

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0103261

Insp Area: 4

Site Address: 3801 SNELLING LN SAC

Parcel No: 225-1560-009

WESTBR 2-1 LOT 9

Sub-Type: NSFR

Housing (Y/N): N

CONTRACTOR

I&I PROPERTIES
3434 MARCONI AV. STE 1
SACRAMENTO CA, 95821

OWNER

ARCHITECT

Nature of Work: NSFR MP3070 11 RMS 2 STORY

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, City Code)

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 767107 Date 3/21/01 Contractor Signature Rona J. Caldwell

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code): any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption: Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3/21/01 Applicant Agent Signature Rona J. Caldwell

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier RELIANCE INS CO Policy Number NWA2047932-00 Exp Date 11/18/2001

____ (This section need not be completed if the permit is for \$100,000 or less). **WARNING**: I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3/21/01 Applicant Signature Rona J. Caldwell

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 3801 SNELLING LN. Assessor Parcel # 225-1560-009
 Lot Number: 9 Subdivision WESTBOROUGH Village 2, PHASE: 1

OWNER INFORMATION:

Legal Property Owner: JTS Communities, Inc. Phone# 916-487-3434
 Owner Address: 3434 MARCONI AVE. City SACRAMENTO State CA Zip 95821

CONTRACTOR INFORMATION:

Contractor: JTS Communities Lic. # 767107 Phone # 487-3434 Fax 487-3815

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A
 No. of Stories: _____ No. of Rooms: _____ Street Width: _____
 1st Floor Area 1584 2nd Floor Area 1486 Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:

Dwelling/Living	<u>3,070</u>	
Garage/Storage	<u>671</u>	<u>627</u>
Decks/Balconies	<u>55</u>	
Carports	_____	

SCOPE OF WORK: New SFD PLAN # 76-WL

FOR OFFICE USE ONLY

- | | | |
|---|---|---|
| <input type="checkbox"/> Information Above Complete | <input type="checkbox"/> AR Flood Waiver Required | <input type="checkbox"/> Planning Approval |
| <input type="checkbox"/> Violation Files Checked | <input type="checkbox"/> Flood Elevation Certificate Required | <input type="checkbox"/> Design Review Approval |
| <input type="checkbox"/> Standard Setbacks | <input type="checkbox"/> Water Development Infill Area | <input type="checkbox"/> Special Fee Districts Apply: |
| <input type="checkbox"/> County Sewer | | |

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION

a) Assessor's Parcel Number	c) Owners Name
b) New Floor Area	d) Project Address

Lot # 2



WesPac

insulation

a MASCO Company



809 North Market Blvd., Ste. 11 • Sacramento, CA 95834
(916) 927-7149 • Fax (916) 927-4257
Lic. #487478

Installed Insulation Certificate

We certify that the building insulation listed herein is installed in conformance with current energy conservation regulations, California Administrative Code, Title 24, State of California

R FACTOR	AREA	TYPE	INCHES/BAGS (BLOWN)
R30	ATTIC	FIBERGLASS BLOW	12.75" /
R30	CEILING	FIBERGLASS BATTS	10.25"
R13	EXTERIOR WALLS	FIBERGLASS BATTS	3.5"
R19	GAR. UNDER LIV.	FIBERGLASS BATTS	6.5"

JLPR

Certified by

THE SHORES/WESTLAKE SACRAMENTO
Address of Lot Number 279

Title Secretary

Date Installed 08/29/01

Phase #

JTS

The Shores @ Westlake

A Final notice:

"YOU'RE AT BAT" !

Trade Partner : AL Max
Contact : ALEX
Phone : _____
Fax : _____

Lot
9

TASK: FLUFF & Buff for
Q/A walk

Scheduled Date:

NOTES:

10/22/01 A.M. 7:30 - to RE-clean
Lot 9

→ you must be here

Current Features Date:

Superintendent: Jody Wood (916) 417- 0938
Assistant Super: Brett Riordan (916) 826- 1168
FAX: (916) 803-0480

call me 870-0206
at you

INSTALLATION CARD
Diamond Wall One Coat System
Omega Products International, Inc.

ICBO Evaluation Service, Inc.
Report ER-4004
Date Completed 8/21/01

Project Address
3801 SWEALING WAY
SPRINGFIELD

Plastering Contractor
Name: I.T.S. Stocco Div.
Address: 11285 W.H. Rusk Road
Telephone No. (916) 635-2800 P.N. # 2227

Approved contractor number as issued by Omega Products Intl, Inc.
This is to certify that the exterior coating system on the building exterior at the above address has been installed in accordance with the evaluation report and the manufacturer's instructions.

