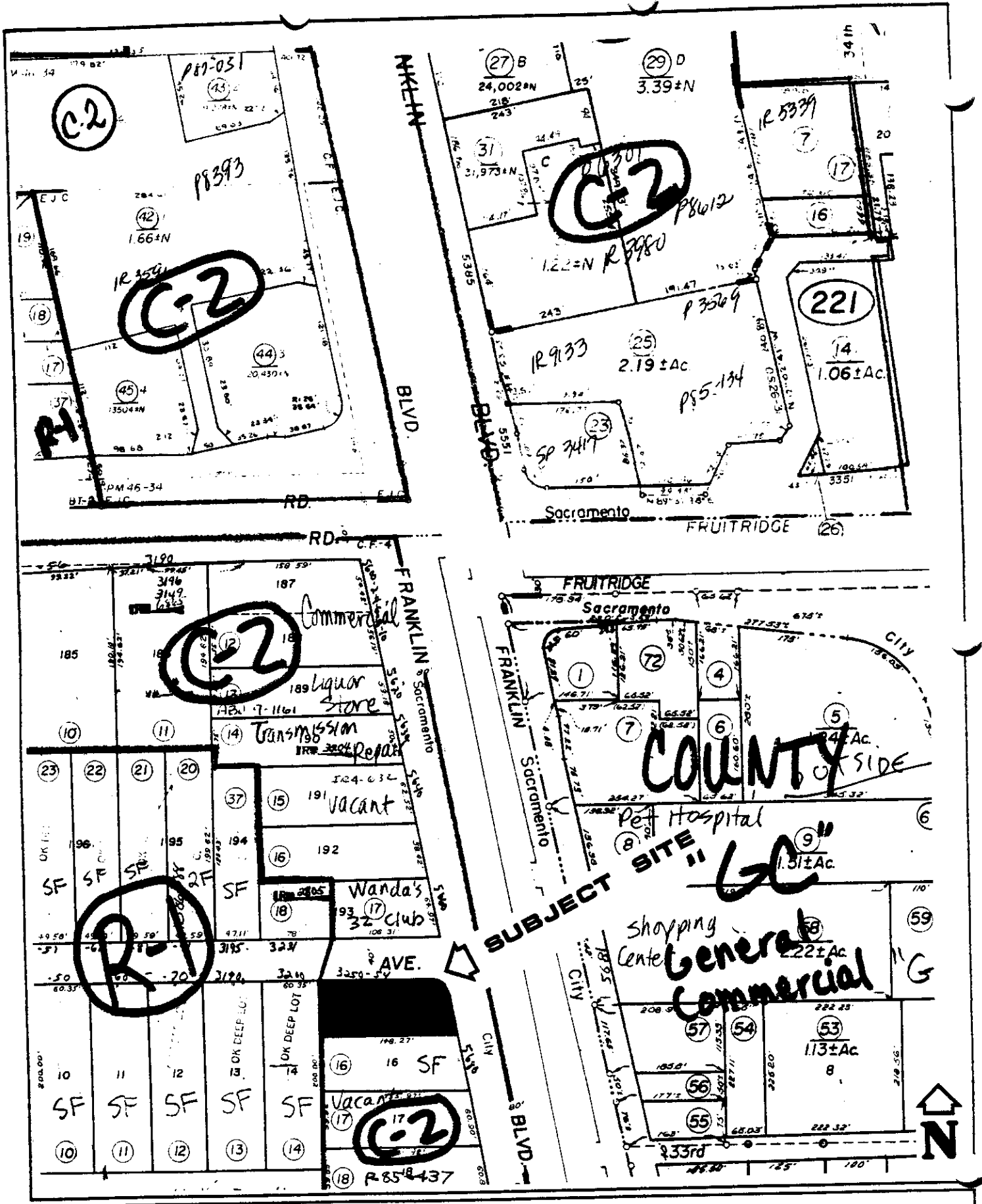


**VICINITY MAP**

P87-049

February 12, 1987

Item 15



