

CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	M. Harlan Alpha Phi Sorority - 4824 South Land Park Drive, Sacramento 95822		
OWNER	W. White - 3846 H Street, Sacramento, CA 95819		
PLANS BY	M. Harlan Alpha Phi Sorority - 4824 South Land Park Drive, Sacramento 95822		
FILING DATE	9-21-84	50 DAY CPC ACTION DATE	REPORT BY: SC:sg
NEGATIVE DEC. Ex.	15303(a)	EIR	ASSESSOR'S PCL NO. 008-032-06

APPLICATION: Special Permit to establish a sorority in an existing residential structure (Section 2-B-5)

LOCATION: 3846 H Street

PROPOSAL: The applicant is requesting the necessary entitlements to convert a large single family residence into a sorority house.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1963 East Sacramento Community
Plan Designation: Medium Density Multiple Family
Existing Zoning of Site: R-3
Existing Land Use of Site: Single family structure

Surrounding Land Use and Zoning:

North: Single family, multiple family & commercial; R-1 & R-3
South: Care facility & single family residence; R-1
East: Duplex; R-3
West: Multiple family; R-3

Parking Required: Four spaces
Parking Provided: Four spaces
Property Dimensions: 62' x 166'
Property Area: 0.2+ acres
Square Footage of Building: 2,687 sq. ft.
Significant Features of Site: Existing trees
Topography: Flat
Street Improvements: Existing and to be improved
Utilities: Existing

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PROJECT EVALUATION: Staff has the following comments regarding this request:

- A. The subject site is located in the East Sacramento Community Plan area. The property on the south side of the site is developed with a convalescent home and the adjacent properties east and west of the site are developed with multiple family uses. The site is developed with a large single family dwelling which contains five bedrooms. A swimming pool, four car garage and a 40' x 50' concrete court area are located on the south side of the site. The applicant is requesting to utilize the site for a sorority house for 10 members. As proposed, the use will not alter the character of the neighborhood since the site is zoned for multiple family use and the structure and site are well suited for the proposed use.
- B. The applicant submitted the proposal to the east Sacramento Improvement Association and they indicated no objections to the request.

- C. Since it is expected that social gatherings will accompany this use, staff recommends that conditions restricting the number of social activities, persons attending and hours during which these activities take place be imposed. Hours shall be restricted to from 6:00 p.m. - 9:00 p.m. on week days and 10 a.m. to 10 p.m. on weekends. No more than four events shall occur each month and the total occupancy shall be restricted to 25 persons. This will ensure that traffic problems will not result during peak traffic hours and that adjacent residents will not be adversely affected by the proposed use.
- D. The City Traffic Engineer reviewed the applicant's plans and indicated that the existing driveway will need to be replaced with a commercial driveway. The Engineer will require a minimum 24 foot wide driveway at the sidewalk with 20 feet of width maintained for a distance of 25 feet from the sidewalk. At the present time a mature City street tree is located adjacent to the existing driveway on the west side. Staff, therefore, recommends that the additional driveway width be taken from the east side of the drive.
- E. A trash enclosure is located on the far south end of the driveway. It is likely that this enclosure will be eliminated during the driveway widening. Staff recommends that the trash enclosure be relocated and that an enclosed area be provided for the trash containers.
- F. The Building Division has reviewed the applicant's plans and has indicated that use of the structure as proposed must meet the Building Code requirements for R-1 occupancy which is a multiple occupant standard.

ENVIRONMENTAL DETERMINATION: The proposed special permit is exempt from environmental review, pursuant to State CEQA Guidelines (Section 15303(a)).