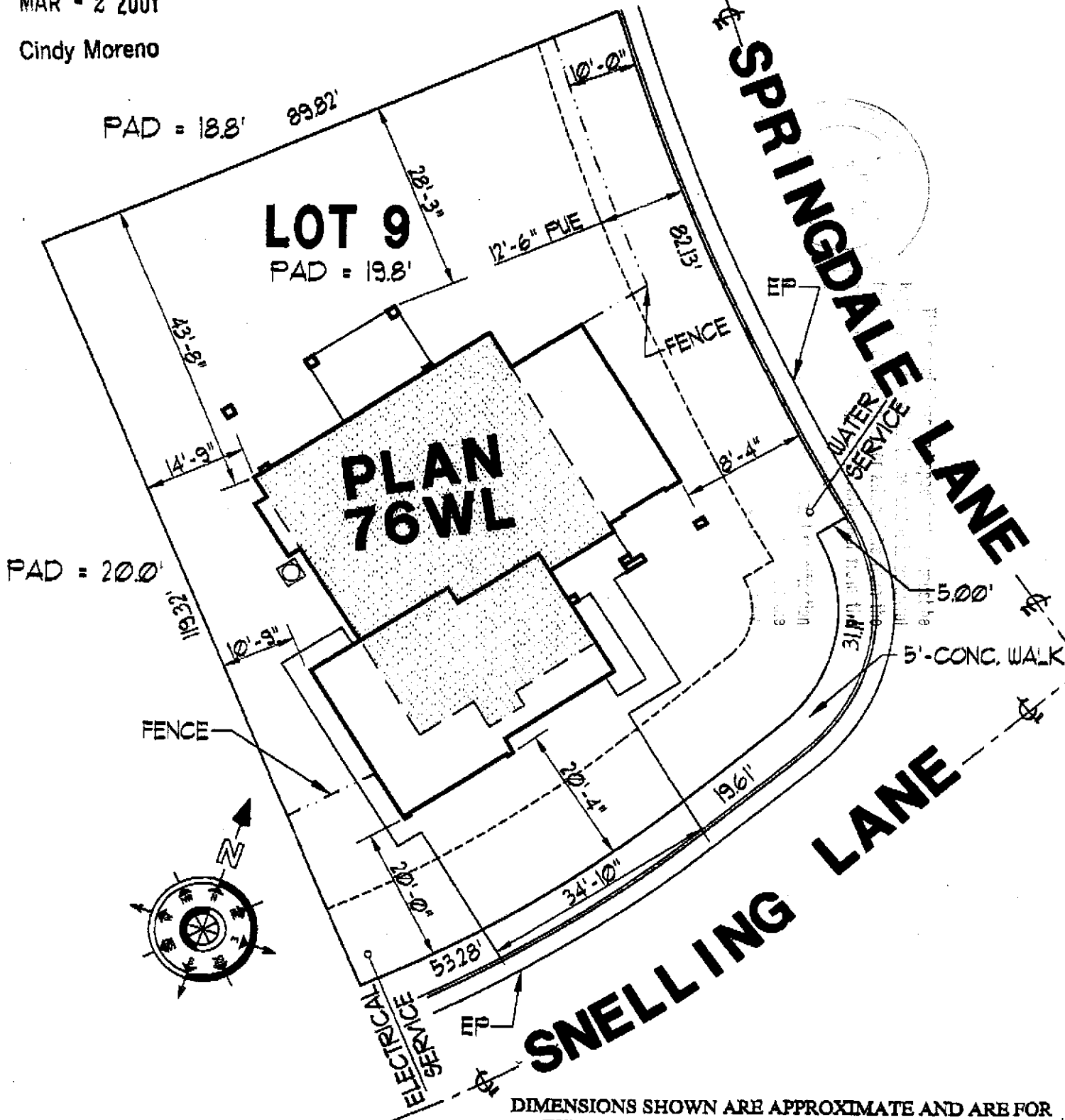
Ken Richards
Signature of authorized representative of
plastering contractor
Date 7-2-01

This installation card must be presented to the building inspector after completion of work and before final inspection.

ORIGINAL

MAR - 2 2001

Cindy Moreno



DIMENSIONS SHOWN ARE APPROXIMATE AND ARE FOR THE SOLE PURPOSE OF COUNTY/CITY APPROVAL

2 STORY HOUSE
4-CAR GARAGE

LOT 9



3434 Marconi Avenue Suite A
Sacramento, CA 95821 (916) 487-3434

THE SHORES

APN # XXX-XX

SCALE = 1" = 20'

DATE: 03-02-2001

APPROVED FOR RELEASE

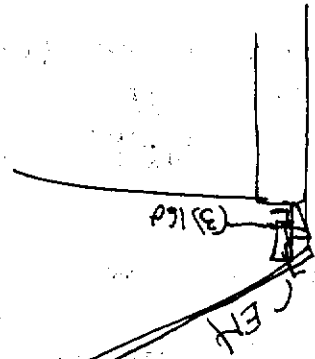
DATE

APPROVED FOR RELEASE

DATE

- 1 - INSTALL PI SHEAR ~~W/~~ UNDER LOW ROOF (7/53)
- 2 - INSTALL (1) LTP4 OR A35
- 3 - INSTALL PROPER D4 NAILING
- 4 - INSTALL BRG W/EN + NAIL W/(3) 16D TO TOP CHORD TRUSS
PER 16/53 SIM
- 5 - INSTALL PI PER 7/53 LINE B
- 6 - INSTALL 3/8" NAILER W/ 16D @ 3" OC STAGG TO ATTACH MSTA TO
- 7 - ~~PI~~ MSTA36 ACROSS BM - 11/53
- 8 - STRAP PLUMBING BRKS PER 6/51
- 9 - ENSURE MSTA36 OR (12) 16 PER SPLICE
- 10 - INSTALL CS16 O/ ROOF SHEATHING O/ 2x BLK 3/55 SIT²
- 11 - INSTALL 4x BLK W/ RF EN (3) 16D TO TRUSS
- 12 - INSTALL SLEEPER AT ANGLE PER 10/51 TO TRANSFER
LOADS TO MORE THAN 1 TRUSS
- 13 - AB'S 4' OC MAX
- 14 - CS16 UNDER WIND PER 2/91 + MSTA37 O/ HDR PER 2/51
- 15 - PROVIDE SHEAR + CS16 UNDER WINDOW (CLT TO REV A-ELEV)
- 16 - 2" OC NAILING FOR D4
- 17 - PLACE COMPRESSION BLK
- 18 - PROVIDE BLK NAILING - SEEPAINJ
- 19 - ADD (1) AB
- 20 - (4) LTP4 RIM TO TOP PLATE
- 21 - CONT DP PLATE
- 22 - 4/51 (A35 @ 2x4^{2x4} TO 2x4 - EN 2x4 ON EXT P4 WALL)
- 23 - A35 @ 12" OC
- 24 - (5) LTP4 4x6 TO 4x6 (BOTH W/ STRAPS)
- 25 - PROVIDE BLK NAILING PER [2] A35 OR LTP4 @ 8" OC.
- 26 - PROVIDE 5/51
- 27 - PROVIDE ~~W/~~ NAILING OF SW TO HDR PER 20/92
- 28 - PROVIDE BLK ON TOP OF BM

