

P94-058 - FAITH TABERNACLE CHURCH

REQUEST: Special Permit Modification Extension for three years to construct a multi-purpose center for an existing church on 2.79± partially developed acres in the Multi-family (R-2B) zone.

LOCATION: 2910 Rio Linda Blvd.
265-0161-001; 265-0111-066-069
North Sacramento
Grant Joint Union School District
Council District 2

APPLICANT:	Eugene Paden, 925-3696 2915 Rio Linda Blvd. Sacto, CA 95815
OWNER:	Faith Tabernacle Church 2911 Rio Linda Blvd. Sacto, CA 95815
PLANS BY:	Chris Oliveira & Assoc., 608 Sutter St. Folsom, CA 95630
APPLICATION FILED:	5-24-94
STAFF CONTACT:	Bridgette Williams, 264-5000

SUMMARY/RECOMMENDATION:

On June 11, 1992, the City Planning Commission approved a Special Permit Modification (P92-044) to construct a two-story, 11,200 square foot multi-purpose center for Faith Tabernacle Church. A Lot Line Adjustment was also approved to merge five lots into one lot for the new multi-purpose center. The Special Permit Modification entitlement is effective for a two year period from the date of original approval. The Lot Line Adjustment has no term period. The applicant is, therefore, requesting a three year time extension of the Special Permit Modification prior to its expiration. The applicant is requesting this extension in order to obtain funding to build the center and resolve a possible property line dispute. The Special Permit Modification Extension will expire on June 11, 1997, provided that the extension is granted. The staff report for P92-044 is attached.

BACKGROUND INFORMATION:

The subject property consists of five parcels on 2.79± partially developed acres and is zoned Multi-family Residential (11-21 du/na). A portion of the property contains Faith Tabernacle Church. The five parcels merged will contain a total of 74 parking spaces for a congregation of 175 people. The 74 parking spaces satisfies the City's parking requirement for a church (1 space per 4 seats). Staff determined that the 74 parking spaces with the multi-purpose center will be sufficient for both uses. The multi-purpose center will not be used simultaneously with the church. The multi-purpose facility will be used for classrooms and by the church's youth groups for crafts and other youth related activities.

The General Plan and the North Sacramento Community Plan designate the site for Medium Density Residential (16-29 du/na) and Residential (11-21 du/na), respectively. Churches and multi-purpose centers affiliated with the church are allowed in this zone with a Special Permit. The church has been operating on the site over 40 years. Because the church use operated on the facility prior to the Special Permit requirement, any expansions, changes, improvements and/or new structures affiliated with the church requires a Special Permit Modification.

The City's Zoning Ordinance allows Special Permit Modification (if applicable) time extensions up to a period of three years beyond the original approval of two years. Therefore, this Time Extension extends the expiration date to five year(s) from the date of the approval. As previously noted above, the three year time extension will extend the Special Permit Modification until June 11, 1997.

PROJECT REVIEW PROCESS:**A. Environmental Determination**

A Negative Declaration was prepared and ratified for the original approved Special Permit Modification (P92-044). The proposed Time Extension must comply with the mandatory mitigation measures included in the original Negative Declaration.

B. Neighborhood Comments

No comments were received from the property owners notified of the proposal. There is no neighborhood association within this area.

C. Summary of Agency Comments

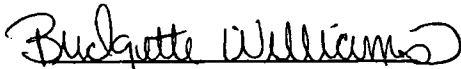
The previously approved Special Permit (P92-044) was reviewed by Traffic Engineering, Engineering Development Services, Building Inspection, Fire and Police. All previous conditions shall comply in addition to the new conditions identified in the attached resolution.

PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny the Special Permit Modification Time Extension. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION: Staff recommends the Planning Commission adopt the attached resolution which approves the Three Year Time Extension subject to the originally approved conditions for P92-044 and new conditions in the attached resolution.