STAFF RECOMMENDATION: Staff recommends approval of the special permit subject to the following conditions and based upon findings of fact which follow:

Conditions - Special Permit

1. The hours for social activities shall be limited to from 6:00 p.m. to 9:00 p.m. on weekdays and from 10:00 a.m. to 10:00 p.m. on weekends.
2. Social activities shall be restricted to no more than four times a month.
3. The maximum number of persons in attendance at special functions shall be restricted to 25 or maximum permitted by building codes, whichever is the more restrictive.
4. The applicant shall submit a revised site plan for Planning staff's review and approval. The plan shall indicate the following:
 - a. the location of the revised driveway meeting the minimum widths specified by the City Traffic Engineer. The driveway widening shall be accomplished on the east side of the existing driveway. Plans shall be submitted prior to issuance of a driveway permit;
 - b. the location and design of the new trash enclosure.

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5. The applicant shall contact the Building Division to determine the measures necessary to meet required Building Code for the proposed occupancy of this structure.
6. The Planning Director shall inspect the site for compliance prior to occupancy by the sorority and prior to issuance of the special permit.

Findings of Fact - Special Permit

1. The special permit, as conditioned, is based upon sound principles of land use in that:
 - a. the social activities will be restricted to a level that will not adversely affect adjacent residences;
 - b. the project is compatible to other uses in the area which consist of a care home, a retail store and apartments.
2. The special permit, as conditioned, will not be detrimental to the public and will not result in the creation of a nuisance in that adequate parking is available on the site and traffic problems will not result along H Street due to the restricted hours on social activities.
3. The special permit is consistent with the 1974 General Plan and the 1963 East Sacramento Community Plan which designate the site for residential uses.

