

P98-062- United Cerebral Palsy

- REQUEST: A. **Environmental Determination: Exempt (Section 15301 (a))**
California Environmental Quality Act
- B. **Special Permit** to locate a non residential social service facility for 24 disabled clients and nine staff in an existing facility containing approximately 5,000 square feet on 2.90 developed acres in the Light Industrial (M-1SR) zone.

LOCATION: 1803 Tribute Road, next to eastbound onramp to Capitol Freeway
APN: 277-0283-004
Point West area
Sacramento Unified School District
Council District 3

APPLICANT:	United Cerebral Palsy Association of Greater Sacramento Contact: Ms. Jo Gates, Executive Director, (916) 565-7700 191 Lathrop Way, Suite N, Sacramento, CA 95815
OWNER:	Mancini Properties/ Brooks Mancini 876 South Milpitas Blvd., Milpitas, CA 95036
APPLICATION FILED	May 29, 1998
STAFF CONTACT	Doug Holmen, 264-8267

SUMMARY:

The applicant proposes to use 5,000± square feet of area in an existing warehouse/ office building for a non residential care program providing life support instruction to 24 adults with severe physical disabilities. There are no basic issues associated with the project.

RECOMMENDATION:

Staff recommends approval of the Special Permit subject to conditions set forth herein. The Cerebral Palsy Association of Greater Sacramento, Inc. (The Association) has been providing non-residential care in two different locations. One in the Central City at 2730 C Street, and the other at 191 Lathrop Way in North Sacramento. The facilities have been well managed and The Association has always been a "Good

Neighbor" at its two locations, and intends to apply "Good Neighbor" policies at its proposed location on Tribute Road.

PROJECT INFORMATION:

General Plan Designation:	Industrial/ Employee Intensive
Community Plan Designation:	n/a
Existing Land Use of Site:	Warehouse/ office
Existing Zoning of Site:	M-1SR

Surrounding Land Use and Zoning:

North: Warehousing, Industrial; M-1
 South: Office; M-1SR
 East: Office; M-1SR
 West: Railroad ROW; M-1

Property Dimensions:	Irregular
Property Area:	2.90± gross acres
Square Footage of Building:	11,745 square feet
Square Footage to be used:	5,000± square feet
Height of Building:	14 feet, one story
Exterior Building Materials:	Concrete tilt-up
Roof Material:	Rolled Asphalt
Parking Provided:	18 spaces
Parking Required:	18 spaces
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Building Division
Sign Permit	Building Division

BACKGROUND INFORMATION:

On December 5, 1985, the City Planning Commission approved a special permit (P85-449) for the United Cerebral Palsy Association of Greater Sacramento to operate a non-residential day-care facility with offices for 30 developmentally disabled adults in

the C-2 zone located at 3001 E Street. The McKinley Elvas Neighborhood Alliance (in whose geographic area the previous facility that moved to 191 Lathrop was located) stated in a letter to the City that the "United Cerebral Palsy Association has been a 'good neighbor' business for the many years it has been located at 3001 E Street." The Alliance further stated in its letter: " We have not on any occasion received any complaints from our members or the general public about the way they conduct their business." The Association was given a Special Permit in 1997 to move this particular facility located at 3001 E Street to a business park at 191 Lathrop Way. The Association has been fulfilling its "Good Neighbor" obligations as requested by the Planning Division by holding "open house" meetings with the neighboring businesses every four months. The "open house" events have been successful and there have been no complaints by the neighboring businesses.

The proposed relocation of this particular program from its location at 2730 C Street to 1803 Tribute Road would relieve the midtown of one social service program comprising of 25 clients and eight staff. However, the C Street location would continue to provide Cerebral Palsy services for 30 clients with a staff of six.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The relocation of the Cerebral Palsy Association programs would be consistent with several newly adopted policies for the siting of social service facilities. Those policies are:

- Promote decentralization of social services as a means to improve accessibility and to reduce impacts.

The proposed project would promote decentralization of social services by its moving out of the Central City area.

- Pursue equitable distribution for those services that do not need to be close to where clients reside.

This type of facility serves the region and therefore does not need to be near other types of facilities.

