

P94-038 - PACIFIC CREST VILLAGE

- REQUEST:
- A. Negative Declaration
  - B. Tentative Map to subdivide 4.4 ± acres into 24 single family lots in the Standard Single Family (R-1) zone.
  - C. Subdivision Modification to create 5 corner lots less than 62 feet wide.
  - D. Subdivision Modification to create 5 corner lots less than 6,200 sq.ft. in area.
  - E. Subdivision Modification to create 8 lots less than 100 ft. in depth.
  - F. Subdivision Modification to create 6 lots less than 5,200 sq.ft. in area.

LOCATION: North r/w of Lemon Hill Ave. & 300' west of Bellview Ave.  
038-0051-005, 006  
South Sacramento  
Sacramento Unified School District  
Council District 6

APPLICANT:	Morton & Pitalo Inc. - Roger Henry 1788 Tribute Road, Suite 200, Sacto., CA. 95815
OWNER:	California National Bank 601 California Street, San Francisco, CA. 94111
PLANS BY:	Morton & Pitalo 1788 Tribute Road, Suite 200, Sacto., CA., 95815
APPLIC. FILED:	4-6-94
STAFF CONTACT:	Lisa Burke, 264-7129

**SUMMARY/RECOMMENDATION:** The applicant proposes to subdivide 4.4± acres into 24 single family lots. This project was originally approved in 1990. **Staff recommends approval of the project.** This recommendation is based on the project's consistency with the policies of the General Plan.

**PROJECT INFORMATION:**

General Plan Designation:	Low Density Residential (4-15 du/na)
South Sacramento Community Plan Designation:	Low Density Residential (4-8 du/na)
Existing Land Use of Site:	Roads, curbs, and gutters are in place
Existing Zoning of Site:	R-1, Single Family

**Surrounding Land Use and Zoning:**

North: R-1; Single Family Residential  
 South: R-1; Single Family Residential  
 East: R-1; Single Family Residential  
 West: R-1; Single Family Residential

Total Property Area:	4.4± acres
Property Dimensions:	Irregular
Density of Development:	5.5± du/acre
Topography:	Flat
Street Improvements:	City of Sacramento
Utilities:	City of Sacramento

**OTHER APPROVALS REQUIRED:** In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Final Map	Public Works, Development Services
Building Permit	City of Sacramento Building Division

**BACKGROUND INFORMATION:** A tentative map for the site was originally approved on July 13, 1990 by the Planning Commission and on August 21, 1990 by the City Council. This map is the same map approved in 1990. The original tentative map has expired and the applicant must file for a new tentative map. The street improvements for the subdivision are in place.

**STAFF EVALUATION:** Staff has the following comments:

A. Policy Considerations

The General Plan designates the site as Low Density Residential (4-15 du/na) and the 1986 South Sacramento Community Plan designates the site as Residential (4-8 du/na). The density of the proposed project is 5.5 du/na which is consistent with the land use designations. The project also promotes the Sacramento General Plan goal of meeting new housing needs (SGP, 3-47).

B. Tentative Map Design

The Tentative Map subdivides the site into 24 parcels for single family development. The applicant is also requesting several subdivision modifications to establish lots less than 62 feet wide, lots less than 6,200 sq.ft. in area, lots less than 100 ft. deep, and lots less than 5,200 sq.ft. in area. The project density of 5.5 du/na is consistent with both the General Plan and the South Sacramento Community Plan. Staff recommends approval of the Tentative Map.

C. Site Plan Design/Zoning Requirements

The subdivision would create 24 single family lots. The subdivision will be compatible with the Zoning Ordinance and the adjacent subdivision to the east. The site is zoned for single family residential development. The site is developed with streets, curbs, gutters, and street lights.

The subdivision modifications are requested to reduce lot depths and lot sizes established by the Zoning and Subdivision Ordinances. The ordinance requires that corner lots must be at least 62 ft. wide and at least 6,200 sq.ft. in area. Lots must also be 100 ft. in depth. Minimum interior lot size is 5,200 sq.ft. in area. Approximately 13 of the 24 lots proposed in this project do not meet the standards for Standard Single Family (R-1) zoning and therefore require subdivision modifications. The specific lots are as follows:

Lot numbers 1, 4, 5, 8, and 22 are corner lots less than 62' wide.