32 - CL8 TO PROVIDE FLUSH BTM INF



31 -

30 - BLK a ET AROUND OPENING

29 - PROVIDE G16 O/ RF SHEATHING (30" TO BOT AND
CL8) (CL8)

ALL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL FLAGS GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

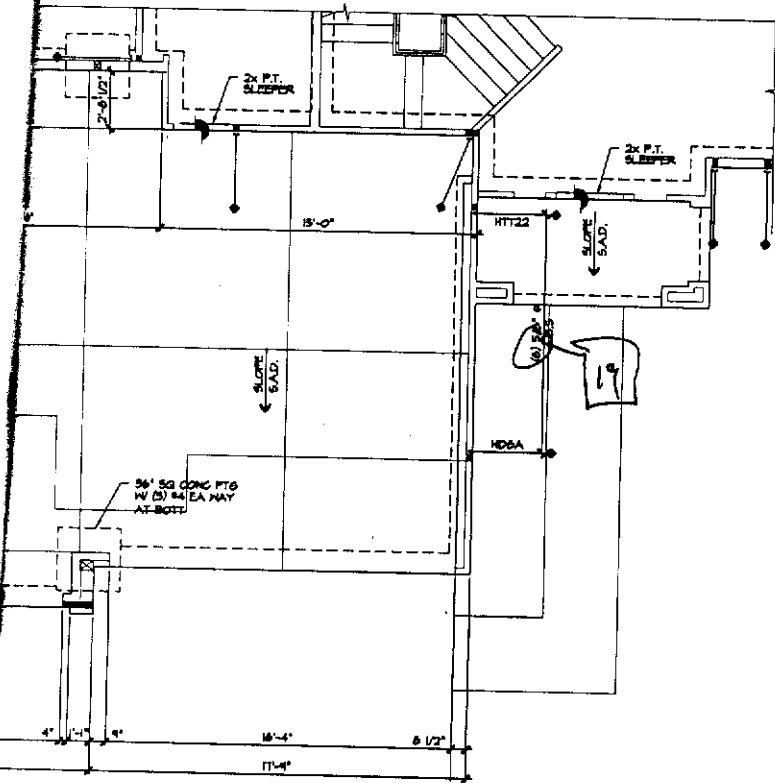
FOUNDATION PLAN

• FIREPLACE

ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL FLAGS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL FOUNDATION PLAN

• C

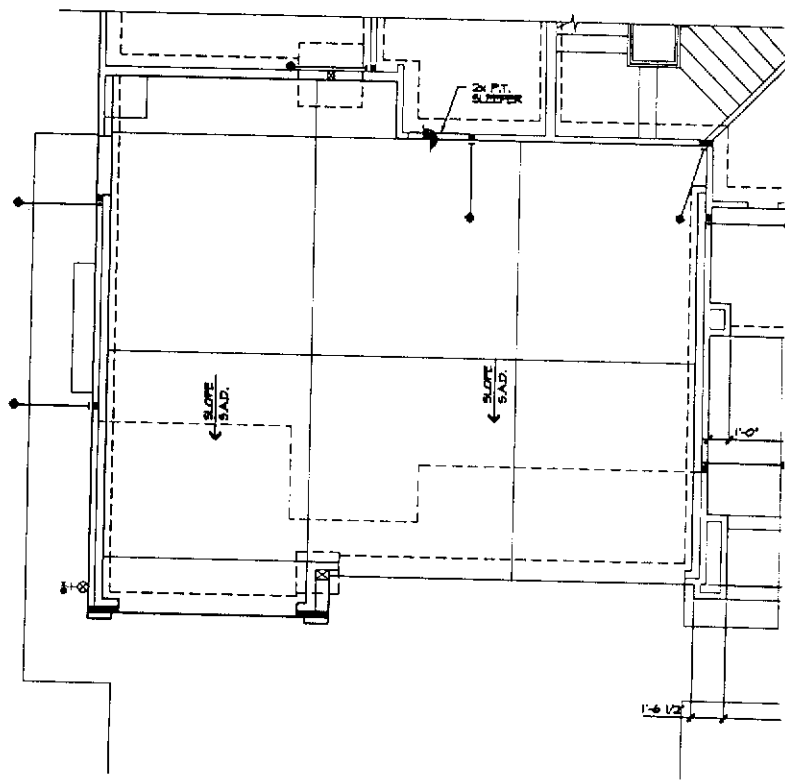


CONNECTION CALLOUTS, DETAIL FLAGS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

