

CITY OF SACRAMENTO

Permit No: 9902037

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 4625 Q ST SAC

Sub-Type: NOTHR

Parcel No: 008-0471-009

Housing (Y/N): N

CONTRACTOR

TUFF SHED INC
3202 ORANGE GROVE
NORTH HIGHLANDS CA 95660

OWNER

ASBURY SHAUNA MARIE
SACRAMENTO CA 95819

ARCHITECT

Nature of Work: 96SQ FT SHED

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 461-664 Date 3-4-99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:

Date Owner Signature

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3-4-99 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

X I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

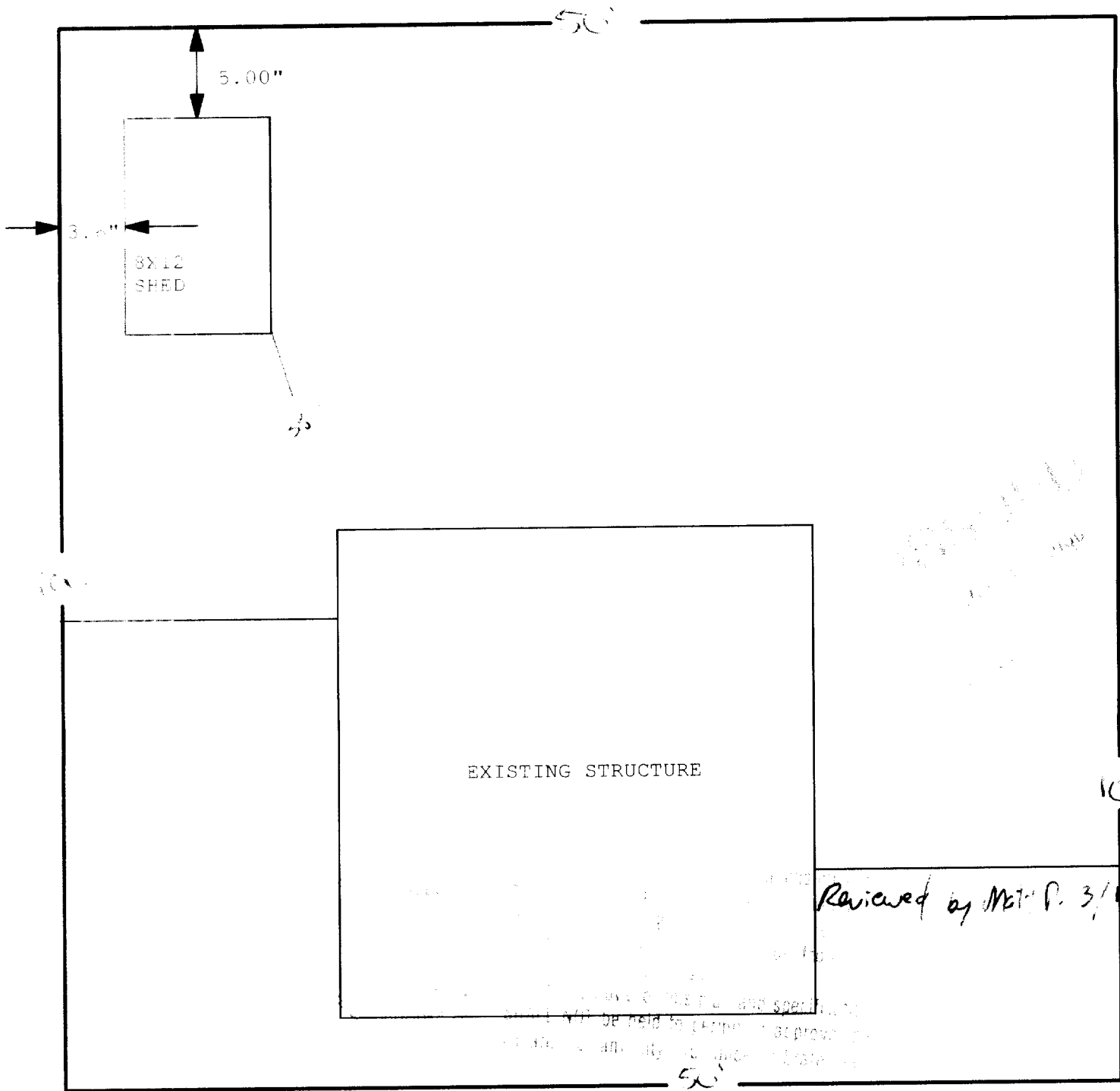
Carrier TRAVELERS INSURANCE Policy Number UB-754G940-6-98 Exp Date 07/01/1999