Lot numbers 9, 10, 11, 12, 16, 17, 19, and 21 are less than 100' in depth.

Lot numbers 9, 10, 11, 16, 19, and 21 are interior lots less than 5,200 sq.ft. in area.

Lot numbers 1, 4, 5, 8, and 22 are corner lots less than 6,200 sq.ft. in area.

This map was originally approved in 1990 and already has the streets, curbs, gutters, and streetlights installed. It would be difficult and expensive for the applicant to redesign the project. Additionally, the subdivision to the east is already approved and under construction. In order to make the streets line up with the subdivision to the east some substandard lots are necessary. A condition has been placed on the project stating that corner lots can only have single family residences (instead of duplexes) located on them. Lot 19 is small and irregular in shape, however the applicant has indicated that it is a buildable lot (see Exhibit C-2). It is staff's recommendation that the subdivision modifications be approved.

#### PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared.

B. Public/Neighborhood/Business Association Comments

The project was routed to the local neighborhood group and no comments were received.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The comments received have been included as conditions of the Tentative Map.

D. Subdivision Review Committee Recommendation

On May 18, 1994, the Subdivision Review Committee, by a vote of three ayes, voted to recommend approval of the tentative map subject to conditions in the attached Tentative Map Resolution.

**PROJECT APPROVAL PROCESS:** The Planning Commission has the authority to approve or deny the Tentative Map and Subdivision Modifications. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Adopt the attached Resolution (Attachment C) approving the Tentative Map and Subdivision Modifications to subdivide 4.4± acres into 24 single family lots.

Report Prepared By,

Report Reviewed By,

  
Lisa Burke, Planner

  
for Barbara L. Wendt, Senior Planner

**Attachments**

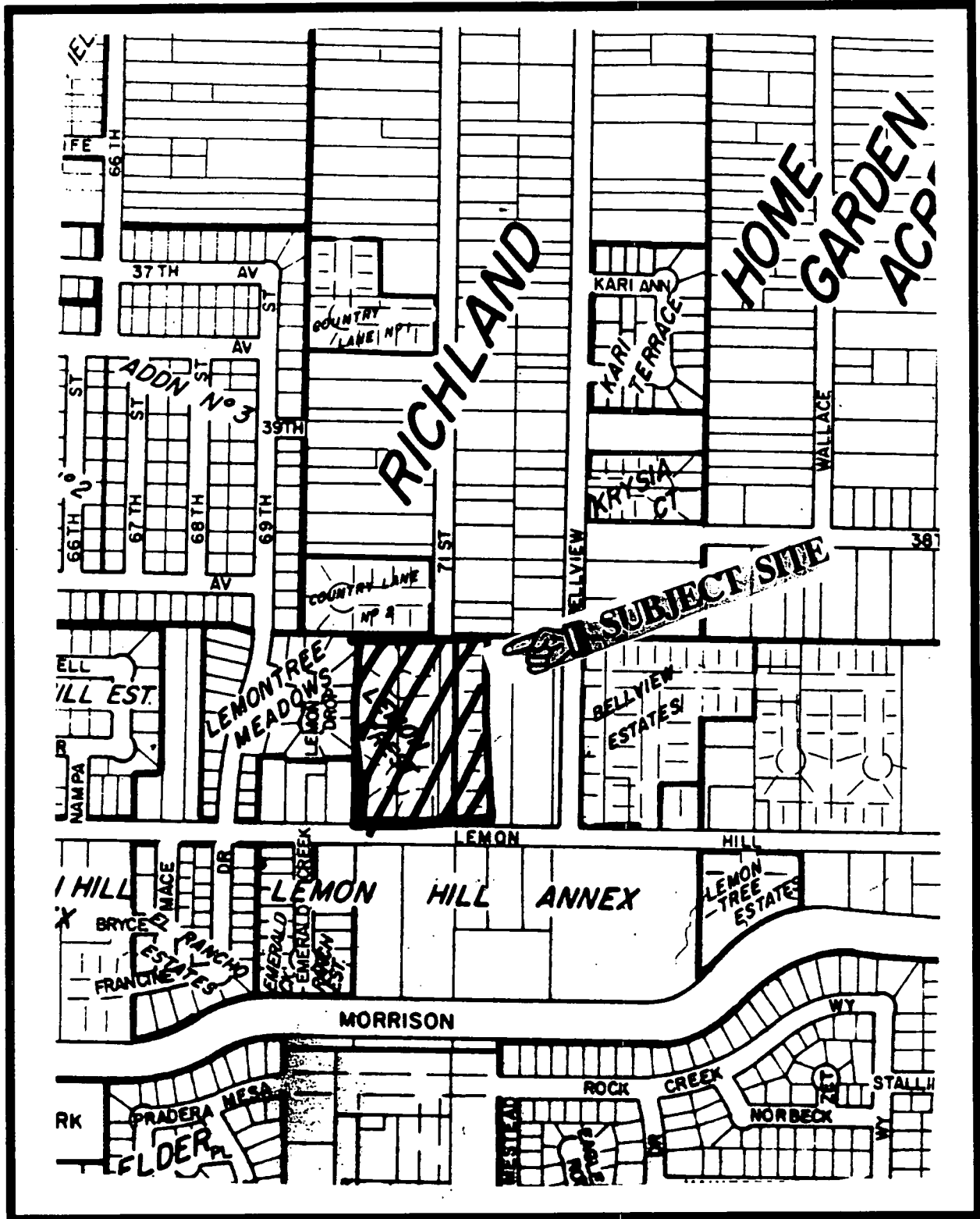
Attachment A	Vicinity Map
Attachment B	Land Use and Zoning Map
Attachment C	Resolution Approving Tentative Map and Subdivision Modifications
Exhibit C-1	Tentative Map