# LAND USE & ZONING MAP

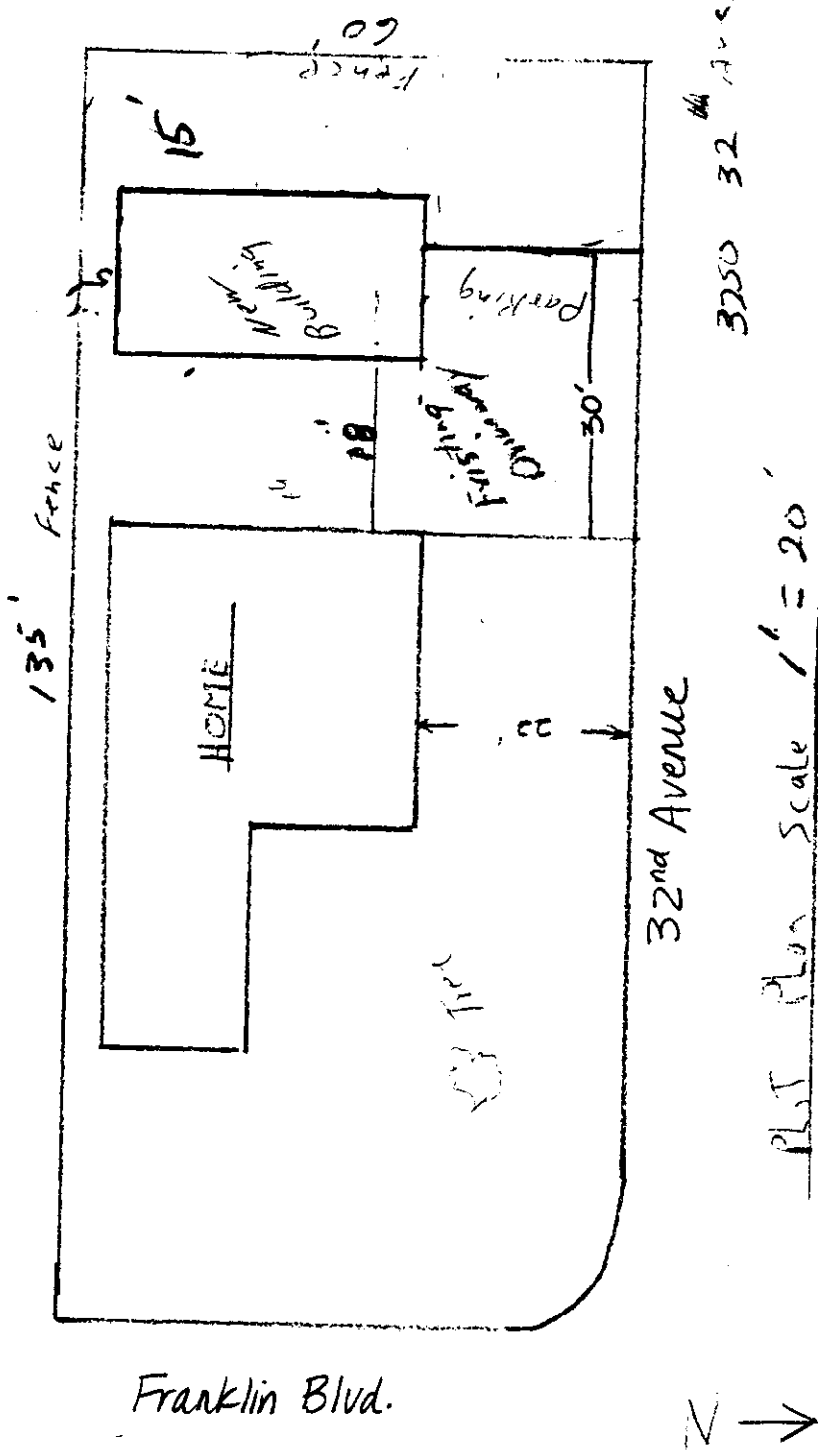
P87-049

February 12, 1987

Item 15