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3-4-99 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



APPROVED
3/11/99

Reviewed by Matt P. 3/14/99

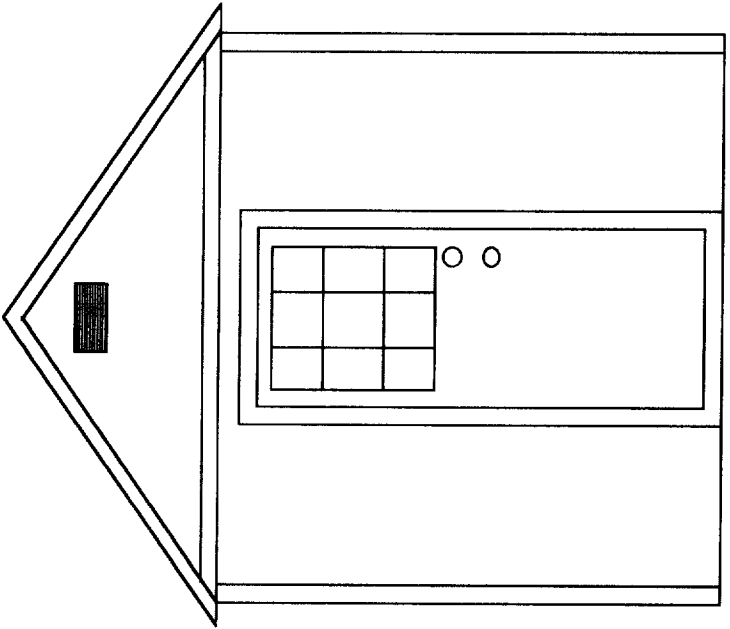
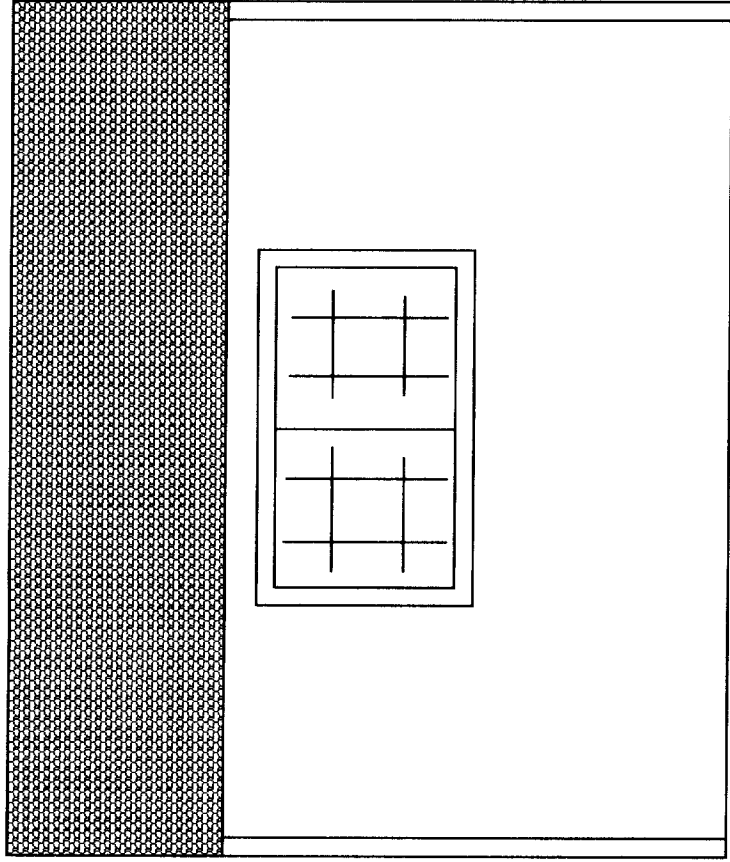
APPROVED
3/11/99