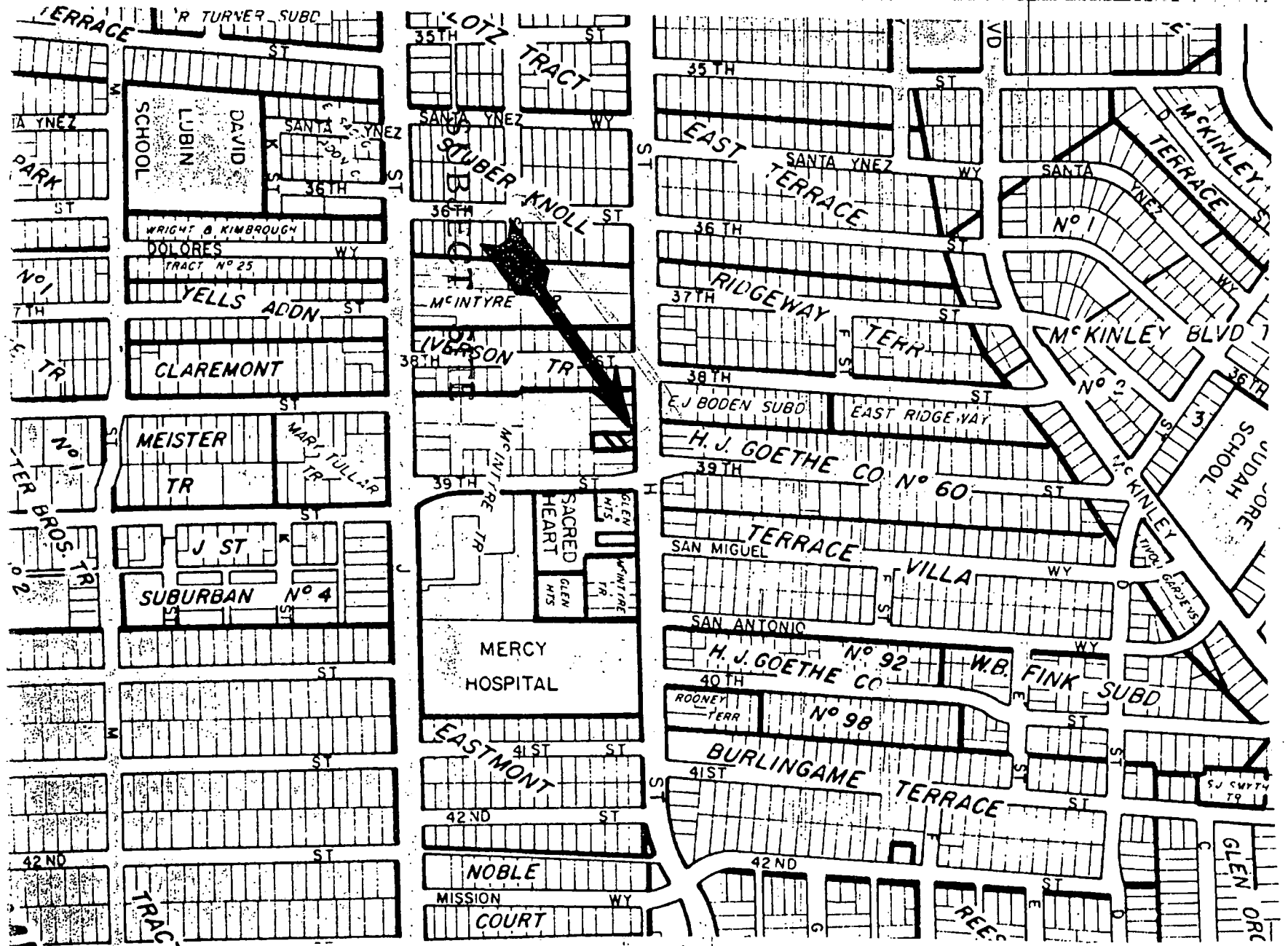
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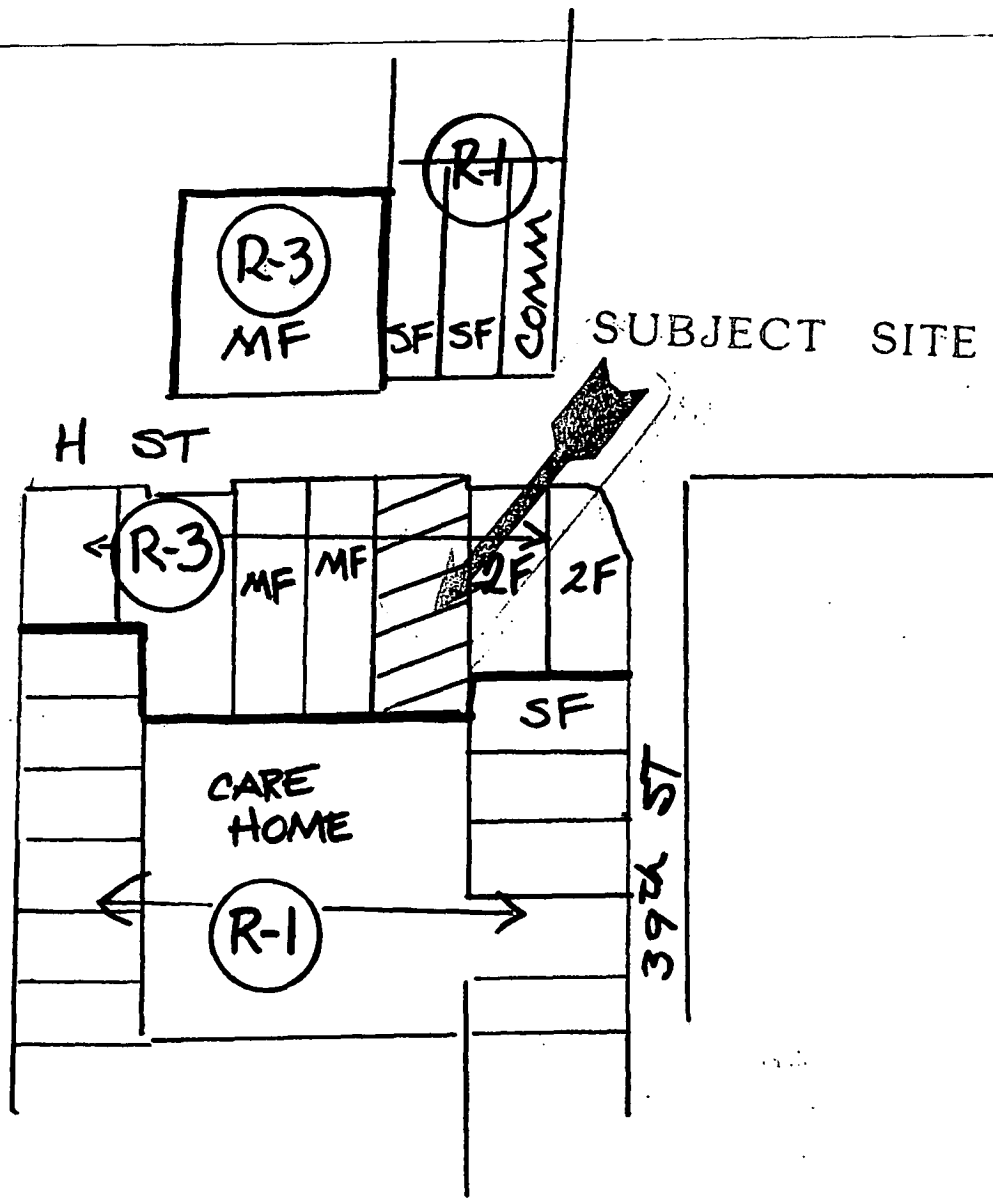
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VICINITY MAP