P87049

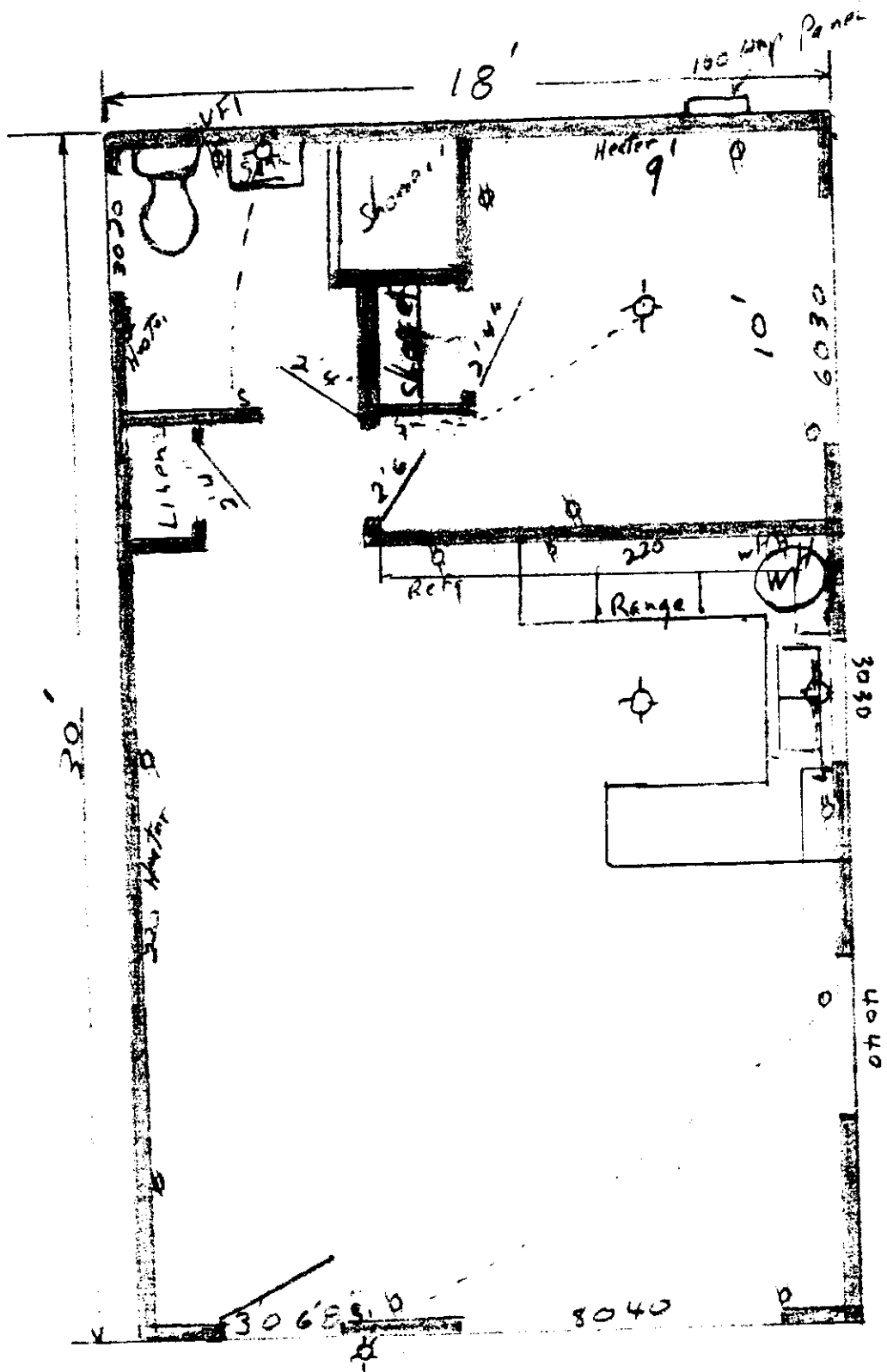


# SITE PLAN

P87-049

February 12, 1987

Item 15.



