

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Gene F. Hursch P.O. Box 22522 Sacramento, CA 95822		
OWNER	Jack Boxler P.O. Box 22156 Sacramento, CA 95822		
PLANS BY	Albianis Custom Home Planning, Sacramento, CA	428-5281	
FILING DATE	24 Aug 84	50 DAY CPC ACTION DATE	REPORT BY: PB:pb
NEGATIVE DEC	EX 15303(a)	EIR	ASSESSOR'S PCL NO. 031-290-01

APPLICATION:

- A. Tentative Map to divide an existing corner lot (.25± ac.) in the Townhouse (R-1A) zone into two halfplex lots.
- B. Special permit for halfplex development.

LOCATION: 7100 Pocket Road & 244 Delta Oaks

PROPOSAL: The applicant is requesting the necessary entitlements to create two halfplex units.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1980 Pocket Community Plan Designation:	Low density residential
Existing Zoning:	R-1A (townhouse)
Existing Land Use:	2 dwelling units under construction
Surrounding Land Use and Zoning:	
North:	Two family residential; R-1
South:	Two family residential; R-1
East:	Single family residential; R-1
West:	Single family residential; R-1
Parking Required:	2 spaces
Parking Provided:	4 spaces
Ratio Required:	1 per dwelling unit
Ratio Provided:	2 per dwelling unit
Property Dimensions:	Approx. 108' x 85'
Property Area:	10,000 sq. ft.
Square Footage of Buildings:	2,800 sq. ft.
Height of Structure	24'
Significant Features of Site:	Building under construction
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Colors:	Brown
Exterior Building Materials:	Wood stucco

001130

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On September 12, 1984, by a vote of 6 ayes, 0 noes, 3 absent, 0 abstentions, the Subdivision Review Committee voted to recommend approval of the Tentative Map subject to the following conditions. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- A. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided, and pay the required Parkland Dedication in lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;

APPLC. NO. 84-324

MEETING DATE 27 September 84

CPC ITEM NO. 42

- B. If unusual amounts of bone, stone or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. Place a note on final improvement plans referencing this condition;
- C. Provide separate sewer and water services to each lot and hook up.

STAFF EVALUATION: Staff has the following comments and concerns:

- A. The subject site is a .25 acre site at the southwest corner of Delta Oaks Way and Pocket Road. The site is currently zoned R-1A which allows halfplex development. A duplex is currently under construction. The General Plan and Pocket Plan designate the site for residential and low density residential respectability.

The proposal would provide a compatible housing type in the area.

The tentative map and special permit are necessary for halfplex development. There are other half-plex developments in the area (see Land Use and Zoning Map).

- B. The Planning and Parks Divisions have reviewed the proposed project and determined that Parkland Dedication in lieu fees are appropriate. The fee shall be the per acre appraisal multiplied by 0.0176 acre.
- C. ENVIRONMENTAL DETERMINATION; The proposed project is exempt from environmental review pursuant to State CEQA Guidelines (Sec. 15303(a) & 15315).

STAFF RECOMMENDATION: Staff recommends the following actions:

- A. Approval of the Tentative Map, subject to conditions which follow.
- B. Approval of the Special Permit, based on findings of fact which follow:

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Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required Parkland Dedication in lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
2. If unusual amounts of bone, stone or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist will be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. Place a note on final improvement plans referencing this condition;
3. Provide separate sewer and water services to each lot and hook up.