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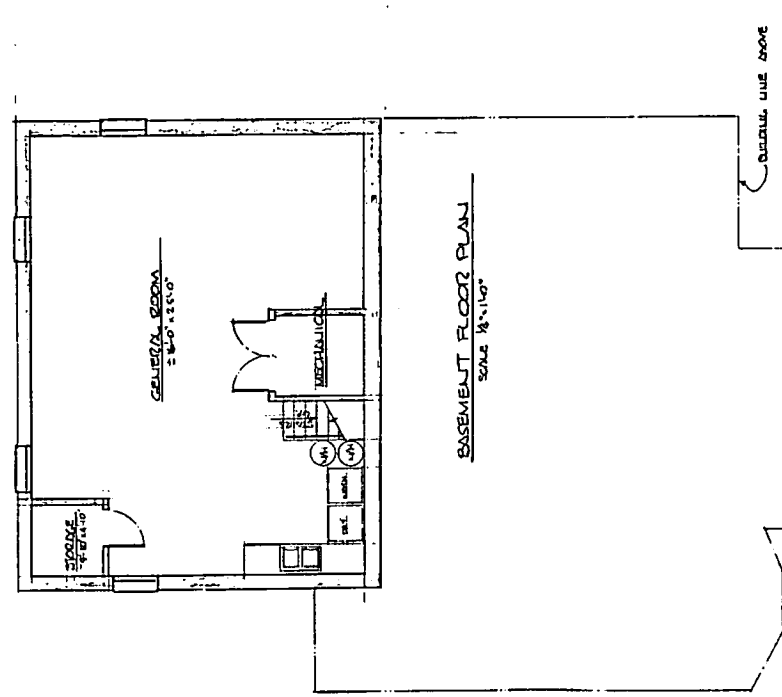
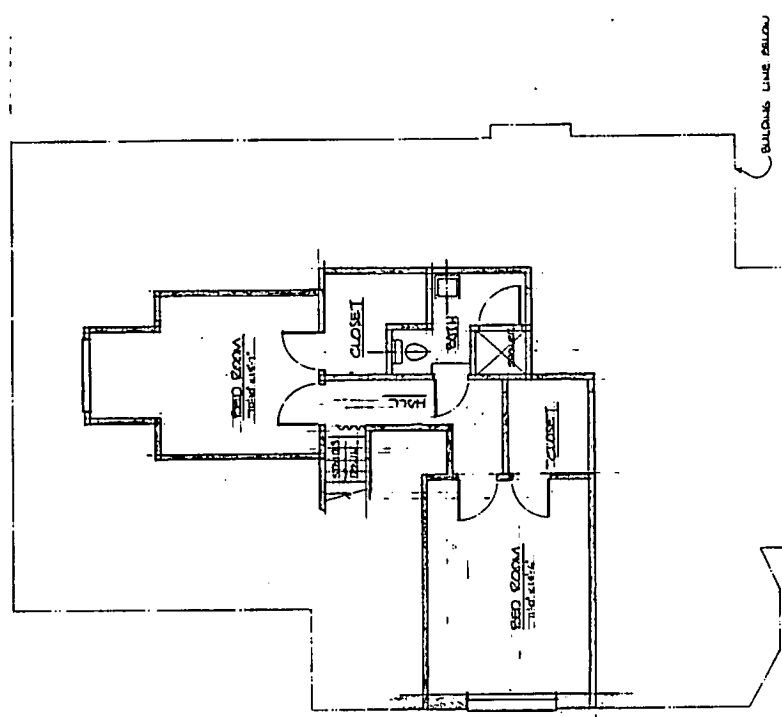
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LAND USE & ZONING MAP