- Promote the use of the "Good Neighbor Guidelines and Process" early in the planning process for new facilities and also consideration by existing facilities.

The management of the United Cerebral Palsy Association is committed

to working with the surrounding neighbors to correct any problems and address any issues that may arise from the facility location. The Association has had a flawless track record with the surrounding neighborhood on E Street in the Central City where it runs some of its programs, and at the Lathrop location in the Point West area.

B. Site Plan Design/Zoning Requirements

The proposed facility would be located in an existing office/ warehouse suite containing approximately 5,000 square feet in a building containing approximately 11,745 square feet. The proposed facility would be required to provide 18 parking spaces. Eighteen parking spaces have been provided. There will be eight staff members for the 24 clients. The clients will be arriving and departing via five small vans.

C. Signage

The proposed sign would be in character with the signage of the other suites within the complex. It will be a non-illuminated painted sign with blue lettering on a white background. It would measure 36 inches long and 19 inches in height. The sign is in conformance with the zoning ordinance.

D. Building Design

The building in which the proposed facility would be located is constructed of concrete tilt up. It measures 14 feet in height. No exterior changes are requested with this application.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15301 (a)).

B. Public/Neighborhood/Business Association Comments

The proposed project application was sent to the North Sacramento Chamber of Commerce, The North Sacramento PAC, and the Woodlake Improvement Club. None of these organizations had any issues regarding the proposed project. Although the proposed project is not in the North Sacramento Target area, the North Sacramento Economic Development subcommittee of the North Sacramento Planning Area Committee reviewed the project and did not have any

issues. No other community groups have concerns regarding the proposed facility location.

C. Summary of Agency Comments

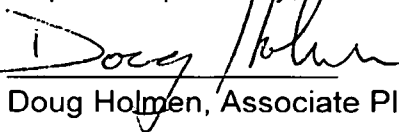
The project has been reviewed by several City Departments and other agencies. None of the City Departments or other agencies submitted comments or concerns regarding the facility and its proposed location.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny the Special Permit. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15301 (a);
- B. Adopt the attached Notice of Decision and Findings of Fact **approving the Special Permit** to locate a non residential social service facility for 24 disabled clients and nine staff in an existing facility containing approximately 5,000 square feet on 2.90 developed acres in the Light Industrial (M-1SR) zone.

Report Prepared By,


Doug Holmen, Associate Planner

Report Reviewed By,


Scot Mende, Senior Planner

Attachments

Attachment 1
Exhibit 1A
Exhibit 1B
Attachment 2
Attachment 3

Notice of Decision & Findings of Fact
Site Plan
Floor Plan
Vicinity Map
Land Use & Zoning Map

Attachment 1:

**NOTICE OF DECISION AND FINDINGS OF FACT FOR
United Cerebral Palsy Association of Greater Sacramento
@ 1803 Tribute Road**

**Sacramento, California in the
Light Industrial (M-1SR) Zone
APN: 277-0283-004
(P98-062)**

At the regular meeting of August 27, 1998, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Environmental Determination (Exemption)
- B. Approved the Special Permit to locate a non residential social service facility for 24 disabled clients and nine staff in an existing facility containing approximately 5,000 square feet on 2.90 developed acres in the Light Industrial (M-1SR) zone.

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. **Categorical Exemption:** The City Planning Commission finds and determines that the proposed project is **Exempt** from environmental review pursuant to Section 15301 (a) of the California Environmental Quality Act Guidelines.
- B. **Special Permit:** The Special Permit to locate a non residential social service facility for 24 disabled clients and nine staff in an existing facility containing approximately 5,000 square feet on 2.90 developed acres in the Light Industrial (M-1SR) zone is **approved** subject to the following findings of fact:
 - 1. The Special Permit, as conditioned, is granted upon sound principals of land use in that:
 - a. Non-Residential Day Care Facilities are permitted uses in the M-1SR zone subject to the granting of a Special Permit by the City

- Planning Commission;
- b. Sufficient parking is available for employees, and visitors; and
2. The Special Permit, as conditioned, will not be detrimental to the public health, safety or welfare, or result in the creation of a nuisance in that:
 - a. The facility is regulated by the State of California;
 - b. The clients who are mentally and physically challenged will have a helping staff at a ratio of one staff for every three clients which will allow for individual attention;
 - c. A "Good Neighbor Policy" will be implemented.
 3. The Special Permit, as conditioned, is consistent with the General Plan in that:
 - a. The project meets the policies of the Commerce and Industry Land Use Element;
 - b. The project will provide the learning of living skills for a special need group; and
 - c. The facility will be compatible with the surrounding operations.