----- Q STREET -----

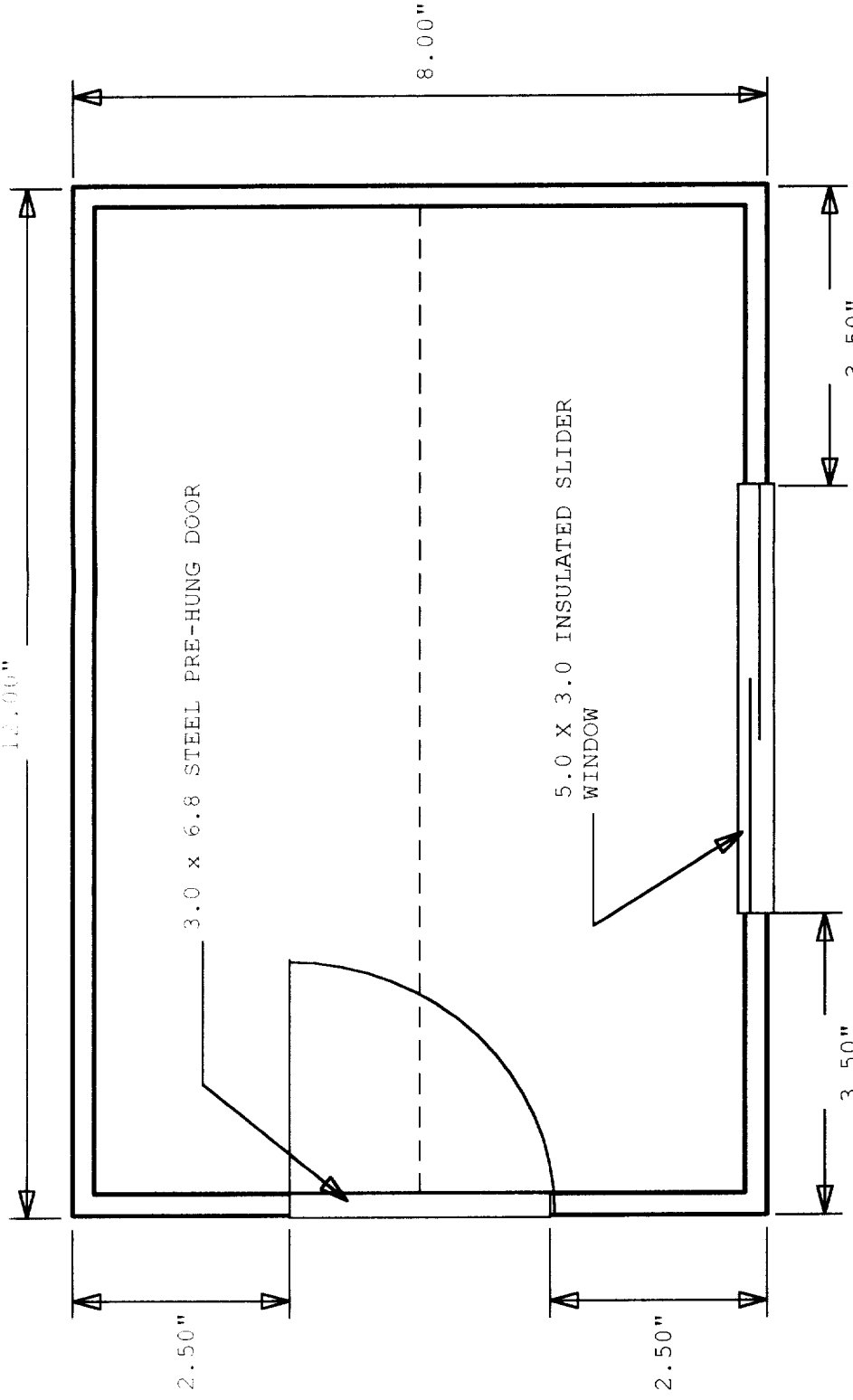
This approval does not authorize the building not complying with the Building Code. Before occupying the existing building the applicant must obtain approval from the Building Inspection Division.