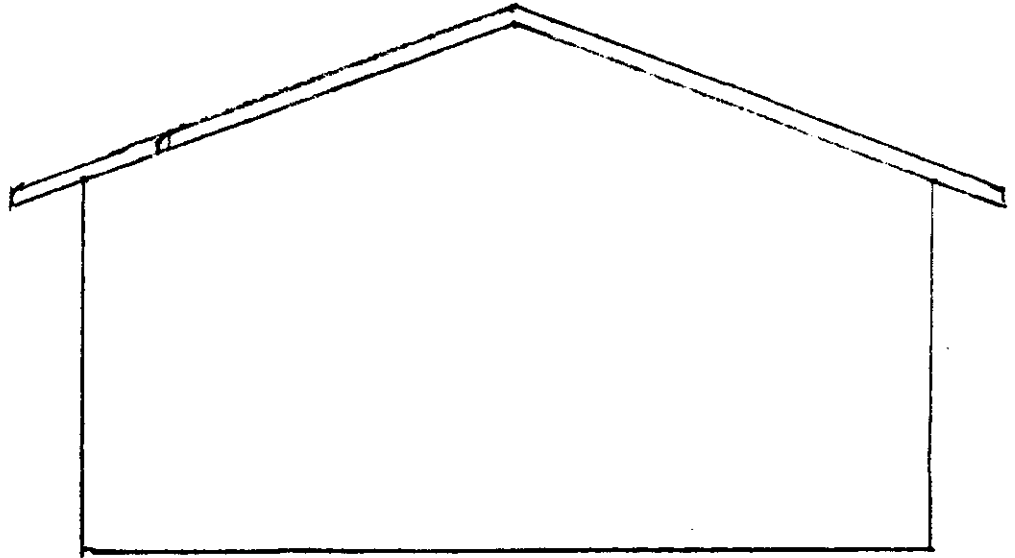
# FLOOR PLANS

Floor Plan  
540 59 FT

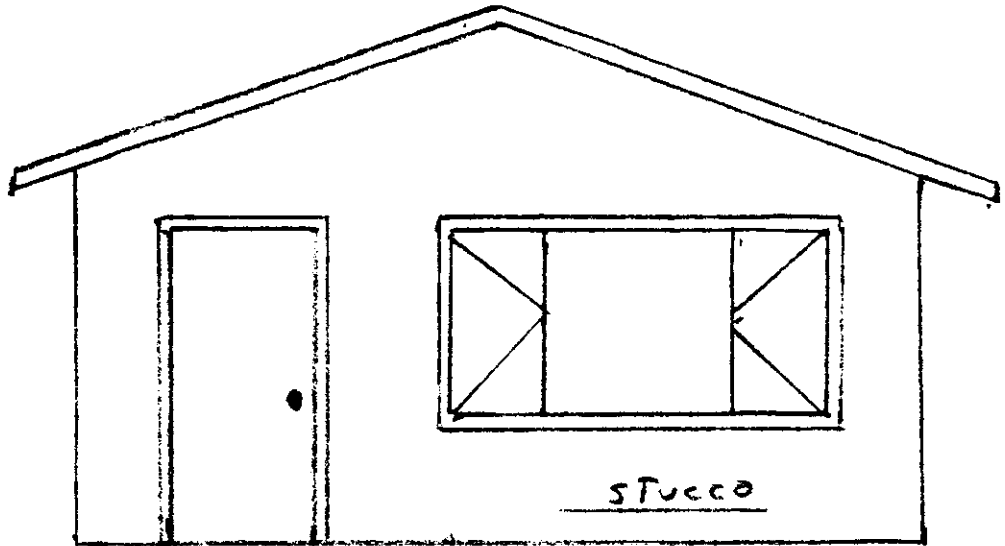
P87-049

February 12, 1987

P87049  
 Item 15



Rear Elevation



Stucco

Front Elevation