ATTACHMENT A

P94-038

JUNE 23, 1994

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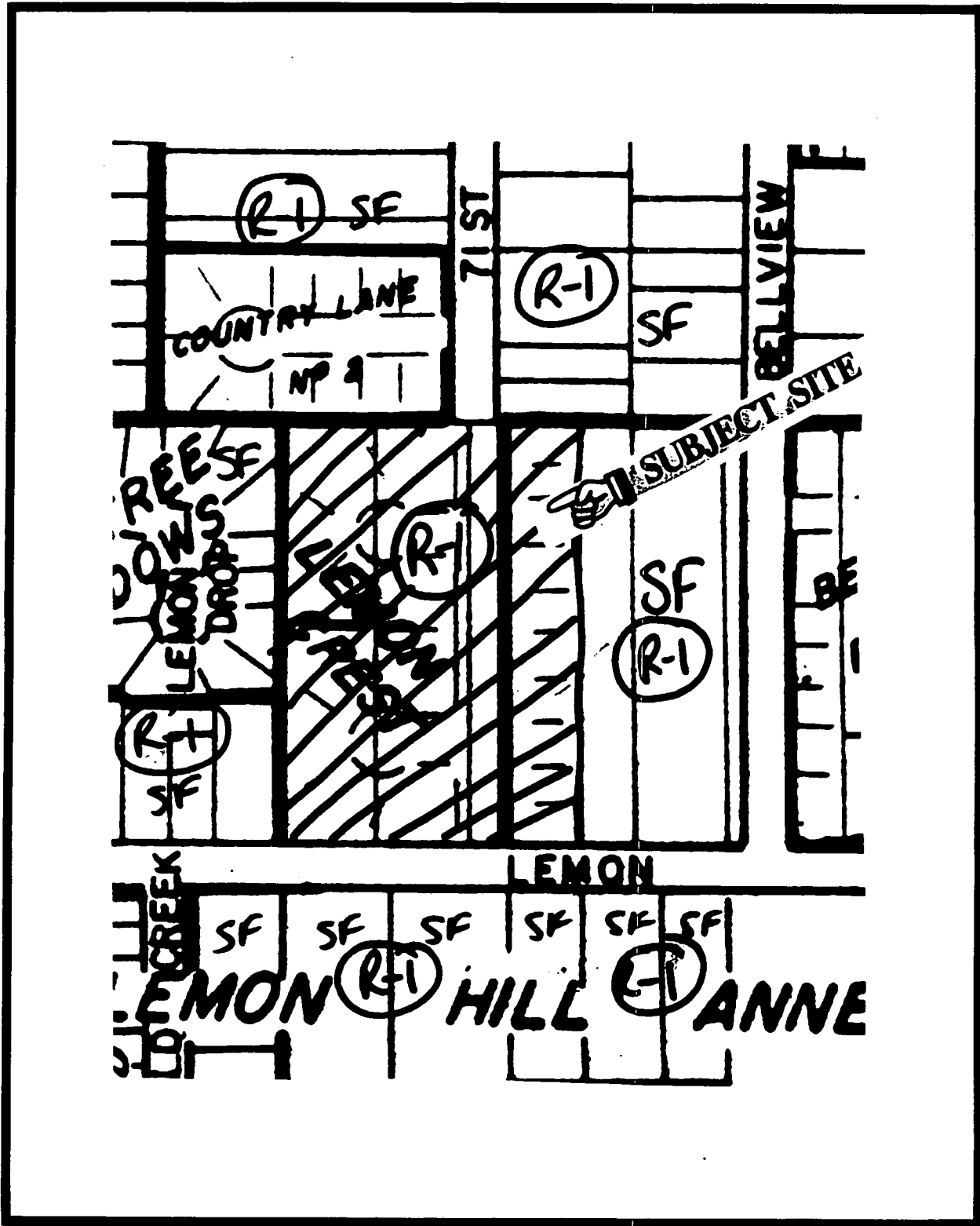
VICINITY MAP