CITY PLANNING COMMISSION

Shauna Asbury
4625 Q STREET
SACRAMENTO, CA 95819



Shirley Asbury
4625 O STREET
SACRAMENTO, CA 95819



**8' X 12' RANCH STYLE
GARDEN SHED**

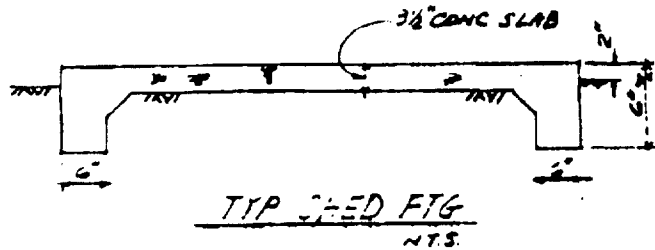
*SHARON ARBURY
4625 G STREET
SACRAMENTO, CA 95819*

CITY OF SACRAMENTO
DEPARTMENT OF PLANNING AND DEVELOPMENT
BUILDING INSPECTIONS DIVISION

REQUIREMENTS FOR SHED FOUNDATIONS

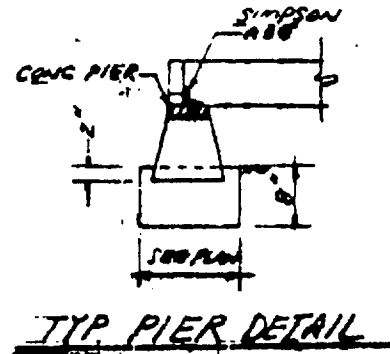
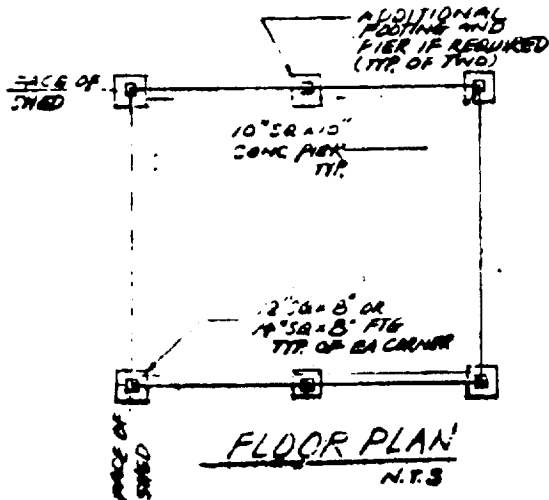
A. For sheds 64 sq. ft. to 119 sq. ft.:

1. 3 1/2" concrete slab with 6" x 6" perimeter footing.



