

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0401701

Insp Area: 2

Thos Bros: 337J3

Site Address: 9 BOCK CT SAC

Parcel No: 118-0021-016

Sub-Type: REM

Housing (Y/N): N

CONTRACTOR

Q C CONSTRUCTION
8981 LA SENERA DRIVE
FAIR OAKS, CA 95628

OWNER

THOMPkins JANET M
9 BOCK CT
SACRAMENTO CA 95823

ARCHITECT

Nature of Work: INT RMDL FOR SFR - ELIMINATE 1 BDRM & EXPAND EXISTING BDRM
& LVNG RM, REPLACE 2 WINDOWS, PATCH STUCCO EXTERIOR,
EXISTING HVAC RELOCATION.

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of
the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Roy Maubach Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9
(commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 465411 Date 2-4-04 Contractor Signature Roy Maubach

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following
reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure,
prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors
License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the
basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five
hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for
sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and
who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however,
the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for
the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code:
The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s)
licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all
measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or
private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any
improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to
building construction and herby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 2-4-04 Applicant/Agent Signature Roy Maubach

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the
performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which
this permit is issued. My workers' compensation insurance carrier and policy number are:

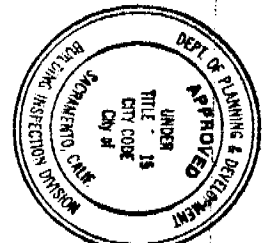
Carrier NO EMPLOYEES Policy Number Exp Date

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall
not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the
workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 2-4-04 Applicant Signature Roy Maubach

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO
CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF
COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

SMOKE DETECTORS ARE REQUIRED WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT ARE IN EXCESS OF \$1,000 OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED (GROUP R)



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

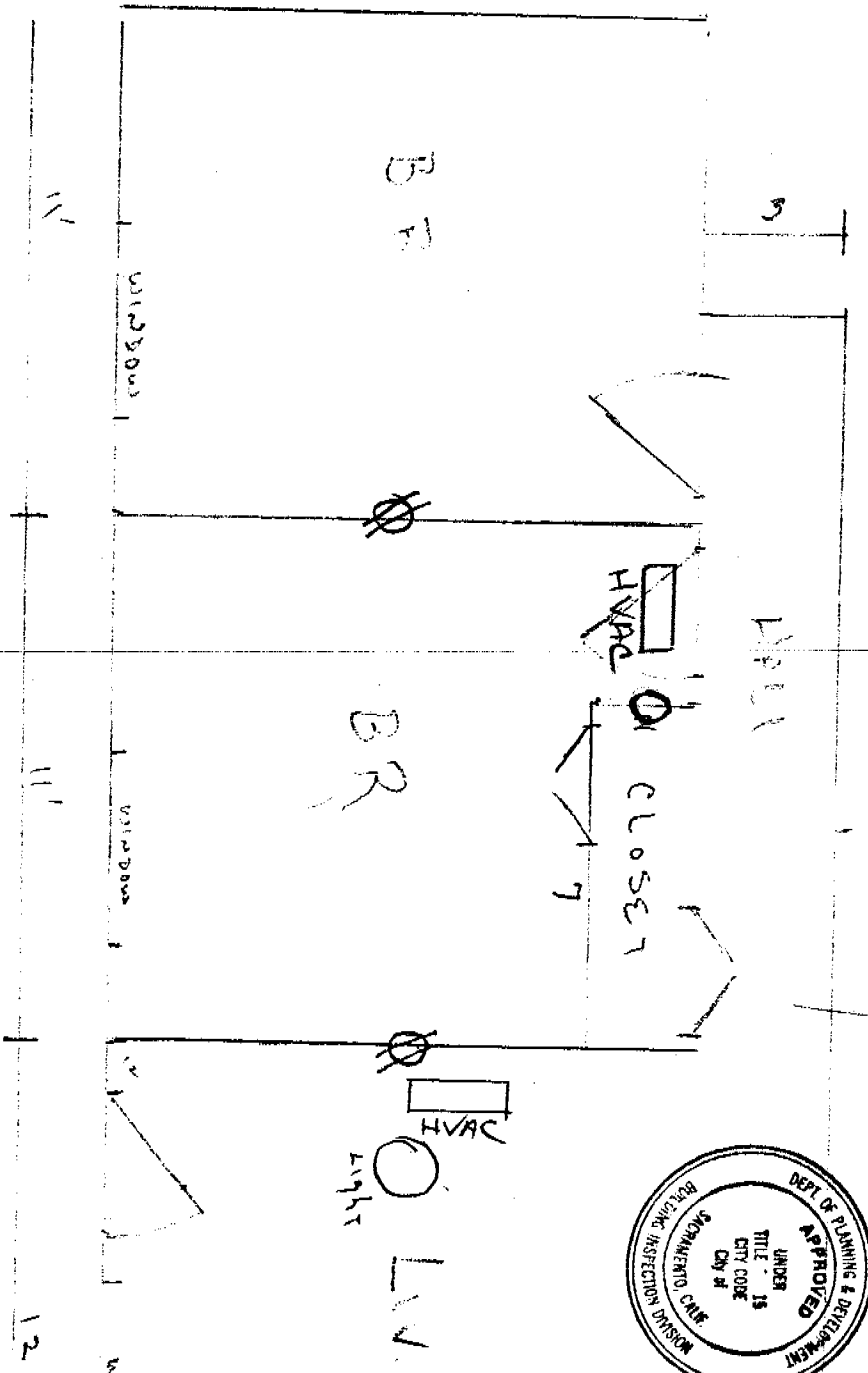
The approval of this plan and specifications SHALL NOT be held to permit or constitute a violation of any City Ordinance.

