



# CITY OF SACRAMENTO

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CITY PLANNING DEPARTMENT  
927 TENTH STREET  
SUITE 300  
SACRAMENTO, CA 95814  
TELEPHONE (916) 449-5604

MARTY VAN DUYN  
PLANNING DIRECTOR

November 29, 1983

City Council  
Sacramento, California

APPROVED  
BY THE CITY COUNCIL

DEC 6 1983

OFFICE OF THE  
CITY CLERK

Honorable Members in Session:

SUBJECT: 1. Environmental Determination (Exempt 15103(b) and 15115)  
2. Tentative Map (P83-322) (APN: 007-253-12)

LOCATION: 2227 O Street

## SUMMARY

This is a request for the entitlements necessary to develop two halfplex units on a 40' x 80' lot located in the Central City. The staff and Planning Commission recommend approval of the Tentative Map subject to conditions. The Commission also approved a Special Permit to allow the halfplex development.

## BACKGROUND INFORMATION

The subject site is a 40' x 80' lot located in the R-3A zone. A duplex is currently under construction. The applicant is requesting the entitlements necessary for individual ownership of each unit.

The request is in conformance with the 1980 Central City Plan and the 1976 General Plan which designate the site for residential uses. The proposed halfplex is also compatible with other residential structures in the area.

The project is exempt from environmental review under State E.I.R. Guidelines (CEQA, Section 15103(b) and 15115).

## VOTE OF THE PLANNING COMMISSION

On October 27, 1983, the Planning Commission, by a vote of six ayes, three absent, recommended approval of the project subject to conditions.

City Council

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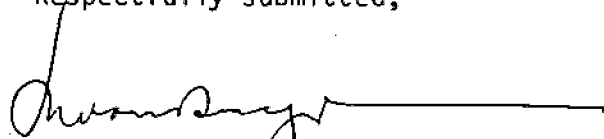
November 29, 1983

RECOMMENDATION

The staff and Planning Commission recommend approval of the project by:

Adopting the attached Resolution adopting Findings of Fact and approving the Tentative Map subject to Conditions.

Respectfully submitted,

  
Marty Van Duyn  
Planning Director

FOR CITY COUNCIL INFORMATION  
WALTER J. SLIPE  
CITY MANAGER

SD:lao  
Attachment  
P83-322  
wp 1A

December 6, 1983  
District No. 4



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# RESOLUTION NO. 83-966

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING  
A TENTATIVE MAP FOR PROPERTY LOCATED AT 2227 O  
STREET

(P-83-322)(APN: 007-253-12)

WHEREAS, the City Council, on December 6, 1983, held a public hearing  
on the request for approval of a tentative map for property located at 2227  
O Street;

WHEREAS, all governmental and utility agencies affected by the development of the  
proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed  
project is exempt from environmental determination pursuant to CEQA, Section  
15103(b) and 15115.

WHEREAS, the City Planning Commission has submitted to the City Council its  
report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in  
relation to feasible future passive or natural heating and cooling opportunities;  
and

WHEREAS, the City Council has considered the effects that approval of the proposed  
subdivision would have on the housing needs of the Sacramento Metropolitan area  
and balances these needs against the public service needs of City residents and  
available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. None of the conditions described in Government Code Section 66474,  
subsections (a) through (g) inclusive, exist with respect to the proposed  
subdivision.
2. The proposed subdivision, together with the provisions for its design and  
improvement, is consistent with the City General Plan, and Chapter 40 of the  
City Code, which is a Specific Plan of the City. Both the City General Plan  
and the 1980 Central City Community Plan designate the  
subject site for multi-family use(s).

APPROVED  
BY THE CITY COUNCIL

DEC 6 1983

OFFICE OF THE  
CITY CLERK

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3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
5. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to the filing of the final map unless a different time for compliance is specifically noted:

The applicant must satisfy each of the following conditions prior to filing the final map:

- a. Pursuant to the City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- b. Extend sewer line along O Street; and
- c. Provide separate water and sewer services to each lot.