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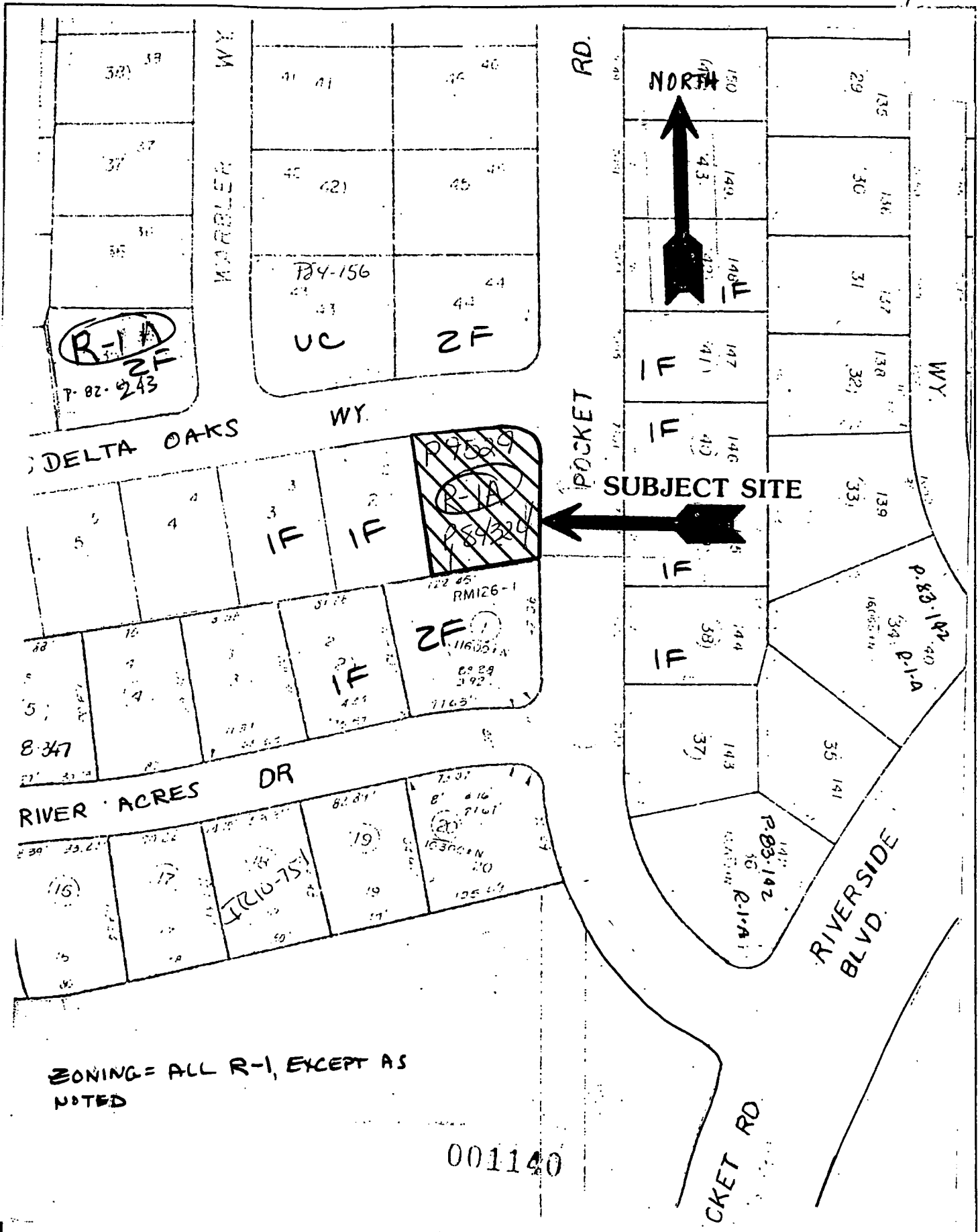
Findings of Fact - Special Permit

1. As proposed, the project is based upon sound principles of land use in that:
 - a. adequate space is available on the site to accommodate the type and density of the proposed project;
 - b. the project is compatible with surrounding land uses which consist of single family residential uses.
2. The project, as proposed, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance, in that the project will adhere to the townhouse development standards which stipulate design and density criteria;
3. The project is consistent with the land use element of the General Plan to:

"Allocate residential, commercial, industrial and other land uses in such a manner as to result in a desirable urban environment which satisfies the needs of the total community"; and

"Provide safe, stable and attractive residential areas in which to live".
4. The project is consistent with the Pocket Community Plan and the General Plan which designate the site for residential purposes.