FOUNDATION PLAN

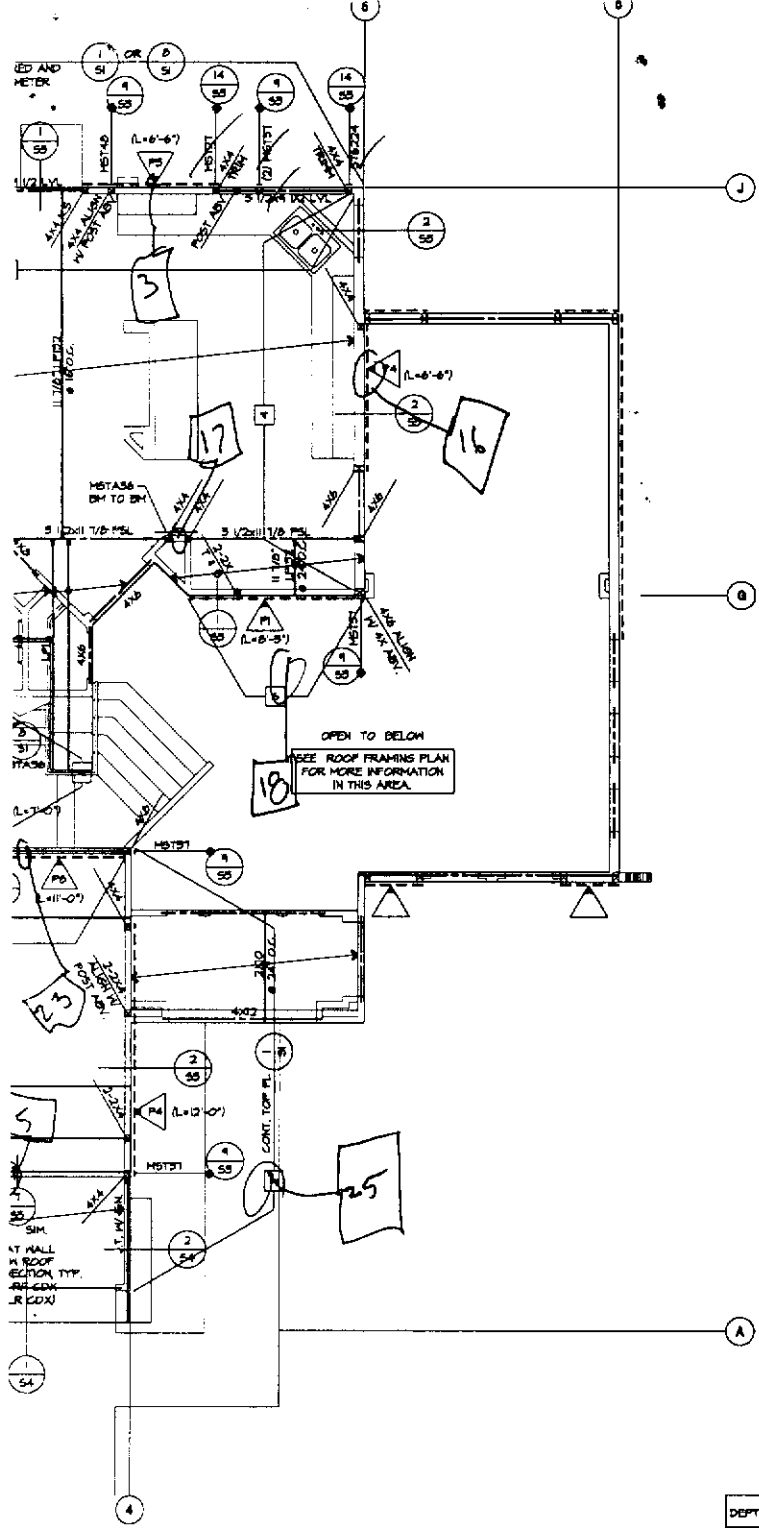
ELEVATION "A" SHOWN ("B", "C", "D" SIM)

• OPT. 4-CAR GARAGE



ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL FLAGS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL FOUNDATION PLAN



ELEVATION "A" & "C" SIM.

PARTIAL 2ND FLOOR FRAMING NOTES:

ATTENTION: All material specs, hardware and connection details, detail flags and section cuts, etc. that are given on the MASTER PLAN shall also be applied to the PARTIAL PLANS (although not graphically displayed with the exception that the specs and callouts given on the PARTIAL PLANS shall supersede those on the MASTER PLAN.

- Partial framing notes are given here for your convenience, contractor must read and follow the additional notes under "Structural Notes" on other sheet for its entirety.
- LM JOISTS:
 - LM192 of 11 7/8" deep at 24" o.c. (16" deep at Plan 110) shall be used unless noted otherwise. It is not recommended that joist spacing below livable floors exceed 16" o.c. See General Note no. 4B on sheet 54 for more info.
 - Contractor is advised to submit Shop Drawings to CLA for review and approval prior to cutting/fabrication.
- HEADERS: The following Header Schedule shall be used where header size is not specified on the plans. Such headers shall be DF-Larch #2 or better.

Supporting ROOF Load only

Supporting ROOF Load only

2x4 Hall 2x6 Hall

up to 4' span 4x6 6x6

4' to 6' span 4x8 6x8

6' to 8' span 4x10 6x10

8' to 10' span 4x12 6x12

* U.O.M. headers supporting roof girder trusses shall not be less than 4x10.

Supporting ROOF & FLOOR Loads:

2x4 Hall 2x6 Hall

up to 4' span 4x6 6x6

4' to 6' span 4x8 6x8

6' to 8' span 4x10 6x10

8' to 10' span 4x12 6x12

- BEAM HANGERS: Hangers for beams/headers shall follow plan specifications. Where not specified, contractor shall use following Simpson Hangers unless approved otherwise by CLA:
 - 2x2x Beam/Header: HUB212-2TF
 - 4x Beam/Header: H4U2TF
 - 6x Beam/Header: H6S612
 - 5-1/8x 6LB Beam/Header: 6LTS
 - 5-1/8x 6LB Beam/Header: HSLTS
 - 6-5/8x 6LB Beam/Header: HSLT7

- SHEATHING: Hangers for floor sheathing shall have tongue-and-groove edges. Floor sheathing over 2x dimension lumber shall be CDX only, where applied over "I" joists or open-web floor trusses, it may be CDX or OSB. Thickness and span rating shall be one of the following:
 - * for joists spaced 16" o.c.
 - 1/2" with APA span rating 40/20
 - 5/8" with APA span rating 52/16
 - 3/8" with APA span rating 40/20
 - 3/4" with APA span rating 40/20
 - * for joists spaced 19.2" o.c.
 - 3/8" with APA span rating 40/20
 - 3/4" with APA span rating 40/20
 - * for joists spaced 24" o.c.
 - 3/4" with APA span rating 48/24

Floor sheathing shall be girded and nailed with 10d screw shank common nails at 6" o.c. all panel edges and at 10" o.c. all intermediate supports.