SSE-118



REV.	DESCRIPTION	DATE BY CHK.	REVISIONS

OWNER	ALPHA PII HOUSE
GENERAL CONTRACTOR	ALPHA PII HOUSE
DATE	2/11/84
PROJECT	244 R STREET
SCALE	AS SHOWN
SHEET	EXISTING HOUSE LAYOUT
SHEET 2 OF 4	

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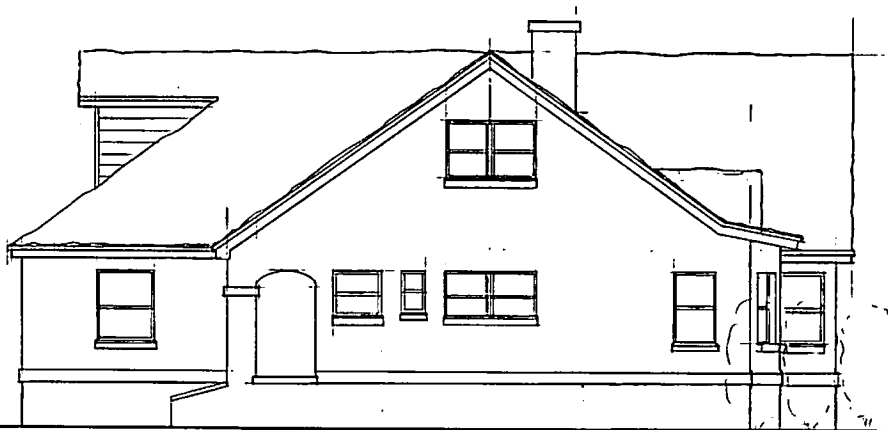
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EAST ELEVATION
SCALE 1/8"=1'-0"



SOUTH ELEVATION
SCALE 1/8"=1'-0"

SCALE 1/8"=1'-0"		GENERAL CONTRACTOR		DESIGNED BY BJA
DATE 9-13-84		CHECKED BY		
PROJECT ALPHA PHI HOUSE		DRAWN BY M		
3846 H STREET		SACRAMENTO, CA		
REV.	DESCRIPTION	DATE	BY	CHECKED BY
	EXISTING HOUSE ELEVATIONS			
REVISIONS				SHEET 4 OF 4

PM-355

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NORTH ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION
SCALE 1/8"=1'-0"

10-25-84

RD

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		SCALE SHEET NO. 1		GENERAL CONTRACTOR		DRAWN BY: PJA	
		DATE: 9-13-84		PROJECT: ALPHAPHI HOUSE		SACRAMENTO	
		3414 H STREET		EXISTING HOUSE ELEVATIONS		SHEET 3 of 4	
REV	DESCRIPTION	DATE	BY	CHK			
REVISIONS							