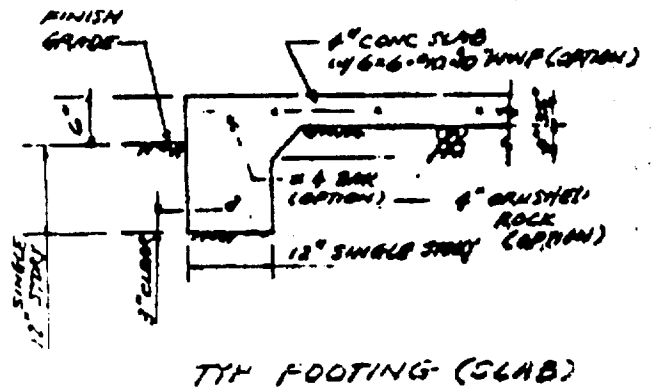
or

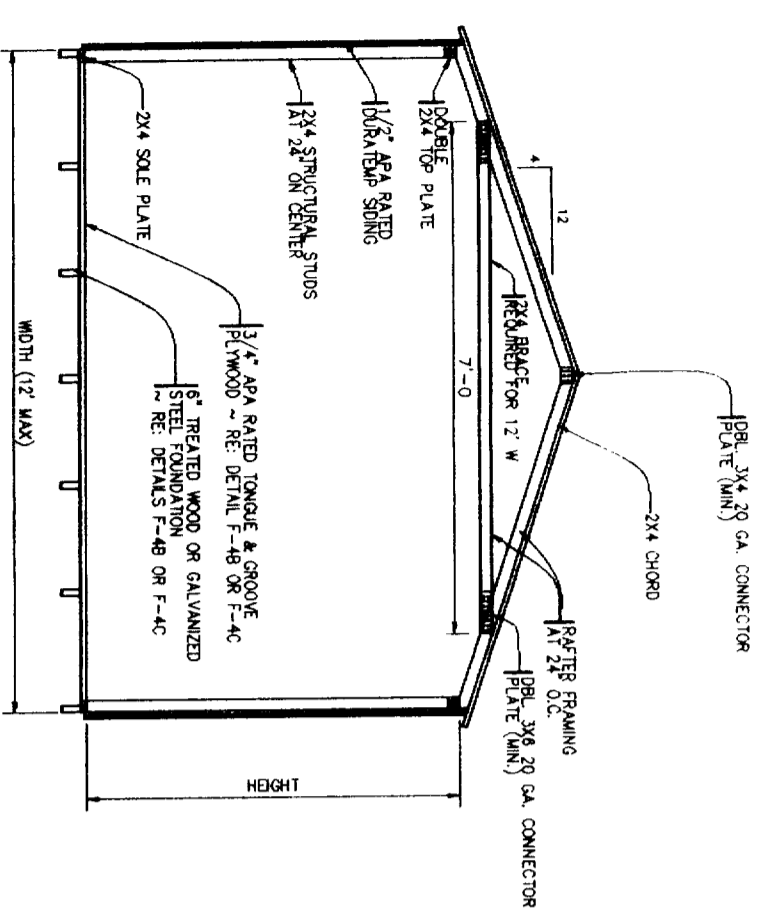
2. 10" x 10" x 10" Concrete piers with corner piers set on 12" x 12" x 8" footings.



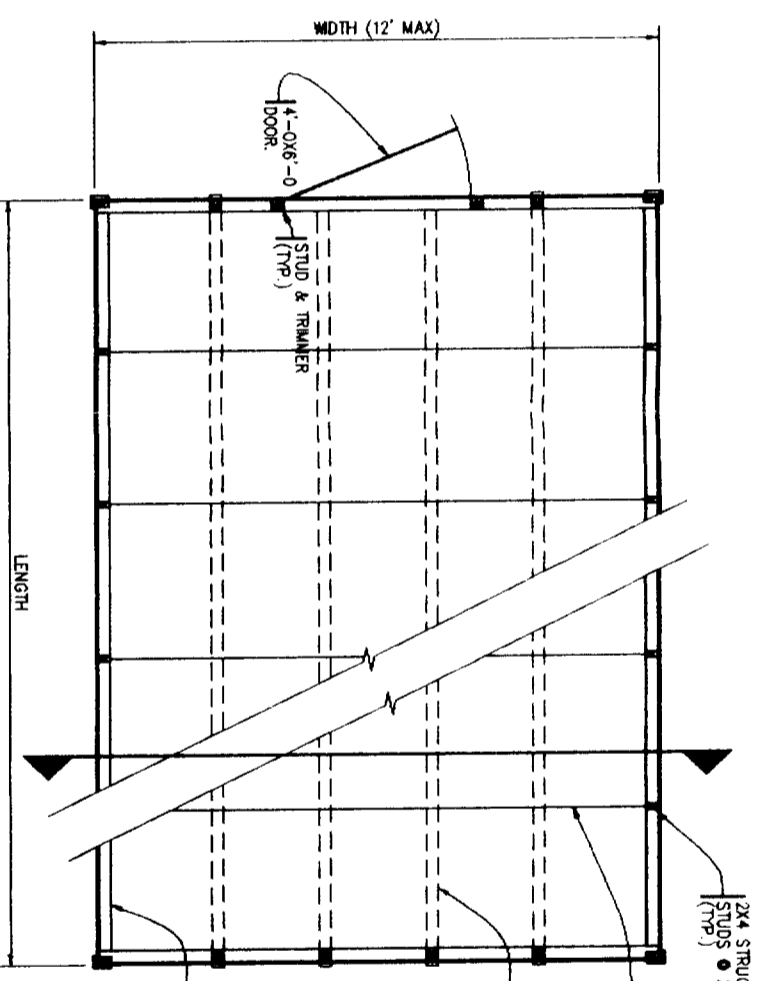
B. For sheds 120 sq. ft. and larger:

1. 4" concrete slab with standard perimeter footing.





3 CROSS SECTION
N.T.S.

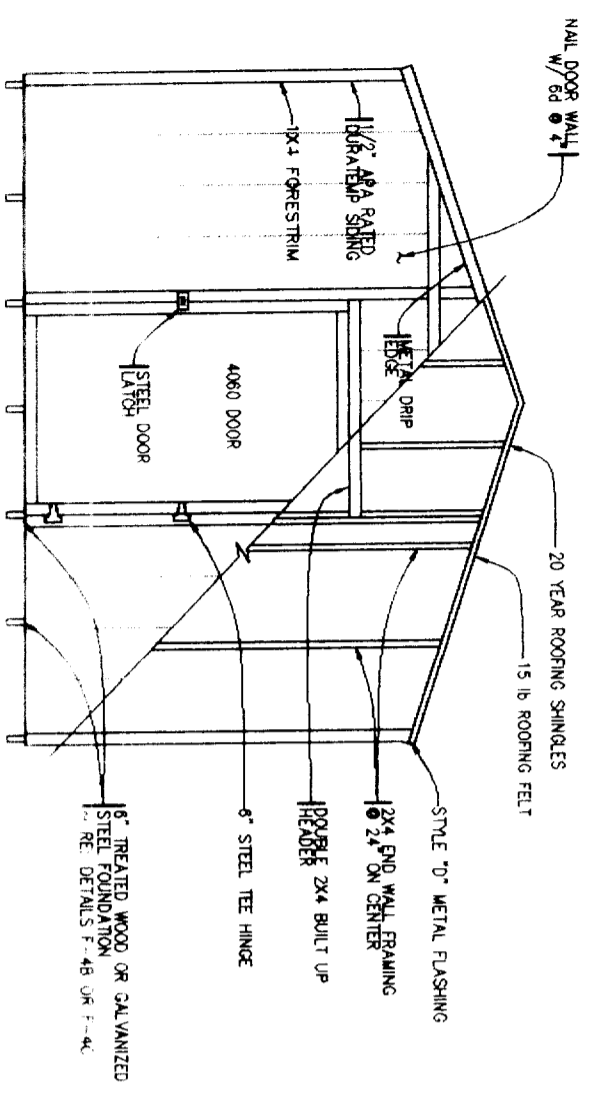


1 FLOOR PLAN
N.T.S.

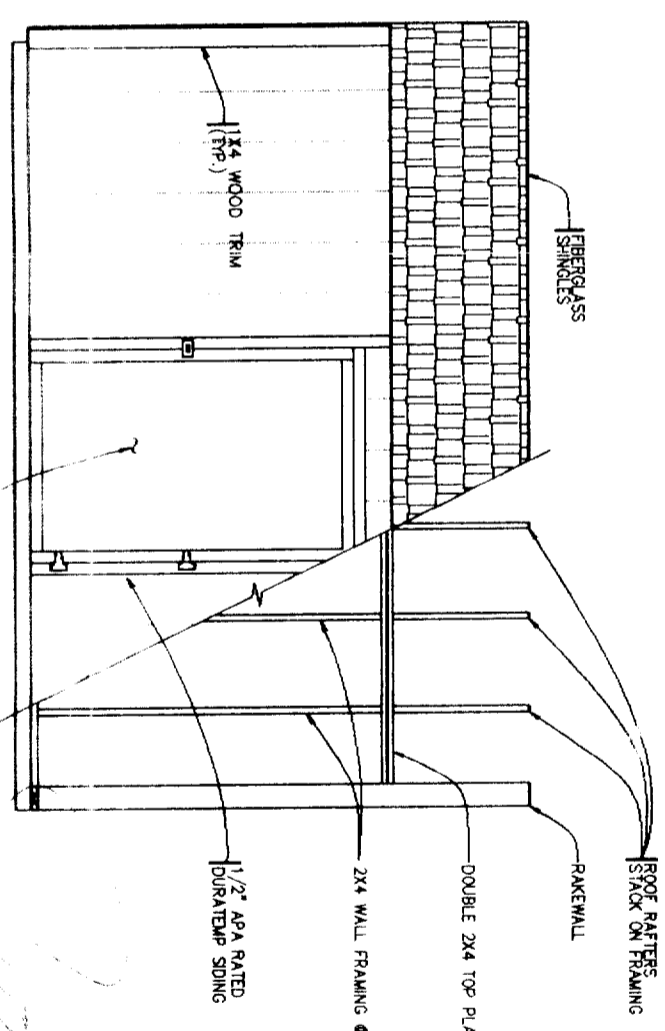
NOTES: 1. PROVIDE RAIN GUTTERS AND DOWNSPOUTS FOR UNITS 3400 FT²

DESIGN SCHEDULE	
BUILDING ADDRESS:	_____
BUILDING SIZE:	_____
WIDTH:	_____
LENGTH:	_____
HEIGHT:	_____
ROOF LIVE LOAD:	40 PSF
DESIGN WINDLOAD:	85 MAX. EXP. B
ROOF PITCH:	_____
DETAIL SHEETS REQUIRED:	_____

ROOF SHEATHING SCHEDULE
APA STRUCTURAL 1 OR II
PANEL THICKNESS = 15/32"
SPAN RATING 24/16
LONG DIM. PERPENDICULAR TO FRAMING



4 FRONT ELEVATION
N.T.S.



2 SIDE ELEVATION
N.T.S.

- LIVE LOADS: RE. SCHEDULE
- ALL CONSTRUCTION TO BE PER 1997 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
 - ALL FRAMING MEMBERS SHALL BE HEM-FIR No. 2 GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES (U.O.N.)
Ft = 425 PSI
Fv = 70 PSI
Ec = 1,400,000 PSI
E = 1,400,000 PSI
- ROOFING
 - 20 YEAR FIBERGLASS SHINGLES
 - 15 LB ROOFING FELT
 - TYPE D METAL FLASHING AND DRIP EDGES REQUIRED. ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
- GENERAL
 - ERECTOR PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
 - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
 - IF UNIT IS PLACED WITHIN 3 FT. OF PROPERTY LINE, A 1 HR. FIRE WALL WILL BE REQUIRED.
 - RAIN GUTTERS ARE REQ'D FOR ALL UNITS LARGER THAN 400 SQ FT.
 - NAIL SCHEDULE TO BE PER 1997 UBC.

TITLE: 'RANCH' STYLE UNIT		PROJECT NO: 2585
DRAWN BY: TUFF SHED, INC.		DATE: 10/2/98
1777 S HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		CHECKED BY: JD
RICHARD WEINGARDI CONSULTANTS		REF. DWG: SHED-5