ATTACHMENT B

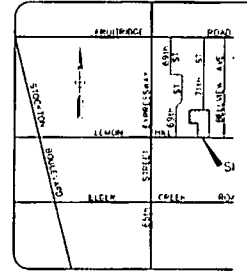
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JUNE 23, 1994

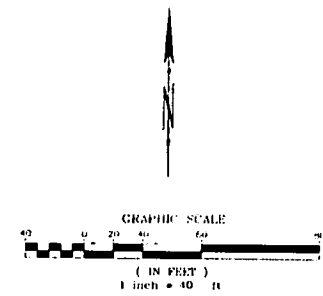
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LAND USE AND ZONING MAP



LOCATION MAP  
N.T.S.



**OWNER:**  
CALIFORNIA NATIONAL BANK  
10641 FOLSOM BLVD.  
RANCHO CORDOVA, CA 95670  
916-364-7878

**APPLICANT/ENGINEER:**  
MORTON & PITALO, INC.  
1788 TRIBUNE ROAD, SUITE 200  
SACRAMENTO, CA 95815  
916-927-2400

**APN'S:**  
038-0051-005 & 006

**AREA:**  
4.413 ACRES

**ZONING:**  
R1

**GAS:**  
P.C. & E.

**ELECTRICITY:**  
SMUD

**TELEPHONE:**  
PACIFIC BELL

**CITY OF SACRAMENTO:**  
SCHOOLS  
PARKS AND RECREATION  
WATER  
SANITARY SEWER  
STORM DRAINAGE  
FIRE  
POLICE

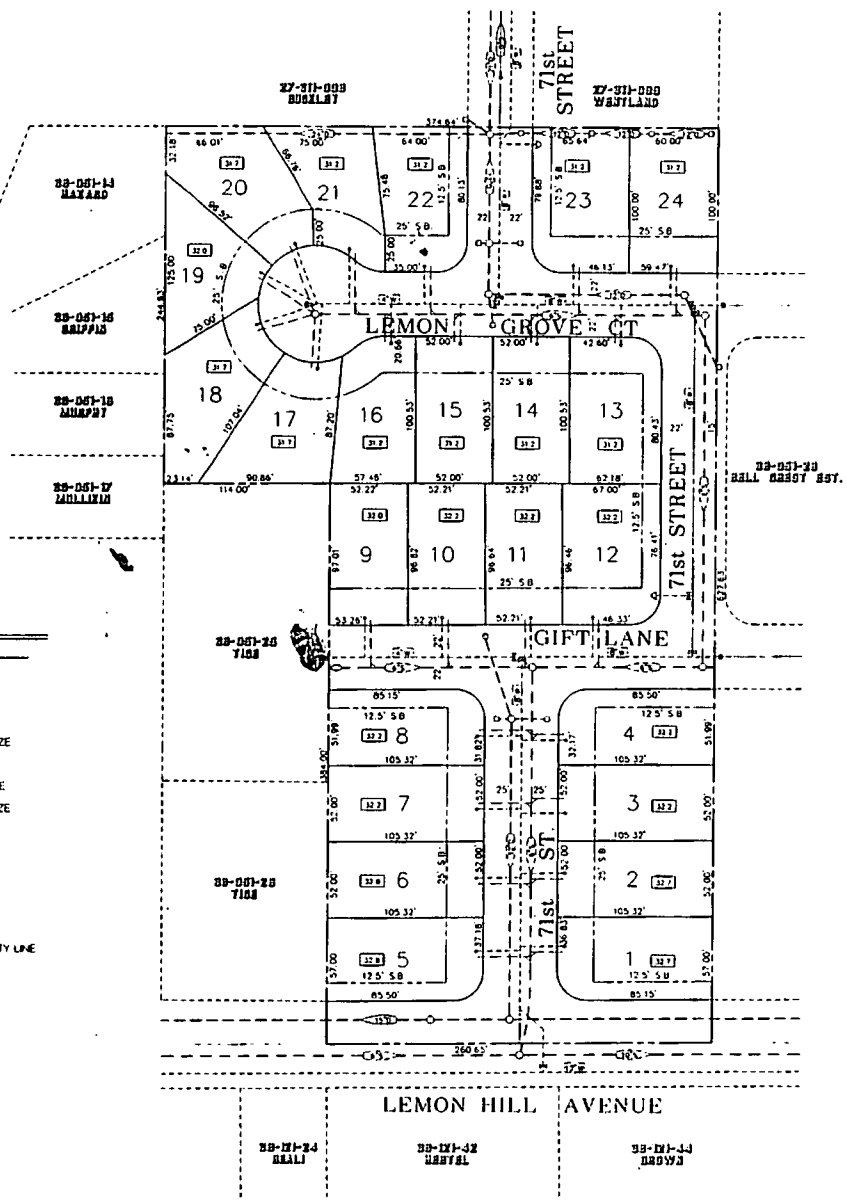
**PRESENT USE**  
VACANT