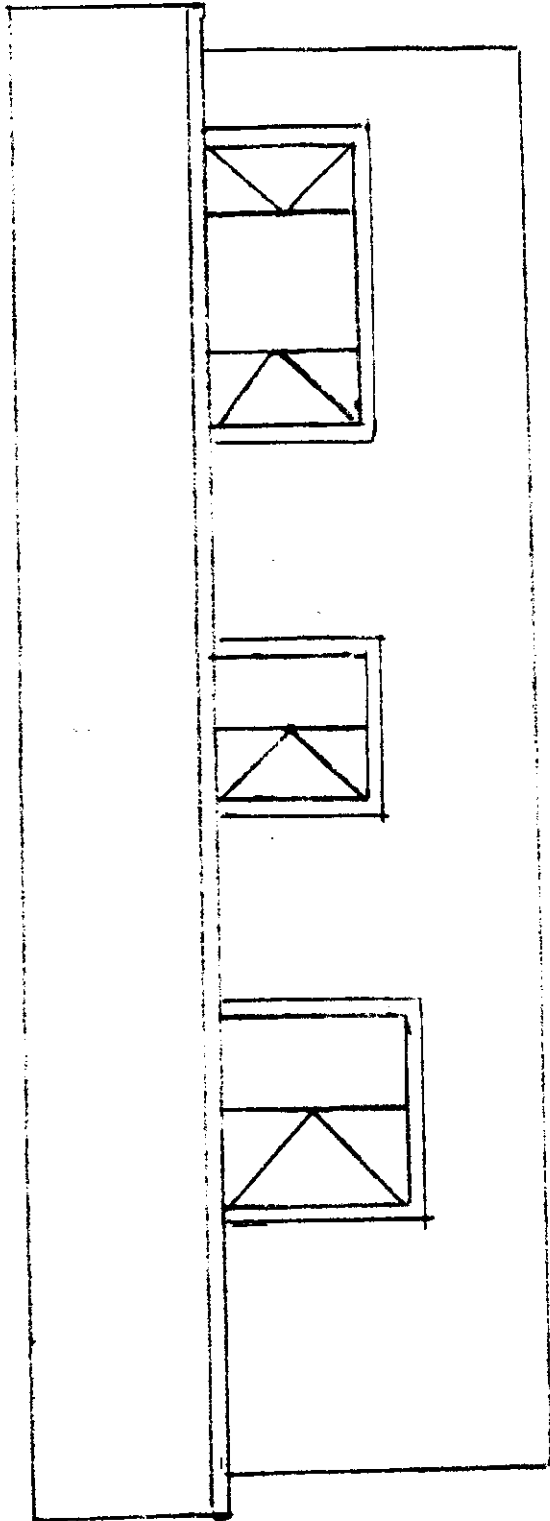
# ELEVATIONS

P87-049

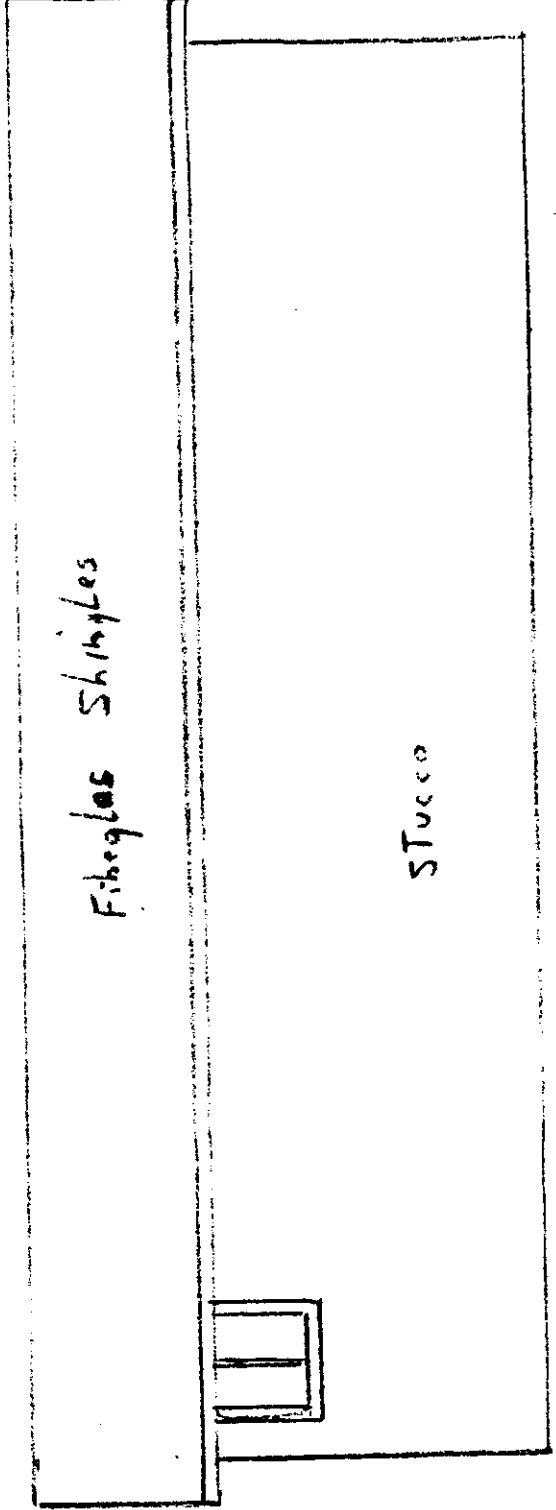
February 12, 1987

Item 15  
P87049

P87049



West Elevation

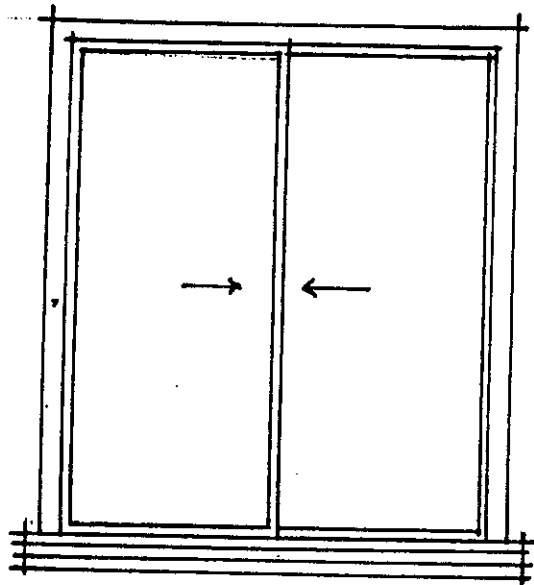


Fibreglas Shingles