- SHEAR:
 - Collector Joists: All top-flush floor beams and collector joists shall receive sheathing edge nailing (10d at 6" o.c.) along its entire length.
 - Floor Holdowns: UNLO, all holdowns indicated on floor framing plan shall be applied across the 2nd floor with equal length covering the framing member above and below.

- STUDS:

Note: The optional HF studs allowed below shall not be used when the Shearwall Schedule requires DF studs for lateral strength.

 - Exterior Walls & Interior Bearing/Shearwalls
 - * when supporting 2 stories above, regardless the height, use 2x6 DF-Larch #2 or better at 16" o.c.
 - * Up To 10' Tall: 2x6 studs at 16" o.c. may be HF or DF-Larch of Std Grade or better.
 - * more than 10' Tall: 2x6 studs shall be HF or DF-Larch #2 or better unless called out differently on plans.
 - Interior Non-bearing Walls
 - * Up To 14' Tall: 2x4 studs may be HF or DF-Larch of Std Grade or better spaced at 16" or 24" o.c.
 - * more than 14' Tall: all studs shall be 2x6 HF or DF-Larch #2 grade or better spaced at 16" o.c. unless called out differently on plans.

- PLUMBING WALL: studs with holes greater than 2 1/2" in diameter shall be 2x6. For exterior walls, bearing walls and shearwalls, studs with holes greater than 1 1/2" in diameter shall be 2x6.

* See Lumber Note no. 2 on sheet 54 for use of Finger-jointed studs.

- PLATES:

Note: The optional HF allowed below shall not be used when the Shearwall Schedule requires DF studs for lateral strength.

 - All exterior walls and interior structural bearing/shearwalls shall have double top plates and be applied for continuity.
 - Top & sole plates shall be HF #2 or better or DF-Larch Std grade or better.

HANGER TABLE - 14" T" JOIST, OPEN WEB, LVL & PSL BEAM

DEPTH	T" JOIST OR BEAM	TOP FLANGE		FACE MOUNT		45° SKOSH	
		SINGLE	DOUBLE	SINGLE	DOUBLE	SINGLE	DOUBLE
14"	TJ PRO 250, LPI 50, GPI 25, BCI 45	HT14	HT44	UT4	U44**		
14"	TJ PRO 350, LPI 20, LPI 32, HF 35, GPI 35, JS20, JS30	HT35/4		UT35/4		SUR/LI**	35/4/20
14"	OPEN WEB TRUSS	HT44 OR TH44B		MU OR LUS410			
14"	1 5/8" LVL OR PSL BEAM	HPV 181/4		H14		HF SKOED	
14"	5 1/2" OR 2-1 3/4" LVL, PSL BEAM	GLTV35/4		H505/4			
14"	5 1/4" LVL OR PSL BEAM	HSLTV35/4		H505.50/4			
14"	T" LVL OR PSL	HSLTV44-2		H5U1.25/4			

NOTE: * HGR SHOWN ON PLAN SUPERSEDES HGR ON THIS TABLE. USE SIMPSON HGR UNLESS APPROVED OTHERWISE BY CLA. ** WEB STIFFENERS ARE REQUIRED AT JOIST ENDS.

NOTE: FOR STRAPS INSTALLED ON T" JOIST, LVL, PSL OR LSL BEAM OF WHICH THE WIDTH IS LESS THAN 2 1/2" USE EVERY OTHER NAIL HOLE (CS16/24 INSTALLED BOX)

CHEN LEE & ASSOCIATES
Structural Engineers
971 Colusa Ave. #200
Sacramento, CA 95810
Tel: 408-253-0818
Fax: 408-253-0890