[Signature]
2/4/04

15.5
ISSUED
FEB 04 2004

Rooms with egress windows from sleeping rooms shall have a minimum net clear opening of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches. Where windows are provided as a means of egress or rescue they shall have a finished sill height not more than 44 inches above this floor.

EXISTING FLOOR PLAN

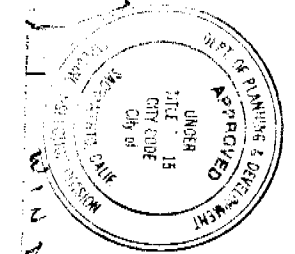
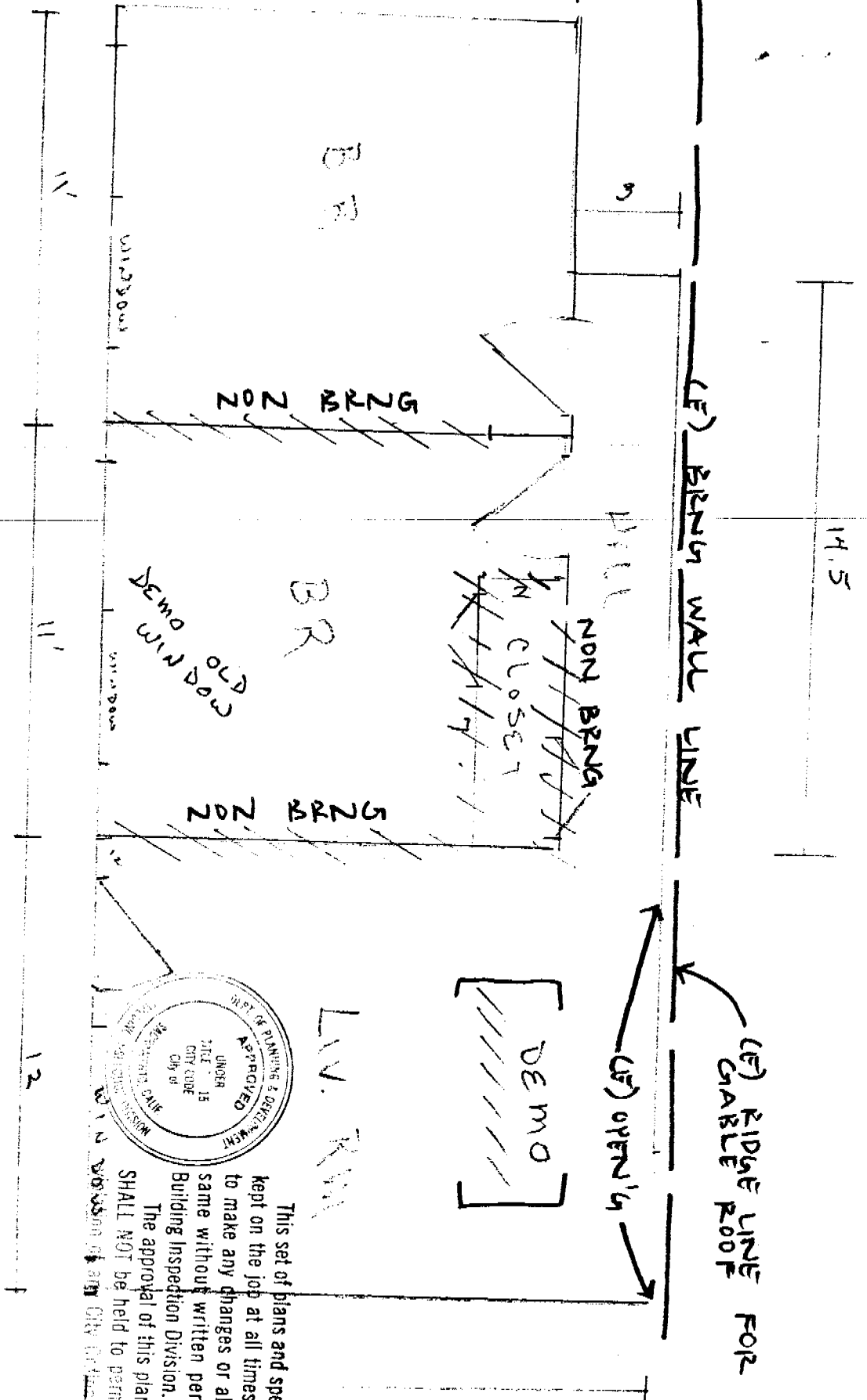