Report Prepared By,

Report Reviewed By,



Bridgette Williams
Associate Planner

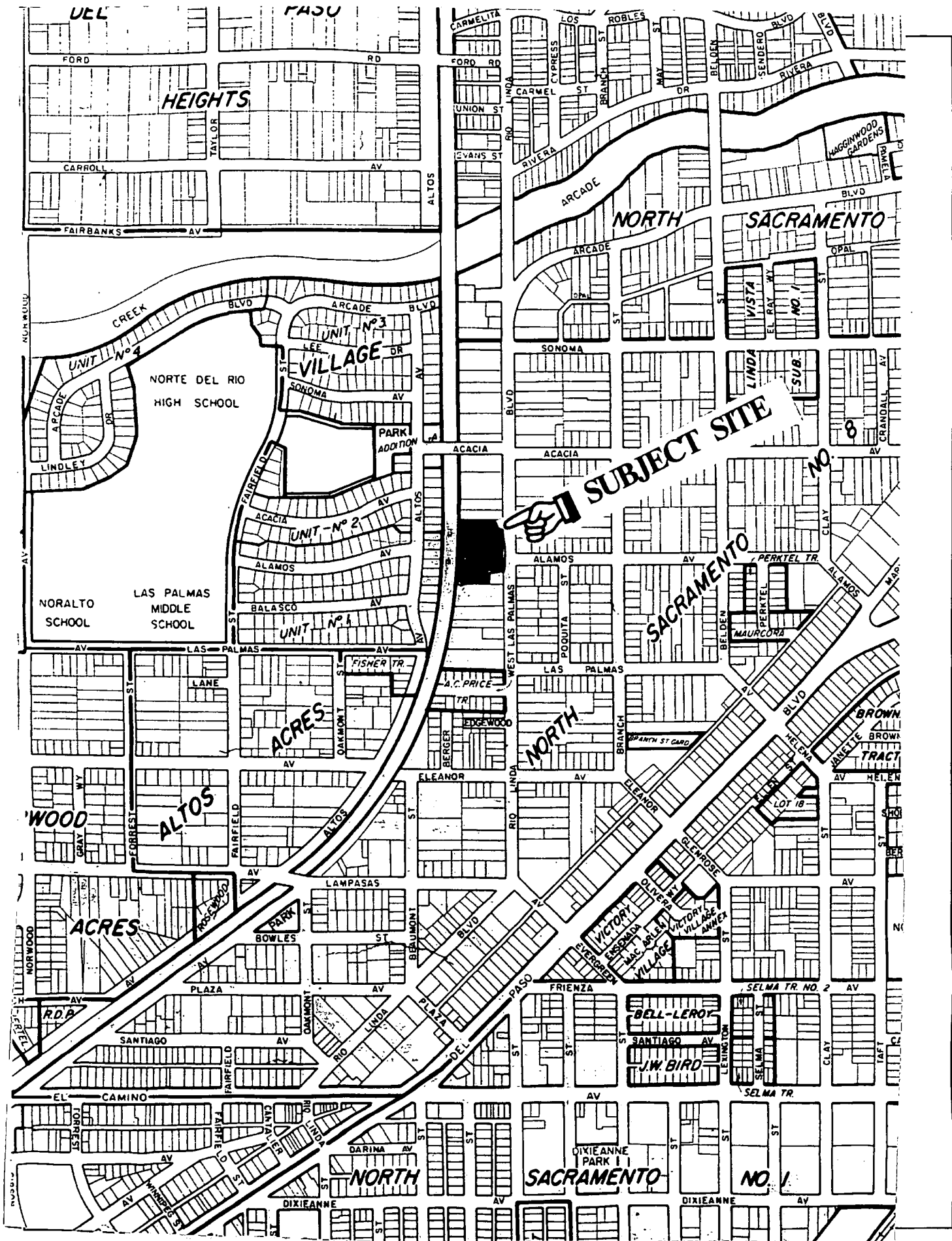


Scot Mende
Senior Planner

Attachments

Attachment A
Attachment B
Attachment C
Exhibit C-1
Exhibit C-2
Exhibit C-3
Exhibit C-4

Vicinity Map
Land Use and Zoning Map
Resolution approving Time Extension
Site Plan
Elevations
Floor Plans
Original Staff Report (P92-044)



VICINITY MAP

EXHIBIT - 1 SITE PLAN

TREE PLANTING SCHEDULE			
SYMBOL	BOTANICAL NAME	COTTON NAME	HEIGHT / SPREAD
	PERSEA CAROLINA	CHERRY PINE	8' GAL / 3'
	PAVIA BLENCHIDA	POINCIAN TREE	8' GAL / 3'
	ACER RUBRUM	RED MAPLE	8' GAL / 4'
	ACER PALMATA	JAPANESE MAPLE	8' GAL / 3'
		EXISTING TREE	