WESTLAKE VILLAGE II
SACRAMENTO, CALIFORNIA
JTS Communities Inc, Sacramento, CA

REVISIONS		
NO.	DATE	DATE

PROJECT MANAGER

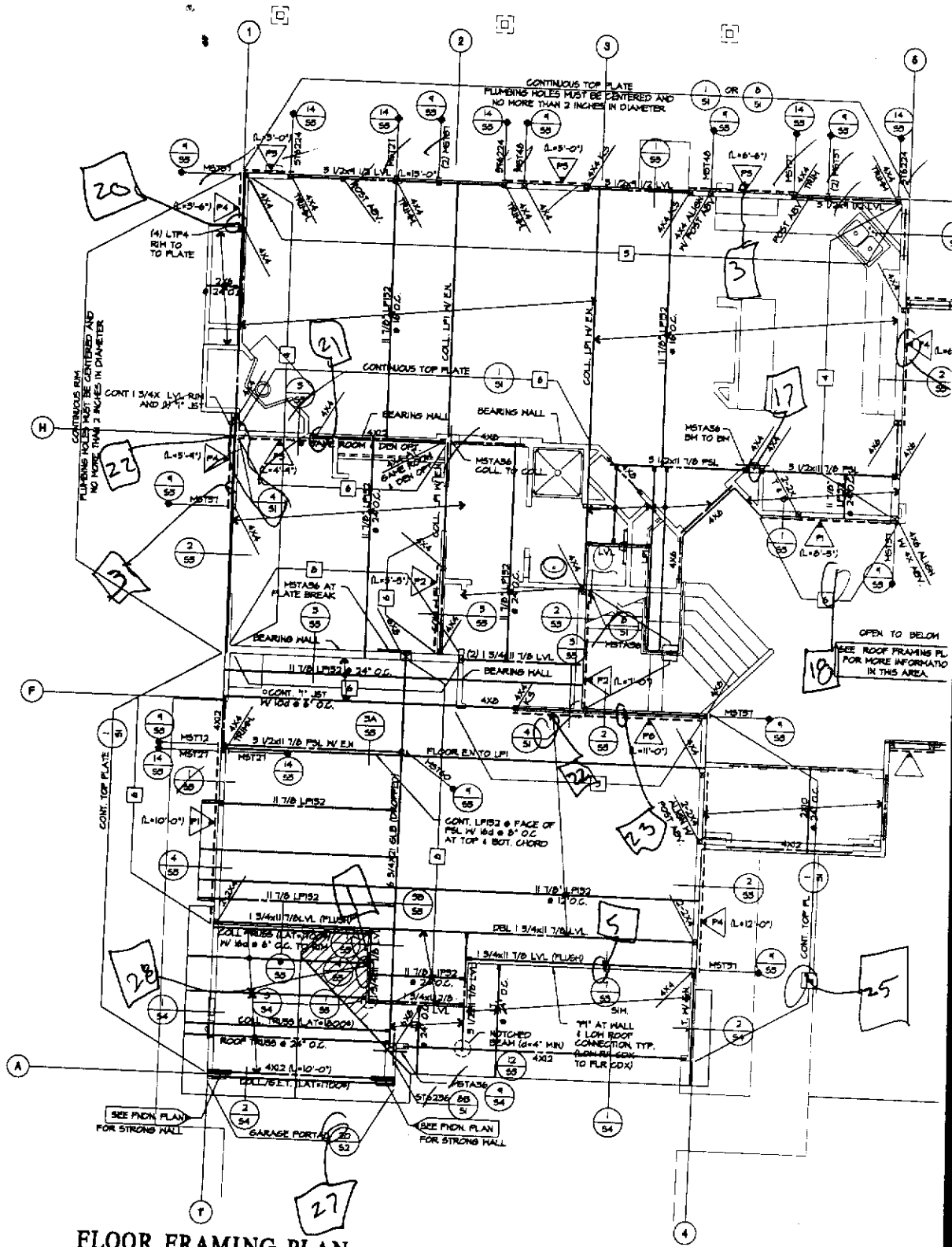
SCALE
1/4"=1'-0"

DATE
07-06-00

JOB NO.
1953

SHEET

2S2
(PLAN 76-WL)



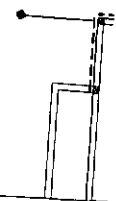
FLOOR FRAMING PLAN

ELEVATION

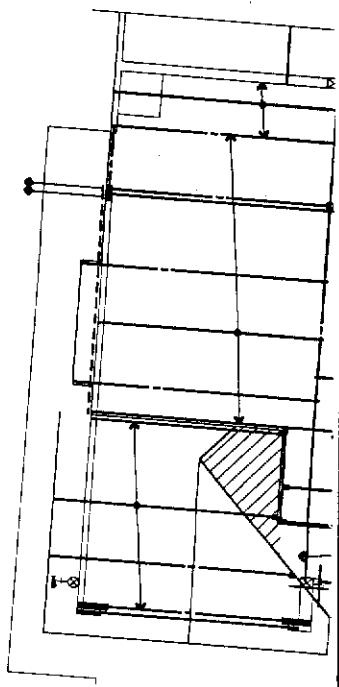
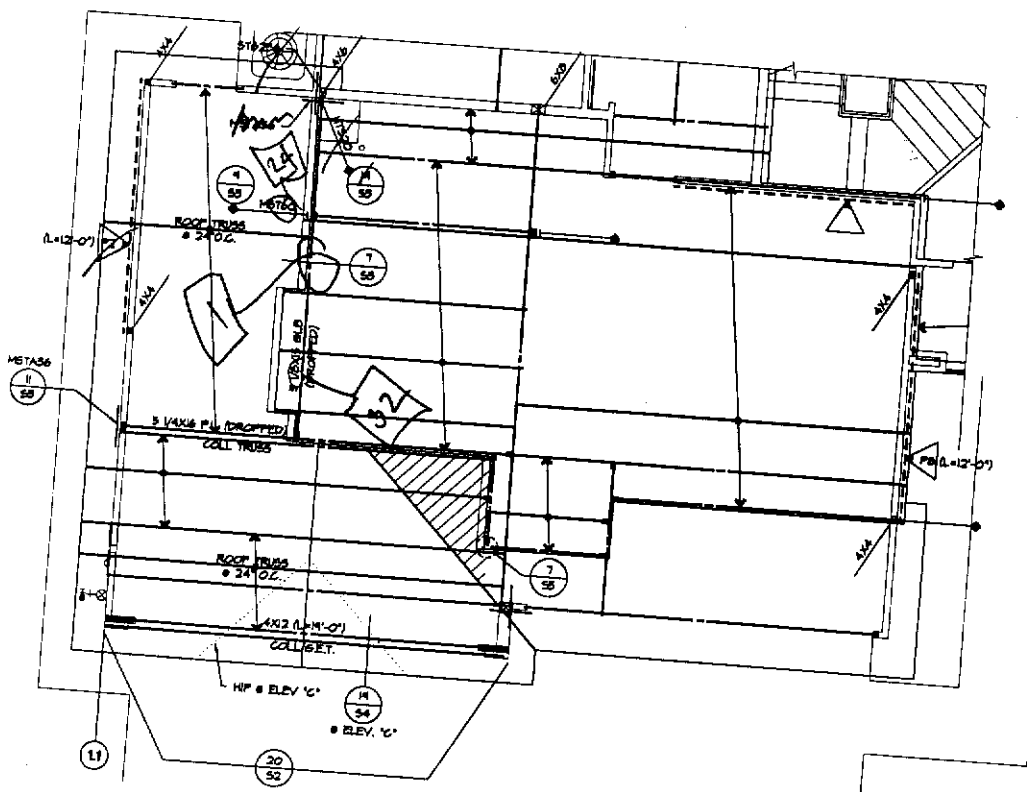
BLOCK NAILING TABLE