CONDITIONS OF APPROVAL

- B. The Special Permit to allow a non-residential day-care facility and offices for 24 developmentally disabled adults with a staff of nine in an existing 5,000± square foot suite within an existing 11,745 square foot building in the M-1SR zone is hereby approved subject to the following conditions:
 - B1. The size and appearance of the project shall conform to the attached Exhibits 1A, and 1B.
 - B2. Any/all modification(s) to the facility shall meet applicable City building and zoning regulations, including acceptable solid waste management practices.
 - B3. Prepare a "Good Neighbor Policy" which will include the following:
 - a. The following business practices shall be adhered to:

- All service occurs inside the building.
 - Adequate waiting space is provided inside.
 - Adequate and accessible bathrooms are provided inside.
 - Trash receptacles are readily available in and outside.
 - Service activities do not rely on using the public right of ways.
 - Building and site are regularly cleaned and maintained.
 - Site is adequately lighted.
- b. Within 1 month of project approval, or by no later than October 31, 1998, the facility operator shall conduct a "get acquainted" meeting with the occupants of the "office park" within which the facility would be located. The meeting shall occur at the subject site to introduce the facility operations to the neighbors and to provide emergency phone number(s) of contact person(s).
- c. For the next 16 months following project approval, the facility operator shall hold community meetings once every four months. (The facility operator may cooperate with an existing neighborhood organization to arrange and notice these meetings.) The meetings shall be conducted to receive community comments and concerns and to implement solutions. The facility operator shall notify the Planning Director of the meeting date, time, and place, at least two weeks prior to the meeting date. An attendee list and meeting minutes shall be submitted to the Planning Director or designee within one week following the quarterly meeting.
- d. After the 16 month period, the facility operator shall meet with community organizations, neighborhood representatives, and/or individual property owners/occupants, as requested, on a case-by-case basis.

CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

August 27, 1998 (P98-062)