Stucco

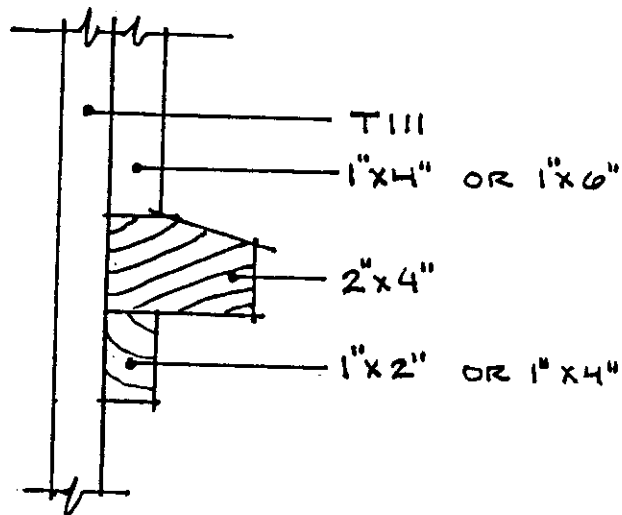
East Elevation Scale 1/4" = 1'

# ELEVATIONS



1" x 4" OR 1" x 6"

WINDOW & TRIM 1/4" = 1'-0"



SILL TRIM 3" = 1'-0"

**EXHIBIT A**

P87-049

February 12, 1987

Item 15