TYPE	1" JOIST BLOCK/UM TO TOP PLATES	LVL, PSL, LSL, BM TO TOP PLATES
8	16d SINKER AT 8" O.C. (TYP. U.O.N.)	A35 OR LTP4 @ 24" O.C. (TYP. U.O.N.)
6	16d SINKER AT 6" O.C.	A35 OR LTP4 @ 18" O.C.
4	16d SINKER AT 4" O.C.	A35 OR LTP4 @ 15" O.C.
3	16d SINKER AT 3" O.C.	A35 OR LTP4 @ 12" O.C.
2	16d SINKER AT 2" O.C. STAGGER EACH SIDE	A35 OR LTP4 @ 5" O.C.

NOTE: THERE SHALL BE A MINIMUM OF ONE-A35 CLIP PER BLOCK/UM 1ST OR 16d SINKER AT 8" O.C.



ATTENTION: ALL
AND CUTS, ETC.
PARTIAL PLAN &
SPECS AND CALL
MASTER PLAN.
PARTIAL



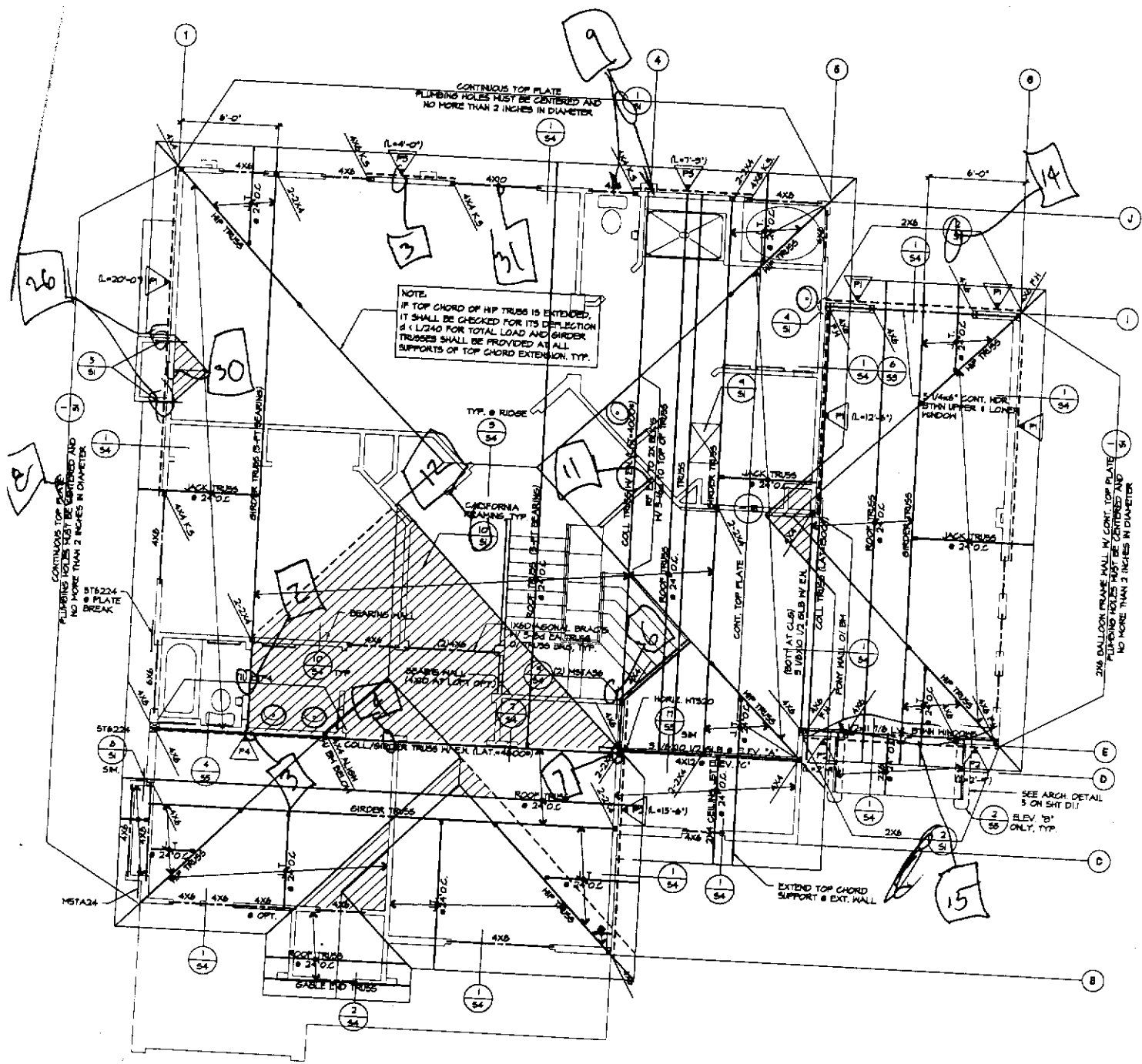
ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL FLAGS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL FLOOR FRAMING PLAN

ELEVATION "A", "B", "C" & "D"
• OPT. 4-CAR GARAGE

ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL FLOOR FR



ROOF FRAMING PLAN

ELEVATION "A" & "C" SIM.