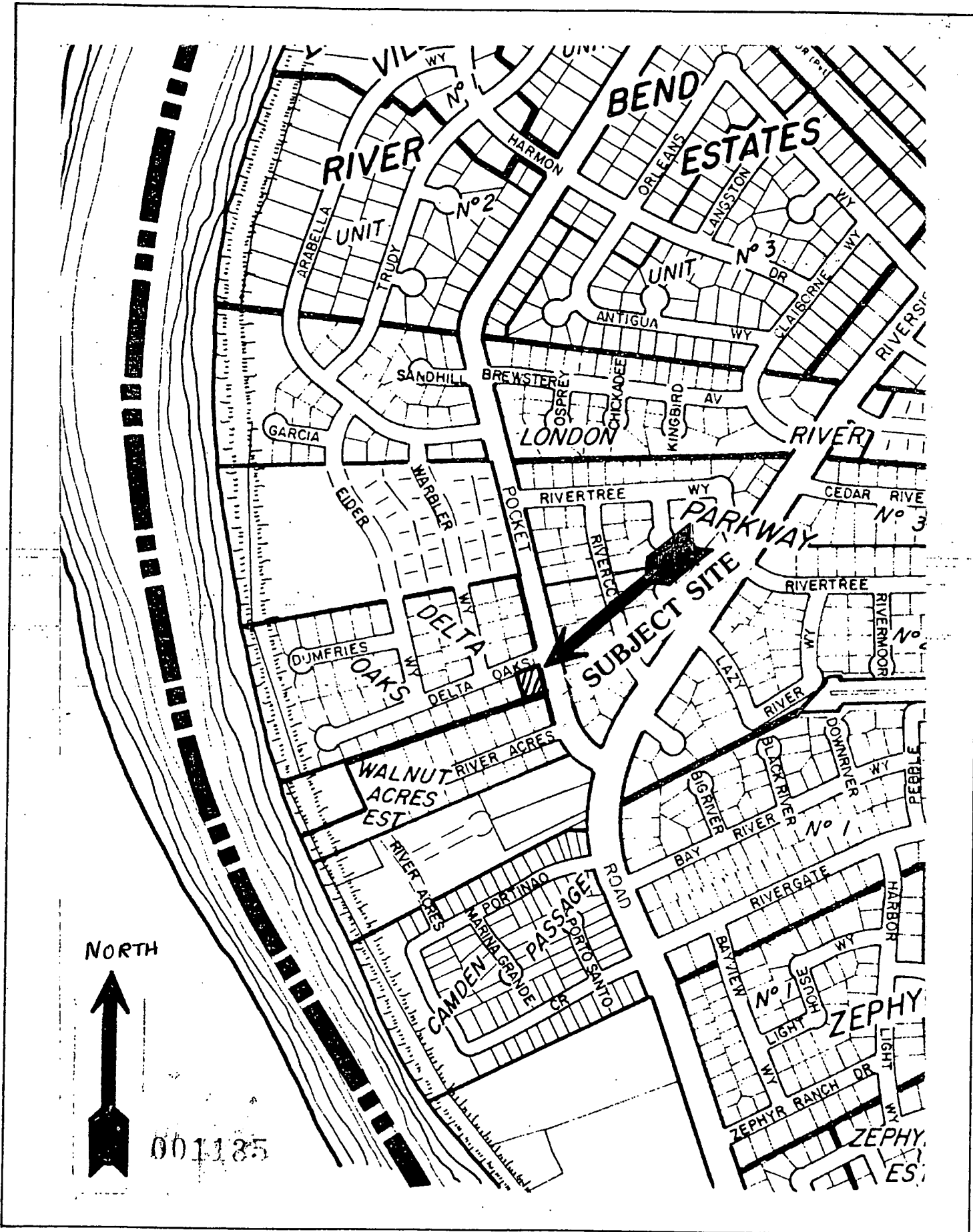
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ZONING = ALL R-1, EXCEPT AS NOTED