PARALLEL PROVIDED FOR 10' FULL SIZE STALLS

CHRIS OLIVEIRA and ASSOCIATES
609 BUTTER STREET
TOLSON, CALIFORNIA 94260
(916) 951-1071 E.C.E. 53407

A SPECIAL PERMIT APPLICATION FOR
FAITH TABERNACLE CHURCH
SITE NO. LINDA CALLE, TOLSON, CALIFORNIA

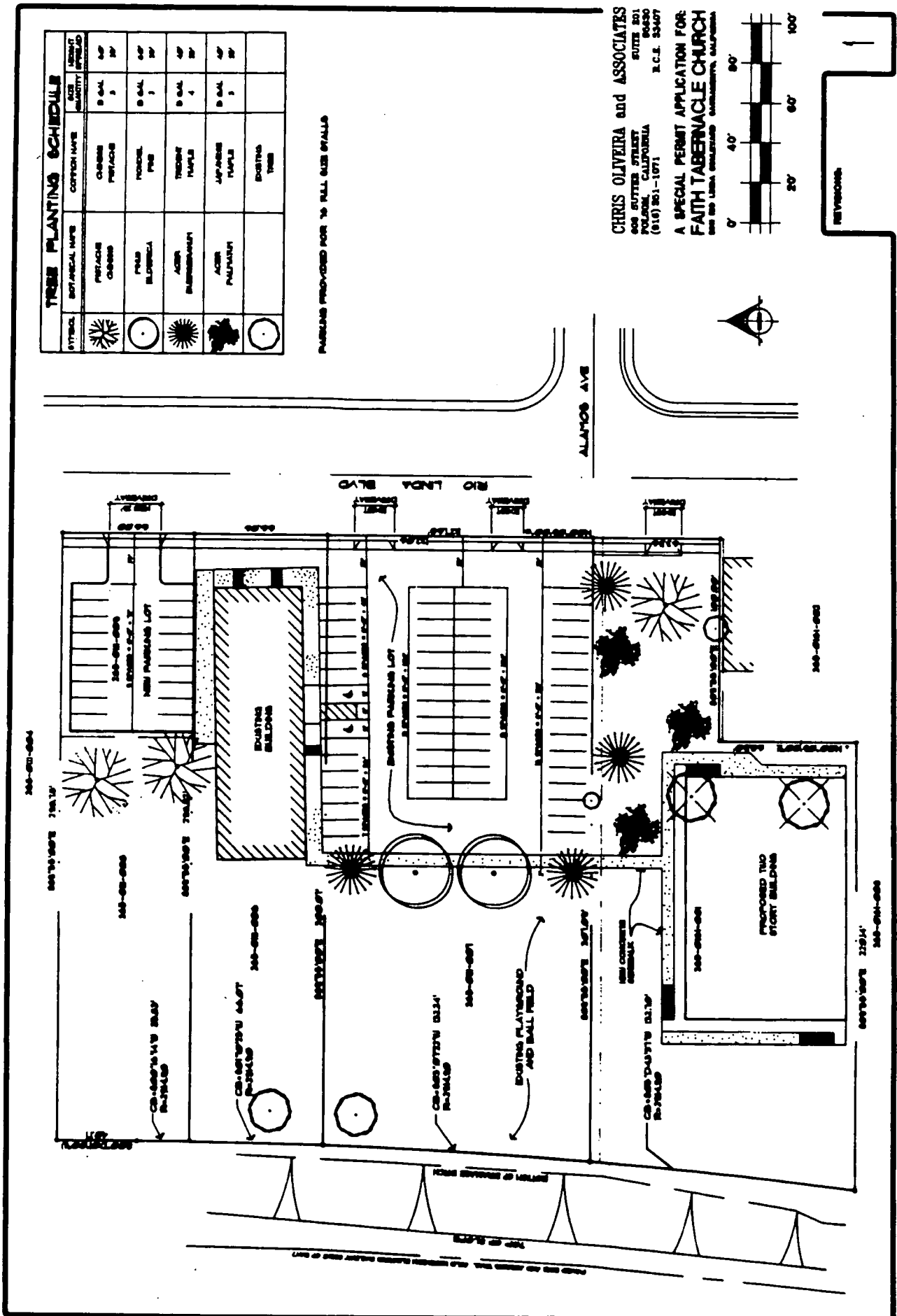
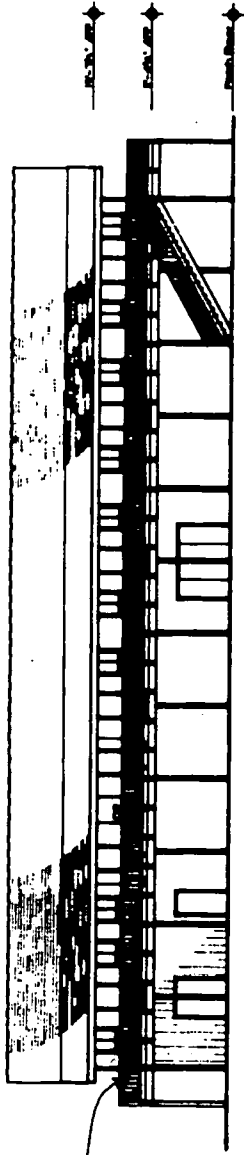