\_\_\_\_\_  
MAYOR

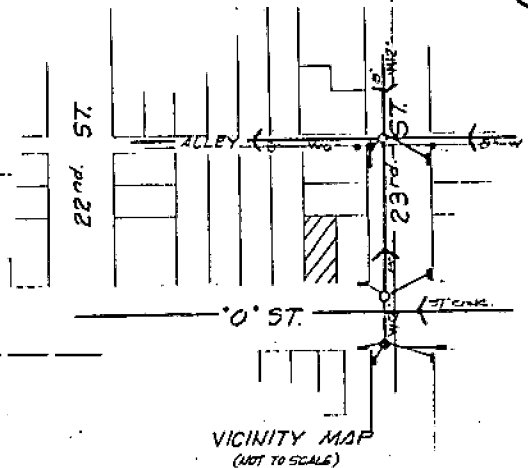
ATTEST:

\_\_\_\_\_  
CITY CLERK

P83-322

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# Exhibit D

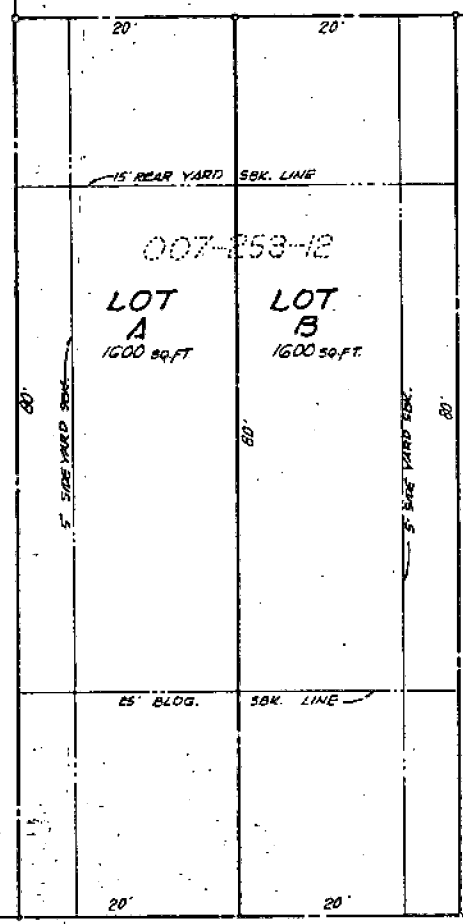


VICINITY MAP  
(NOT TO SCALE)

MULTI-FAM.  
**BONFILIO**  
007-253-10

MULTI-FAM.  
**WITTER**  
007-253-13

MULTI-FAM.  
**DETERDING**  
007-253-11



**RECORD OWNER:**  
KENNETH FONG & ARLENE YAMABE  
2208 N ST  
SACRAMENTO, CALIF. 95806

**SUBDIVIDER:**  
DARRYL B. CHINN  
ARCHITECT, AIA  
7258 HARBORLIGHT WAY  
SACTO., CALIF.

**PRESENT ZONE & USE:**  
R-3A  
VACANT (UNDER CONST.)

**PROPOSED ZONE & USE:**  
R-3A  
? HALF FLEX LOTS

**ACREAGE:**  
3200 SQ. FT.

**SCHOOL DIST.:**  
CITY UNIFIED SCHOOL DIST

**WATER SUPPLY:**  
PUBLIC UTILITIES

**SEWAGE DISPOSAL:**  
PUBLIC SEWERS

Existing sidewalk

Lawn strip

"0" ST.

## P 83322

TENTATIVE MAP OF  
A.P.N.