Attachments

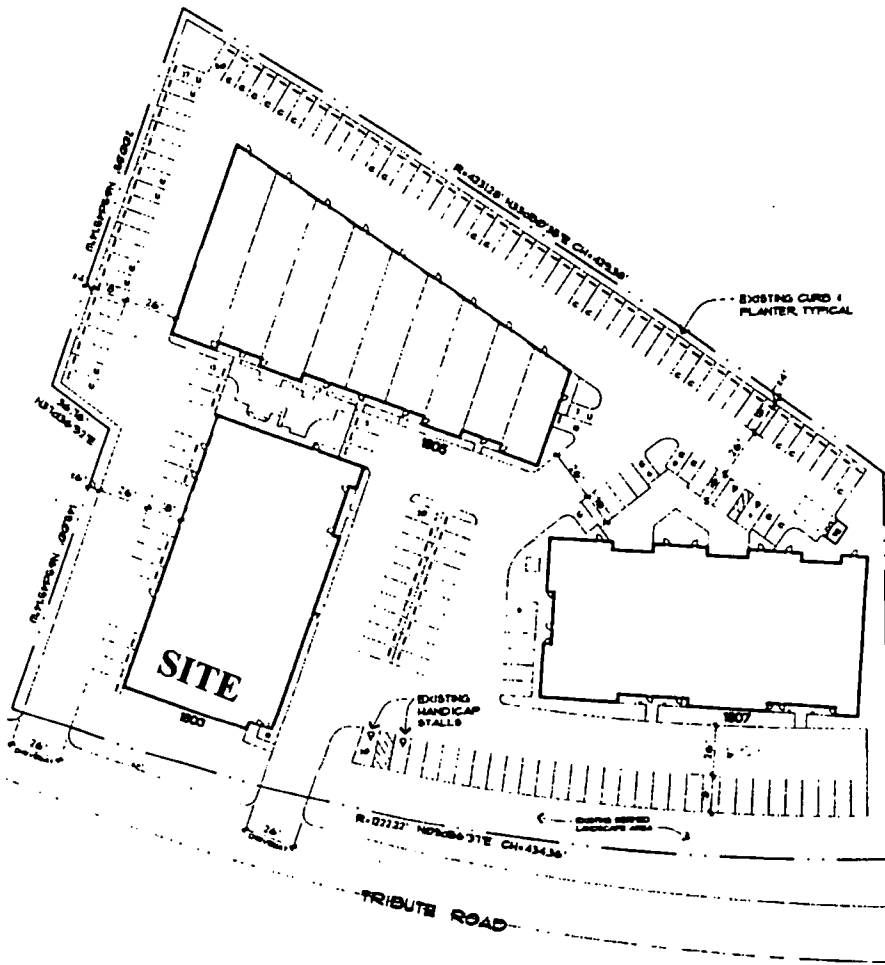
Exhibit 1A

Site Plan

Exhibit 1B

Floor Plan

Exhibit 1A
Site Plan



BUILDING SUMMARY:

803 TRIBUTE ROAD	13,836 SF
808 TRIBUTE ROAD	17,400 SF
801 TRIBUTE ROAD	10,325 SF
TOTAL	41,561 SF

PARKING SUMMARY:

140 STALLS • 1 STALL PER 293 SF
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SITE PLAN

SCALE: 1" = 30'



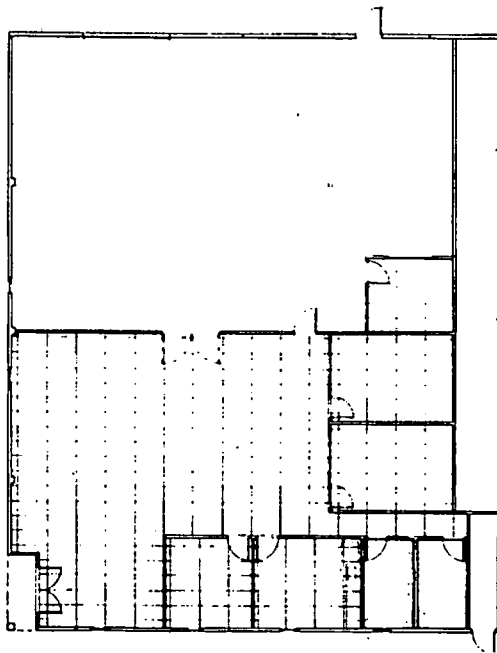
OCTOBER 1, 1993

A Development of:

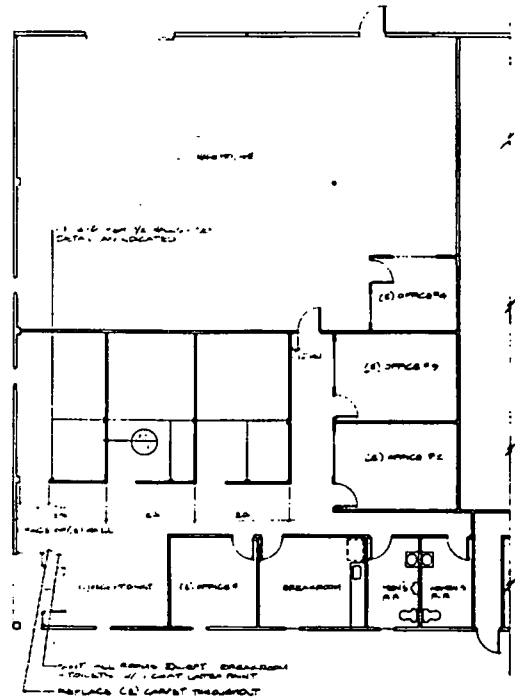
Jackson Properties, Inc.