EXHIBIT - ELEVATIONS

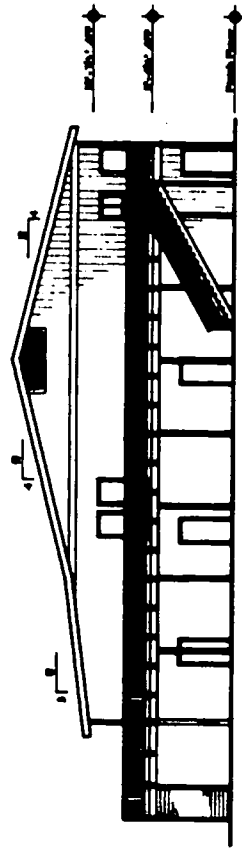


NORTH ELEVATION

Scale: 1/4" = 1'-0"

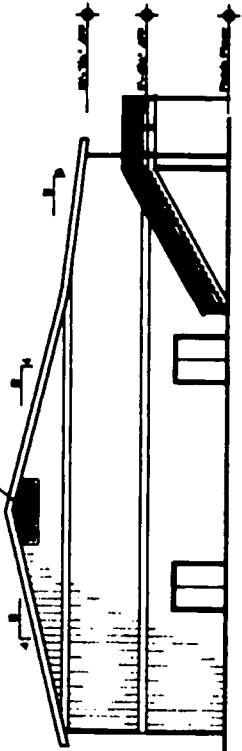
WOOD RAILING AND BALCONY

AS SHOWN ON LOWER TYPICAL



WEST ELEVATION

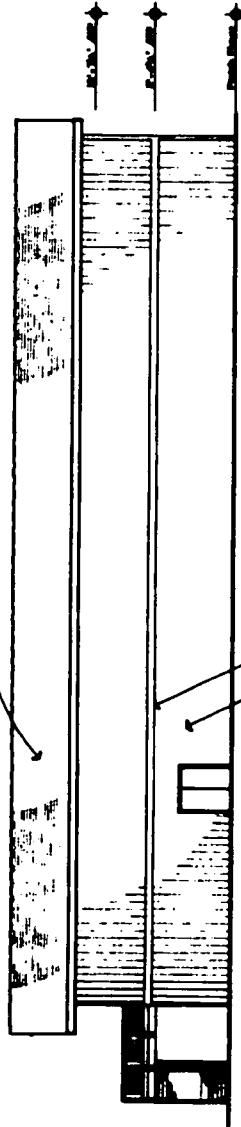
Scale: 1/4" = 1'-0"



EAST ELEVATION

Scale: 1/4" = 1'-0"

COMPOSITION SIMILAR, TYPICAL



SOUTH ELEVATION

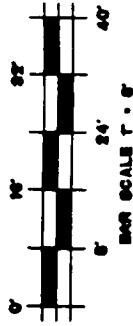
Scale: 1/4" = 1'-0"