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LAND USE & ZONING MAP

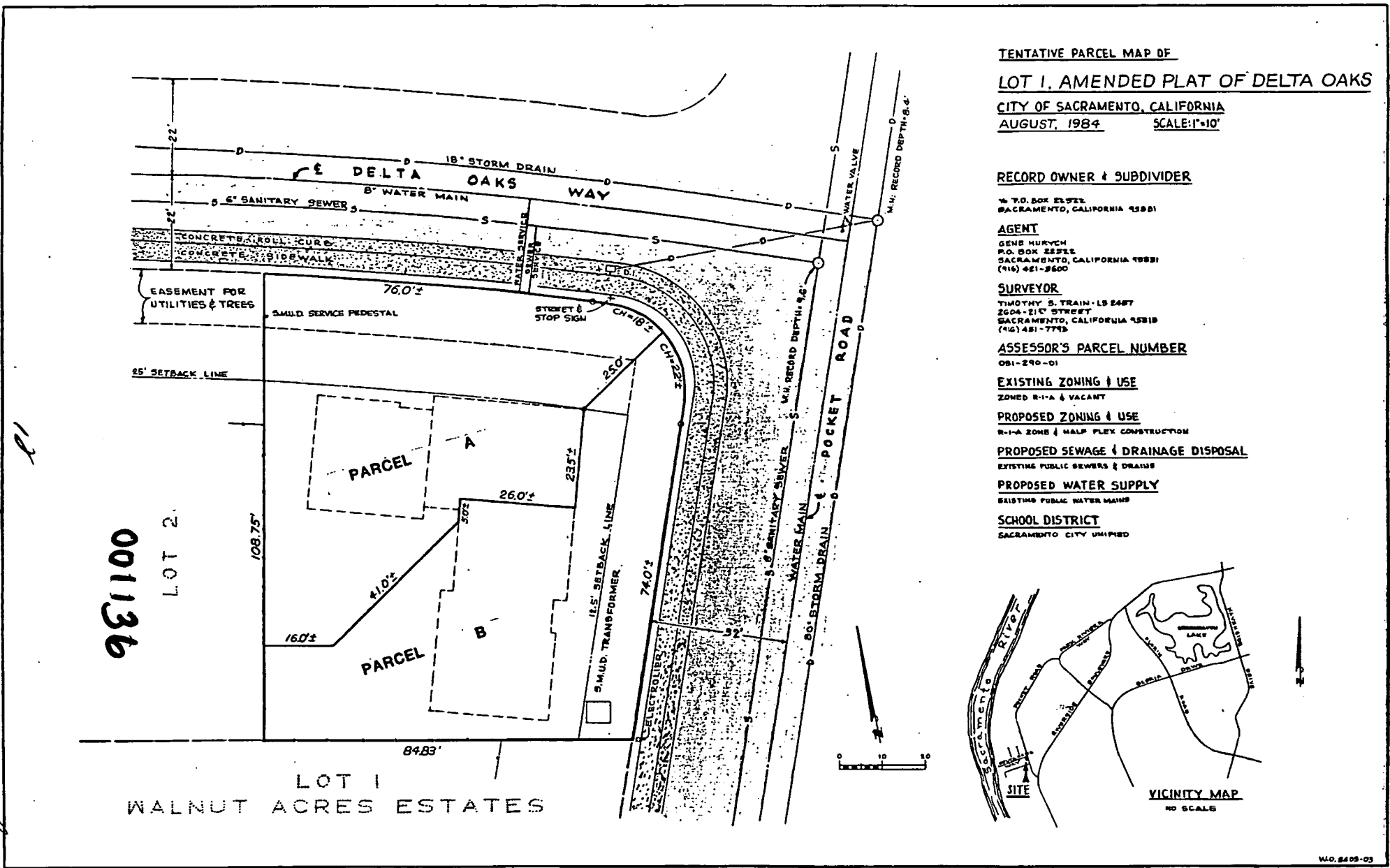


VICINITY MAP

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27 SEPT 1984

FROM H-2



TENTATIVE PARCEL MAP OF
LOT 1, AMENDED PLAT OF DELTA OAKS
 CITY OF SACRAMENTO, CALIFORNIA
 AUGUST, 1984 SCALE: 1"=10'