**PROPOSED ZONING**  
R1

**PROPOSED USE**  
SINGLE FAMILY

**NO OF LOTS**  
24 S.F. LOTS

EXHIBIT C-1



**LEGEND**

EXISTING	DESCRIPTION
○	MANHOLE
□	DRAIN INLET
—○—	CLEAN OUT
—C—	SEWER LINE AND SIZE
—S—	SEWER SERVICE
—D—	DRAIN LINE AND SIZE
—W—	WATER LINE AND SIZE
—V—	WATER SERVICE
—	WATER VALVE
—	BLOW OFF VALVE
22.4	PAD ELEVATION
—	BOUNDARY LINE
—	PROPOSED PROPERTY LINE
—	CENTER LINE

SCALE: HORIZ. 1" = 40'		BENCH MARK		COMPUTED MVB		<p><b>MORTON &amp; PITALO, INC.</b> CIVIL ENGINEERING • PLANNING • SURVEYING 1700 TRIBUNE ROAD, SUITE 200, SACRAMENTO, CA 95815 PHONE: 916-927-2400 FAX: 916-927-0120</p>	<p>TENTATIVE SUBDIVISION MAP <b>PACIFIC CREST VILLAGE</b> CITY OF SACRAMENTO</p>	<p>CALIFORNIA JOB NO. 940037</p>
VERT. 1" = N/A				DESIGNED RWH				
				DRAWN MVB				
				PROJ. ENGR. RWH				