CITY COPY

THE APPROVAL OF ALL PLUMBING MECHANICAL AND ELECTRICAL IS SUBJECT TO FIELD INSPECTION

PROPOSED DEMOLITION PLAN

Proposed #9 Book Court



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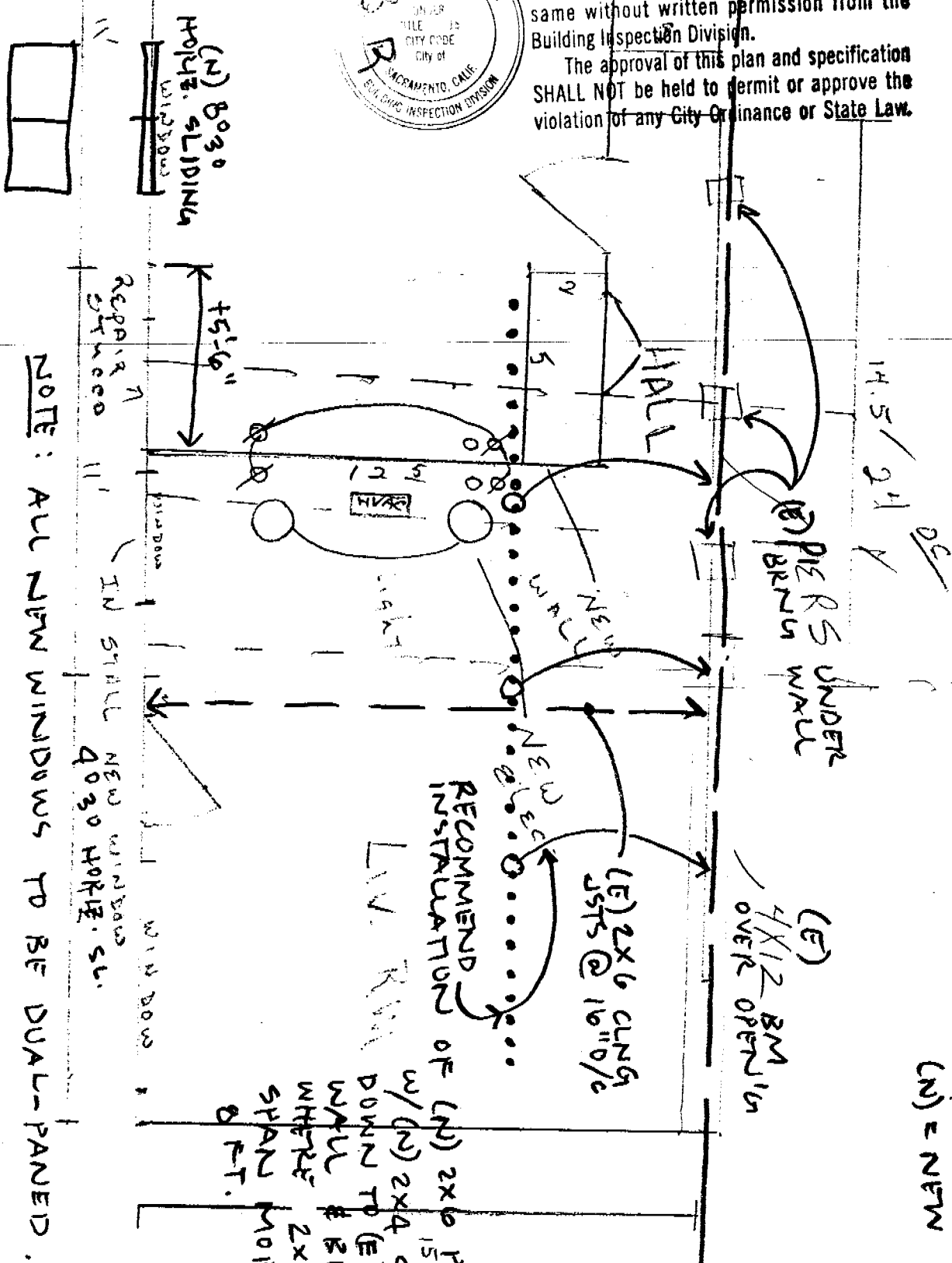
ISSUED
 FEB 04 2008



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PROPOSED REMODELED FLR PLAN W/ STRUCTURAL



NOTE: ALL NEW WINDOWS TO BE DUAL-PANED.

IN STALL NEW WINDOWS 4030 HORIZ. SL.

RECOMMEND INSTALLATION OF (N) 2X6 PURLIN W/ (N) 2X4 SILL STUDS DOWN TO (E) BRNNG WALL & RETAIN WHERE 2X4 KAFFER SPAN MORE THAN 8 FT.

(E) = EXISTING
(N) = NEW

APPROVED
B 4 2009
Sacramento Building Division