2" x 8" CONTINUOUS WOOD BAND

1" x 4" PLYWOOD GROSS, TYPICAL

CHRIS OLIVEIRA and ASSOCIATES
688 SUTTER STREET SUITE 201
FOLBROOK, CALIFORNIA
(415) 351-1071 E.C.E. 3307

A SPECIAL PERMIT APPLICATION FOR
FAITH TABERNACLE CHURCH
FOR THE LEASE OF THE CHURCH BUILDING

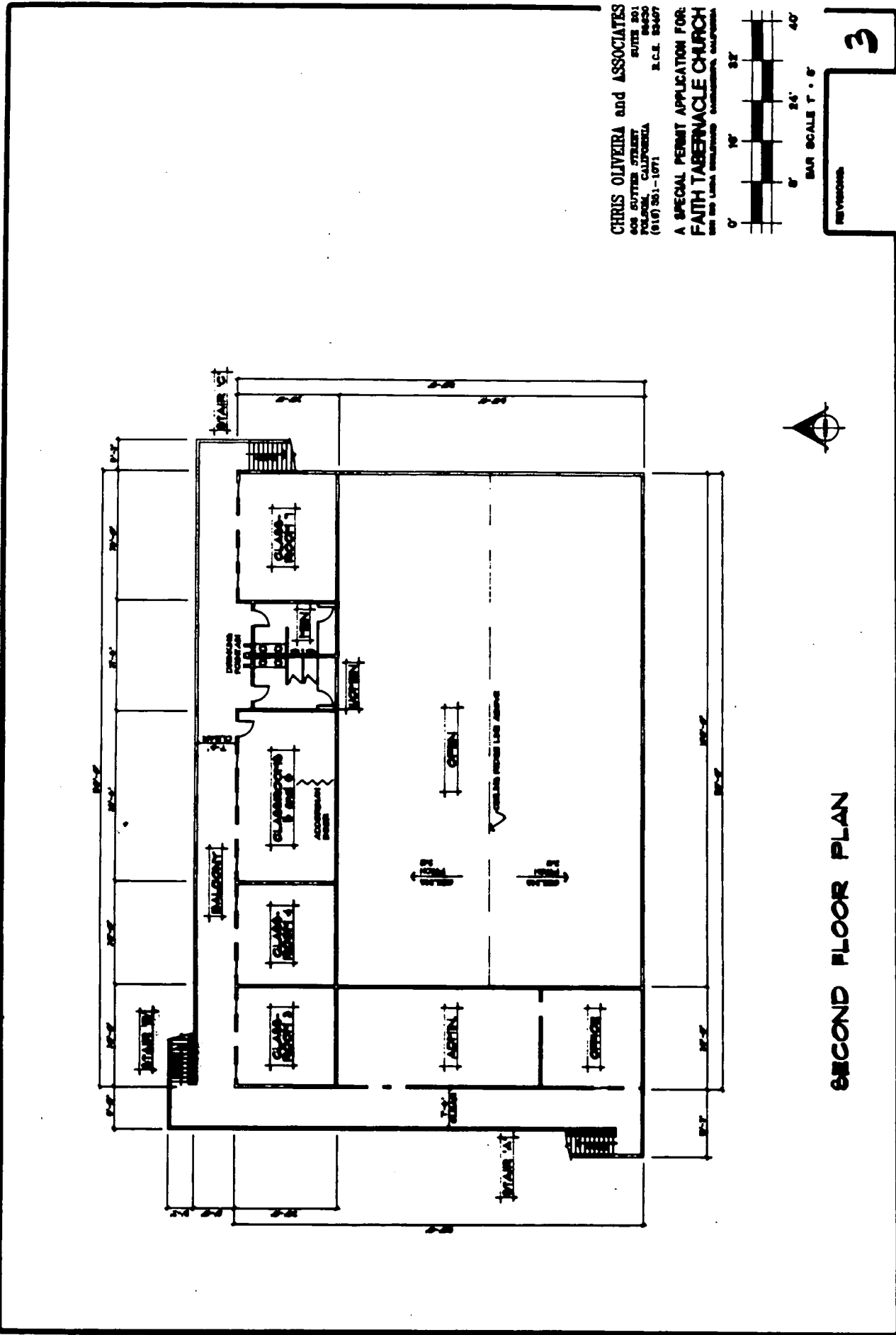
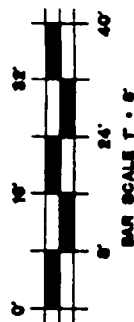


REVISIONS

4

CHRIS OLIVEIRA and ASSOCIATES
 608 SUTTER STREET SUITE 201
 POLARIS, CALIFORNIA 94550
 (916) 531-1071 R.C.E. 12407

**A SPECIAL PERMIT APPLICATION FOR
 FAITH TABERNACLE CHURCH**
 1000 10th Street, San Francisco, California



92 044

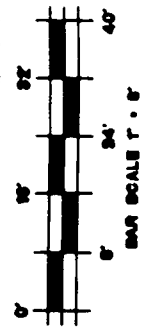
Jessie ...