P94037-DWG

11/27/94 11:27 AM



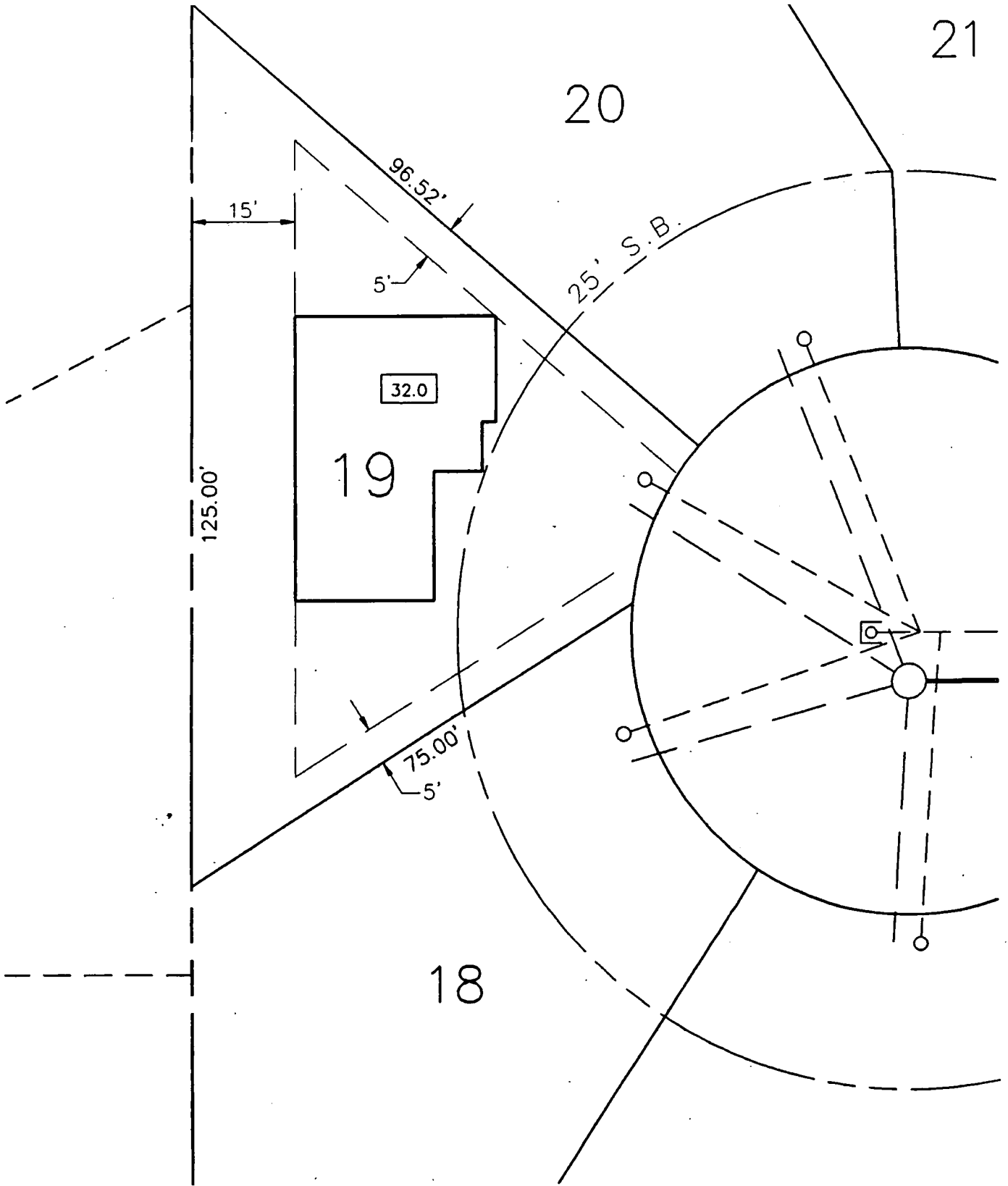
EXHIBIT C-2

21

20

19

18



**MORTON & PITALO, INC.**  
 CIVIL ENGINEERING - PLANNING - SURVEYING

**PACIFIC CREST VILLAGE  
 LOT 19**

LOT/DWG

DATE: APRIL 1994

JOB NO.: 940037

SHT. 1

SCALE: 20'

DRAWN: MVB

OF 1

SACRAMENTO

CALIFORNIA