007-253-12  
CITY OF SACRAMENTO, CALIF.  
EXPT. 1784 SCALE: 1"=0'

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### CITY PLANNING COMMISSION

927 - 10th Street, Suite 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Darryl Chinn, 7238 Harbor Light Way, Sacramento, CA 95831		
OWNER	K. Fong Lee and A. Yamabee, 2208 'N' Street, Sacramento, CA 95816		
PLANS BY	Darryl Chinn, 7238 Harbor Light Way, Sacramento, CA 95831		
FILING DATE	9-23-83	50 DAY CPC ACTION DATE	REPORT BY: JP:bw
NEGATIVE DEC.	Ex. 15115 and/EX 15103(b)	EIR	ASSESSOR'S PCL NO. 007-253-12

- APPLICATION:
1. Tentative Map to divide .01± vacant acres into two lots for halfplex development in the Light Density Multiple Family (R-3A) zone
  2. Special Permit to develop two halfplex units

LOCATION: 2227 'O' Street

PROPOSAL: The applicant is requesting the necessary entitlements to convert a duplex under construction into two halfplex units.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
 1980 Central City Community Plan Designation: Multi-Family  
 Existing Zoning of Site: R-3A  
 Existing Land Use of Site: Duplex (under construction)

Surrounding Land Use and Zoning:

North: Multi-Family; R-3A  
 South: Multi-Family; R-3A  
 East: Multi-Family; R-3A  
 West: Multi-Family; R-3A

Parking Required: 2 spaces  
 Parking Provided: 2 spaces  
 Parking Ratio: 1:1  
 Property Dimensions: 40' x 80'  
 Property Area: 3,200 square feet  
 Square Footage of Building: 2,200 (Each unit 1,100 sq. ft.)  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Available to site  
 Exterior Building Colors: Earth tones  
 Exterior Building Materials: Stucco with wood trim and asphalt shingle roof

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On October 12, 1983, by a vote of eight ayes and one absent, the Subdivision Review Committee voted to recommend approval of the tentative map, subject to conditions. The applicant shall satisfy each of the following conditions prior to the filing of the final map unless a different time for compliance is specifically stated:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;

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- 2. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- 3. Extend sewer line along 'O' Street;
- 4. Provide separate water and sewer services to each lot.

Informational Item: Submit a joint use driveway design for review and approval of the City Traffic Engineer.

STAFF EVALUATION: Staff has the following comments regarding this proposal:

- 1. The subject site is a 40' x 80' interior lot in the Light Density Multiple Family (R-3A) zone. The site is located in the Central City and is surrounded by existing multiple and single family units. A duplex is currently being constructed on the site. The applicant is requesting the necessary entitlements to convert this structure into two halfplex units (Exhibits A - D).
- 2. The applicant proposes one 20-foot wide driveway to be used for access to the two halfplex garages. The City Traffic Engineering Division objects to the placement of driveways in the center of 40-foot wide lots as it eliminates all curb parking along the street. However, building permits have been obtained for the structure and construction has begun. No driveway modifications will be required.
- 3. The Planning and Community Services Departments have determined that 0.0176 acres of land are required for Parkland Dedication purposes, and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to the filing of the final map.
- 4. The City Engineering Division has requested that the sewer line along 'O' Street be extended as required to provide separate sewer and water services to each lot.
- 5. Although the project is located in the Central City area, it is not required to be reviewed by the City's Design Review Board as it is new construction of a two-family residence in a residential zone (Sec. 16-5-11). The site is located in a multi-family area that has a combination of buildings constructed with both wood and stucco siding materials. Since the duplex on the site is presently under construction, with framing up and windows in place and the proposed exterior materials of stucco with wood trim are compatible with adjacent structures, staff has no objections to the proposed exterior building colors or materials.

STAFF RECOMMENDATION: Staff recommends the following:

- 1. Approval of the Tentative Map, subject to conditions which follow;
- 2. Approval of the Special Permit, based upon Findings of Fact which follow.