Plan #15.6

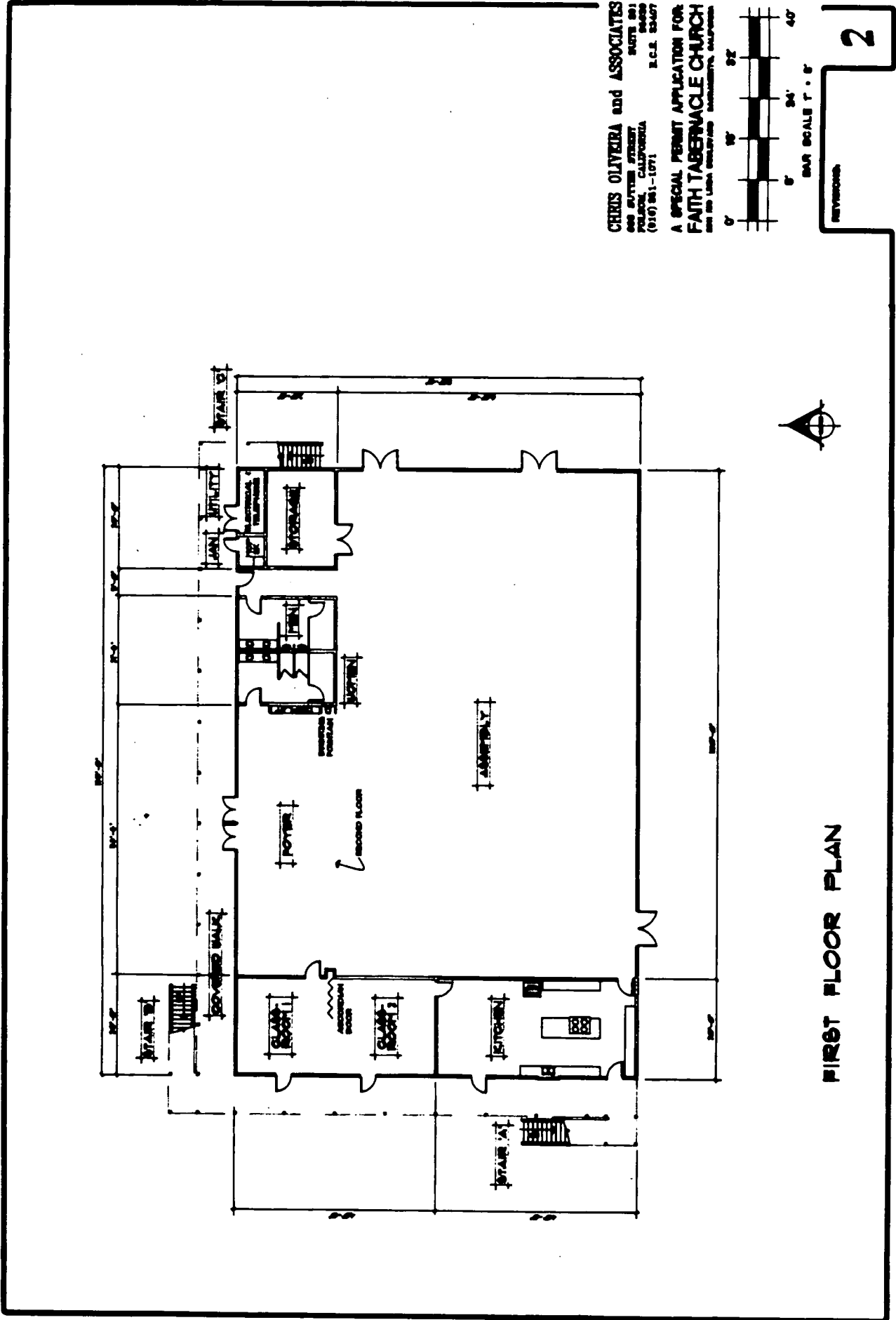
EXHIBIT - FLOOR PLANS

CHRIS OLIVEIRA and ASSOCIATES
 688 AVENUE STREET SUITE 801
 PALMDALE, CALIFORNIA 93550
 (916) 831-1071 R.C.E. 83407

A SPECIAL PERMIT APPLICATION FOR
 FAITH TABERNACLE CHURCH
 1000 W. LINDA AVENUE PALMDALE, CALIFORNIA



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FIRST FLOOR PLAN

Handwritten notes:
 10/12/03
 Plan #15

CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT: Chris Oliverira, 608 Sutter Street, Suite 201, Folsom, CA 95630
OWNER: Faith Tabernacle Church, 2911 Rio Linda Blvd, Sacramento, CA 95815
PLANS BY: Donald Celli and Associates, 9960 Business Park Drive, Suite 140, Sacto, CA 95827
FILING DATE: February 14, 1992 ENVIR DFT: Neg Dec REPORT BY: Doug Holmen
ASSESSOR'S PCL. NO. 265-0161-001; 265-0111-066-069

- APPLICATION:**
- A. Negative Declaration
 - B. Mitigation Monitoring Plan
 - C. Special Permit Modification to construct a multipurpose center onto an existing church on 2.79 partially developed acres in the Multi-family (R-2B) zone.
 - D. Lot Line Adjustment to merge 5 existing lots consisting of 2.79 acres in the Multi-family Residential(R-2B) zone into one lot.

LOCATION: 2910 Rio Linda Blvd.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a multipurpose center for use evenings during the week as a community center to provide an outreach service to the local neighborhood youth and to combine five existing lots into one lot.

PROJECT INFORMATION:

General Plan Designation: Medium Density Residential (16- 29 du/na)
North Sacramento Community
Plan Designation: Residential (11- 21 du.na.)
Existing Zoning of Site: Multi-family Residential (R-2B)
Existing Land Use of Site: Church
Surrounding Land Use and Zoning:

North: Single family residence, R-2B
South: Towing service, R-2B
East: Printing facility, C-2, R-2B
West: Single family residential beyond bike trail and open space, R-1, R-2B

Parking Required: 44 parking spaces
Parking Provided: 64 existing spaces, an additional 18 spaces is proposed for total of 73 spaces
Property Dimensions: 307' x 307'
Property Area: 2.79 acres
Height of Building: Two stories
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Vertical grooved plywood siding
Roof Material: Composition

PROJECT EVALUATION:

A. Land Use and Zoning