RECORD OWNER & SUBDIVIDER

70. BOX 2572
 SACRAMENTO, CALIFORNIA 95801

AGENT

GENE HURVICH
 P.O. BOX 2572
 SACRAMENTO, CALIFORNIA 95801
 (415) 421-2600

SURVEYOR

TIMOTHY S. TRAIN - LS 2487
 2604 - 21ST STREET
 SACRAMENTO, CALIFORNIA 95818
 (415) 481-7793

ASSESSOR'S PARCEL NUMBER

081-290-01

EXISTING ZONING & USE

ZONED R-1-A & VACANT

PROPOSED ZONING & USE

R-1-A ZONE & HALF PLEX CONSTRUCTION

PROPOSED SEWAGE & DRAINAGE DISPOSAL

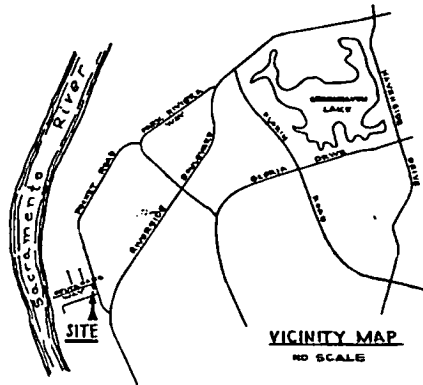
EXISTING PUBLIC SEWERS & DRAINS

PROPOSED WATER SUPPLY

EXISTING PUBLIC WATER MAINS

SCHOOL DISTRICT

SACRAMENTO CITY UNIFIED

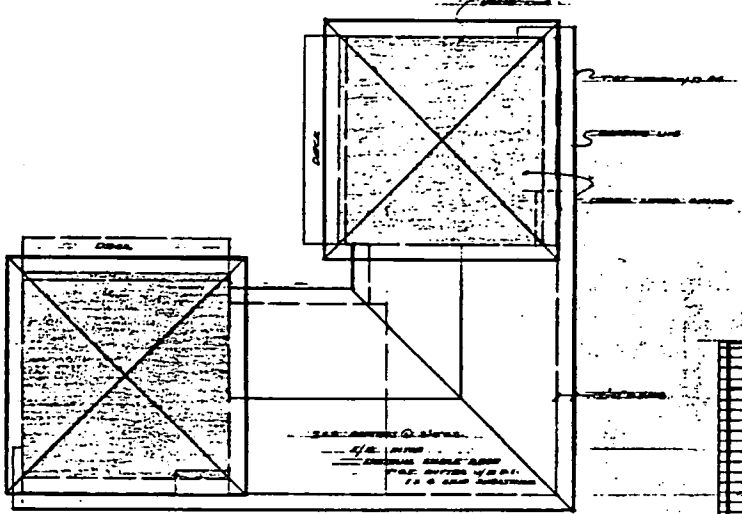


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27 SEPT 1984

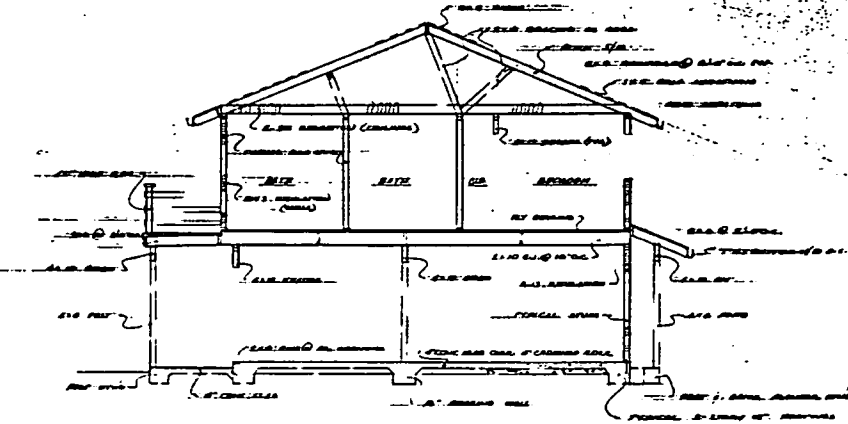
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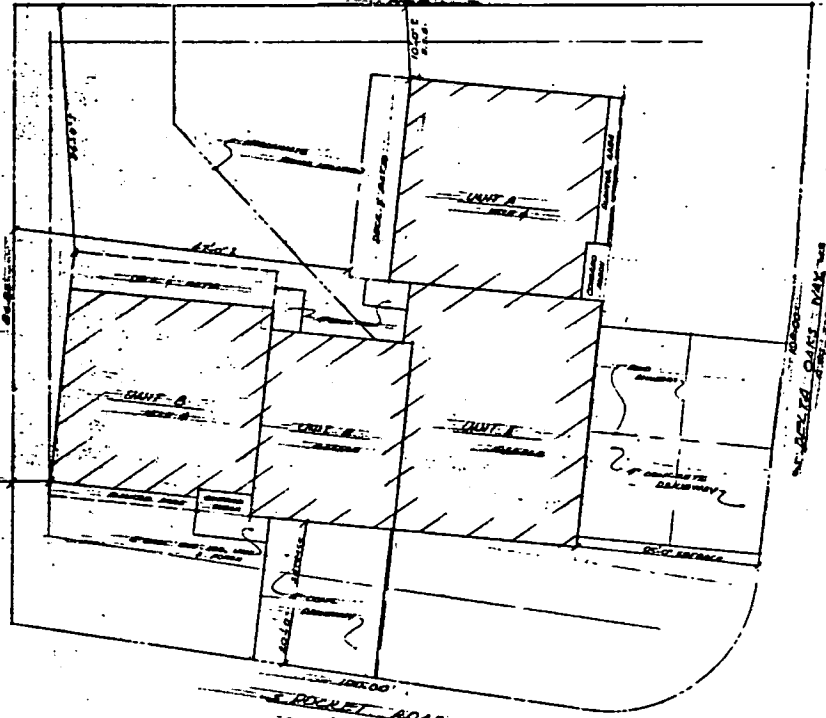
ROOF PLAN