PART:

A: To be the floor
 1. For me
 2. Not for

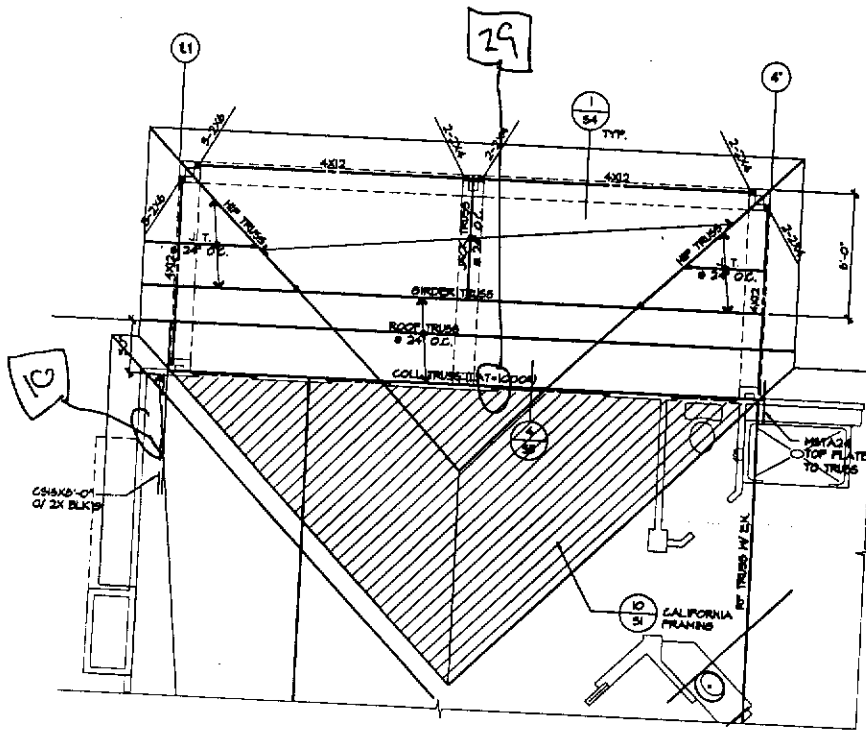
3. TRU
 a. U
 b. U

4. Roof

5. Roof of the
 6. CALL
 call.

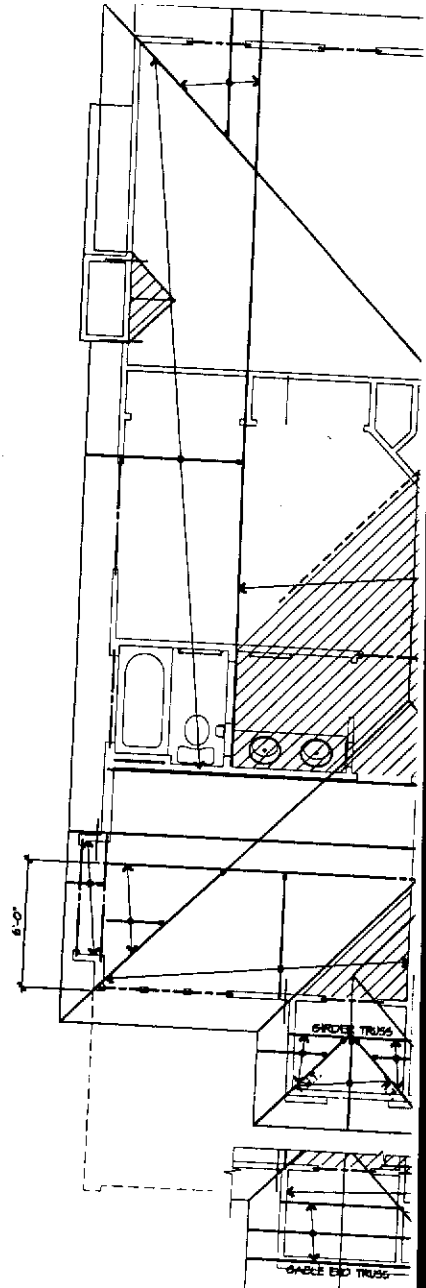
7. STOPS

Note:
 5
 a. Edg
 b. m
 c. m
 d. m
 e. m
 f. m
 g. m
 h. m
 i. m
 j. m
 k. m
 l. m
 m. m
 n. m
 o. m
 p. m
 q. m
 r. m
 s. m
 t. m
 u. m
 v. m
 w. m
 x. m
 y. m
 z. m



ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL PLANS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL ROOF FRAMING PLAN OPT COVERED REAR DECK



ATTENTION: ALL MATERIAL SPECS, HARDWARE AND CONNECTION CALLOUTS, DETAIL PLANS AND CUTS, ETC. THAT ARE GIVEN ON THE MASTER PLAN SHALL ALSO BE APPLIED TO THIS PARTIAL PLAN (ALTHOUGH NOT GRAPHICALLY DISPLAYED) WITH THE EXCEPTION THAT THE SPECS AND CALLOUTS GIVEN ON THE PARTIAL PLAN SHALL SUPERSEDE THOSE ON THE MASTER PLAN.

PARTIAL ROOF FRAMING ELEVATION "B"