The subject site consists of five separate parcels totaling 2.79 acres on which is located an existing church (which has been in existence for over 40 years) with a congregation of 175 people. The existing building coverage on the site is approximately 17,000 square feet. There are presently 55 parking spaces for the 175 seats. This is well within the parking requirement of one space for every four seats. To the north of the site is single family residences. To the south is an auto towing facility (IR 9698). Across Rio Linda Blvd. to the east is a large printing facility. To the west is the old electric railroad ROW which is now a bike path and single family residential beyond. The zoning for the site is Multi-family Residential (R-2B). The General Plan and North Sacramento Community Plan designate the site for residential uses.

B. Applicant's Proposal

The applicant is requesting the necessary entitlements to construct a two story multipurpose facility which will be used as church classrooms and by the church's youth groups for crafts and other youth oriented activities. The facility is not being developed to increase the church's membership. The church is also requesting a lot line adjustment to merge five lots into one lot.

C. Policy Considerations

Churches are allowed in any zoning district with a Special Permit. In cases where the church was in existence before the Special Permit requirement was adopted or if it was annexed into the city, the church would only need to obtain a Special Permit Modification before it can make changes or improvements. This is such a case. The subject church was in existence before North Sacramento was annexed into the City of Sacramento.

D. Staff Analysis

The existing church has a congregation of 175 people. Parking is provided on site for 64 automobiles. The required number of spaces is 44. The church proposes to add nine spaces to an existing unpaved parking lot for nine automobiles for a total of eighteen spaces at the north property line and in front of the parish. The total number of parking spaces on the entire site would be 74 spaces. Church services are from 9:45 to 12:00 p.m. and from 6:00 p.m. to 7:00 p.m. on Sundays, and from 7:00 p.m. to 8:00 p.m. on Wednesdays. The evening time on Wednesdays is for the youth groups. There is a single family residence to the north of the church site. A masonry wall is needed to separate the church from the single family residence.