FLOOR JOIST DETAIL



CROSS-SECTION DETAIL



SITE PLAN

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BOXER CONSTRUCTION

Albani 49



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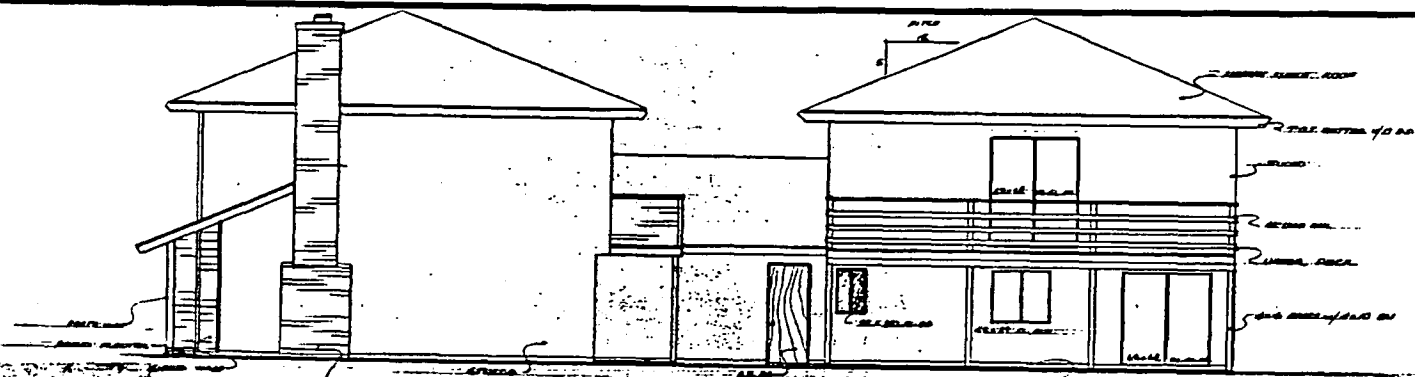
27 SEPT 1984