5665 Power Inn Road, Suite 140
 Sacramento, CA 95824
 Phone (916)381-8113
 Fax (916)381-3153

Exhibit 1B
Floor Plan



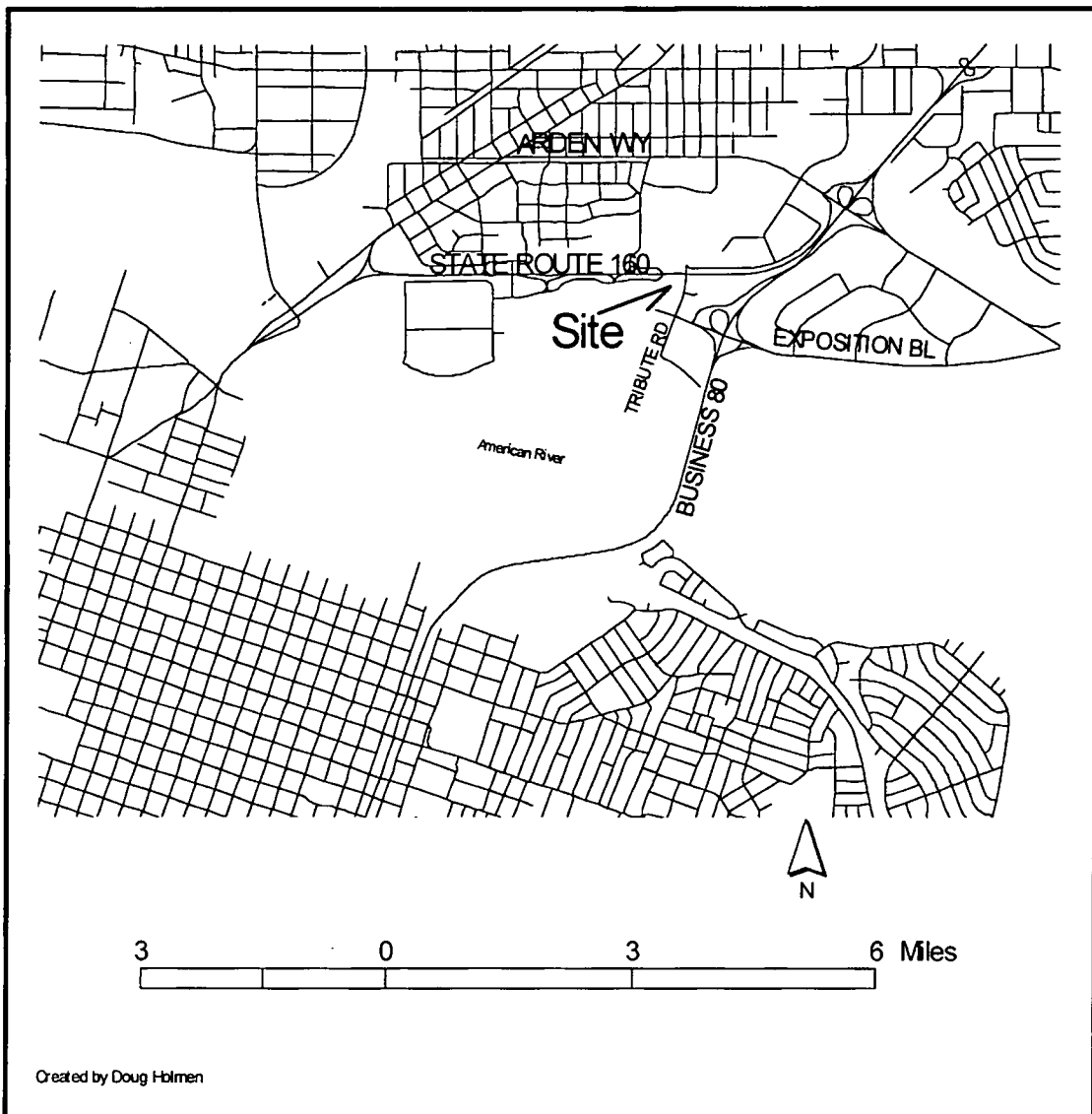
F5 REFLECTED CEILING PLAN



D5 FLOOR PLAN



**Attachment 2
Vicinity Map**



Created by Doug Holmen

Attachment 3
Land use and Zoning Map