The church is proposing to construct a multipurpose center which would consist of 11,200 sq. ft. in a two story high structure. The first floor would consist of an assembly area open to the second floor ceiling, two classrooms, restrooms, kitchen and storage area. The second floor would contain seven classrooms, restrooms, and administrative offices.

The proposed multipurpose building would be constructed of vertical grooved plywood siding with composition shingles. The church has a stucco finish on the outside. In order for to have a similar look among the buildings in the complex, the multipurpose building should also have a stucco finish, similar trim features as the main church facility and similar roof treatment. The roof pitch of the multipurpose building should be the same as the roof pitch on the church building. The color of the structures, including the color of the trim should be the same on each building.

At present, a parking area on the north side of the property is being used to park approximately nine automobiles. The area is unpaved. The applicant is proposing to add an additional nine spaces and has stated that the entire lot would be paved. The proposed parking area for eighteen automobiles does not show the required fifty percent landscaping.

The church is also seeking a lot line adjustment to merge five lots which constitute the church site into one lot.

E. Agency Comments

The applicant's proposal has been routed to the City's Transportation Engineer and Engineering Development Divisions. The Engineering Development Division submitted the following comments:

Special Permit:

1. Dedicate R/W on Rio Linda Blvd. to 40' half street (additional 10' required).
2. Setback to new parking lot should be measured from the required R/W line 40' west of centerline.
3. Eliminate driveway south of Alamos Ave. and reconstruct curb gutter and sidewalk.
4. On site grading, paving and drainage shall be approved by Public Works prior to issuance of a Building Permit.

Lot Line Adjustment

1. File a Certificate of Compliance, submit all required documents according to the submitted requirements checklist, and pay necessary fees.
2. File a waiver of Parcel Map.
3. Properly abandon any excess water services to the satisfaction of the Water Division (one service per lot is permitted.)
4. Notice: Property to be merged in accordance with this certificate of compliance may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Public Works Department, Development Services, Room 100, 927 10th Street.

ENVIRONMENTAL DETERMINATION: The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B) 1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects will occur. A Mitigation Monitoring Plan has been developed and is attached as Exhibit E.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Mitigation Monitoring Program by adopting the attached resolution.
- C. Approve the Special Permit to allow the church additions (multipurpose room and parking) subject to conditions and based upon findings of fact which follow.
- D. Approve the Lot Line Adjustment by adopting the attached resolution.

Conditions- Special Permit

1. The project shall comply with the Negative Declaration mitigation measures.
2. Dedicate R/W on Rio Linda Blvd. to 40' half street (additional 10' required) prior to issuance of building permit.
3. Setback to new parking lot should be measured from the required R/W line 40' west of centerline.
4. Revised site plan shall indicate elimination of driveway south of Alamos Ave. and reconstruction of curb gutter and sidewalk.
5. On site grading, paving and drainage shall be approved by Public Works prior to issuance of a Building Permit.
6. The applicant shall install a six foot high decorative masonry wall long the north property line between the church and the single family dwelling to the north. The design and materials of the wall shall be subject to Planning Director review and approval prior to issuance of building permits.
7. The applicant shall submit a landscape plan for the proposed nine stall parking lot for Planning Director approval prior to issuance of a building permit.
8. The multipurpose building shall have a stucco exterior and trim to match the stucco exterior of the church. The roof pitch of the multipurpose building shall be the same as the roof pitch on the church building. The color of the structures, including the color of the trim should be the same on each building. These conditions shall be reviewed by Planning staff prior to issuance of building permits.
9. With the exception of yearly church holiday occasions and occasional church seminars, the church hours shall be from 9:00 a.m. to 1:00 p.m. and from 5:00 p.m. to 8:00 p.m. on Sundays and from 6:00 p.m. to 9:00 p.m. on Wednesdays.

Findings of Fact- Special Permit

1. The project, as conditioned, is based upon sound principles of land use in that the church development is compatible with the surrounding commercial and residential uses.
2. The project, as conditioned, will not be detrimental to the public safety or welfare, nor result in the creation of a public nuisance in that adequate parking and landscaping will be provided.
3. The project is consistent with the General Plan which designates the Medium Density Residential (16- 29 du./na).