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POY-324

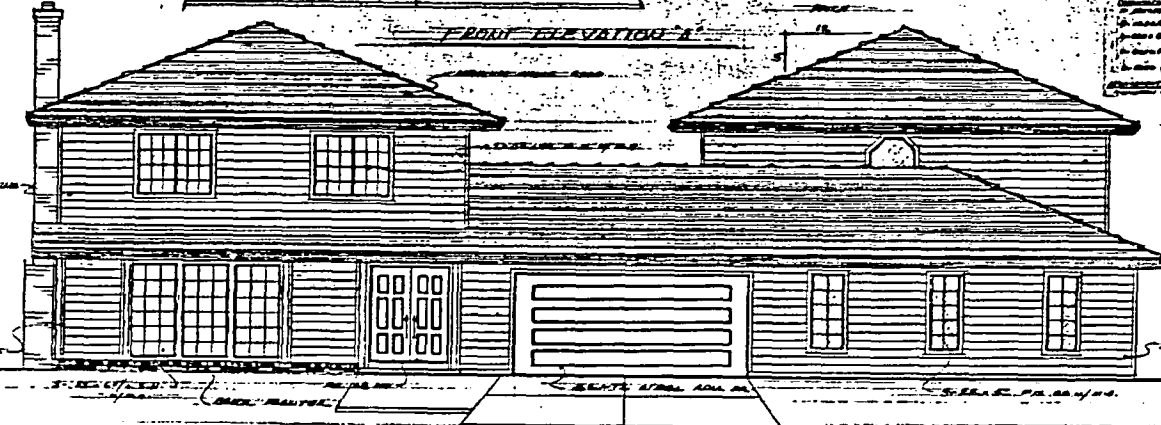
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REAR ELEVATION 'A'



FRONT ELEVATION 'A'



FRONT ELEVATION 'B' SCALE 1/8"=1'-0"

GENERAL NOTES
 1. PROVIDE EXHIBITION IN ALL ELEVATIONS, HIDE WALLS OF PLY WOOD, BRASS, AND 2" BRASS PLASTER.
 2. PROVIDE 1/2" DOWN DRAIN AT ROOFLINE, DRAINAGE MUST BE PROVIDED TO PROVIDE FOR PLACEMENT OF GRADE OF UNIT + SUBGRADE.
 3. PROVIDE THIS EXHIBITION IN AUTOMOBILES & STAIRS. THE EXHIBITION SHOULD BE TO THE APPROXIMATE FLOOR LEVEL.
 4. PROVIDE 1/2" DOWN DRAIN THROUGHOUT HOUSE.
 5. PROVIDE SATISFACTORY FINISH AS SHOWN.
 6. PROVIDE AIRSPACE BETWEEN THE FLOOR & FRONT FITTING BRASS BOARD.

WINDOWS (CALCULATED)

NORTH	SINGLE ELEVATION	10.5	1.5
SOUTH	DOUBLE ELEVATION	11.5	1.7
EAST	DOUBLE ELEVATION	12.5	1.8
WEST	DOUBLE ELEVATION	13.5	1.9

TERMINAL AREA

TERMINAL AREA	11.5	1.5
TERMINAL AREA	12.5	1.6
TERMINAL AREA	13.5	1.7

NOTES
 1. THIS PLAN IS TO BE CONSTRUCTION IN ACCORDANCE WITH ALL LOCAL AND STATE BUILDING, MECHANICAL, ELECTRICAL AND MECHANICAL CODES, AND THE NEW CALIFORNIA ENERGY EFFICIENCY STANDARDS (TITLE 24) FOR CLIMATE ZONE 1B, AND IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THESE CODES ARE FOLLOWED.
 2. THE CONTRACTOR / OWNER SEE TO CHECK AND VERIFY ALL PLANS AND MEASUREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS NOT RESPONSIBLE FOR ANY OMISSIONS, ERRORS, OR CHANGES AFTER COMMENCEMENT OF CONSTRUCTION, OR FOR QUALITY OR ACCURACY OF WORKMANSHIP PERFORMED.

CONTRACTOR'S OBLIGATION
 The Contractor shall be responsible for the construction of the building in accordance with the approved plans and specifications, and shall be responsible for the quality of the workmanship performed. The Contractor shall be responsible for the payment of all taxes and fees, and for the procurement of all necessary permits and licenses. The Contractor shall be responsible for the maintenance of the site, and for the removal of all debris and waste. The Contractor shall be responsible for the protection of the surrounding property, and for the safety of all workers and the public. The Contractor shall be responsible for the completion of the project within the agreed-upon time and budget.

Custom Home Plan for
 SACRAMENTO, CALIFORNIA

Albani's Custom Home Planning and Drafting Service

Planning and Drawing by Vince Albani
 Sacramento, California 916-428-5267

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