Conditions - Tentative Map

The applicant must satisfy each of the following conditions prior to filing the final map:



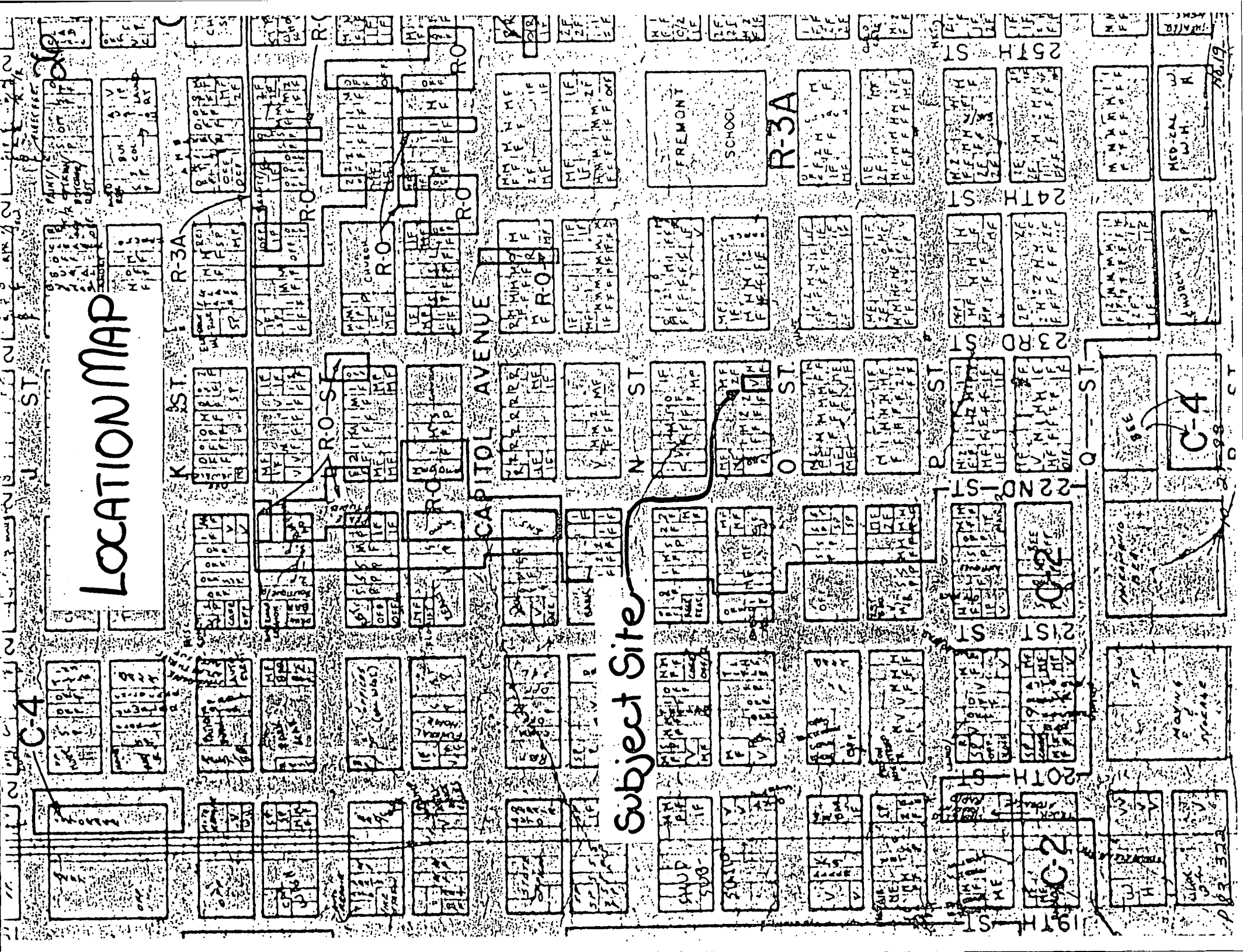
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- a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
- b. Pursuant to the City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
- c. Extend sewer line along 'O' Street;
- d. Provide separate water and sewer services to each lot.

Findings of Fact - Special Permit

- a. The proposed halfplex development is based upon sound principles of land use in that:
  - 1) the colors and materials of the halfplex are similar to other residential structures in the area;
  - 2) the Zoning Ordinance allows halfplex units in the Light Density Multiple Family (R-3A) zone.
- b. The proposed project will not be detrimental to the public health, safety or welfare or result in the creation of a nuisance in that:
  - 1) adequate on-site parking is provided;
  - 2) it will not alter the residential character of the surrounding neighborhood which consists of single family and multiple family uses.
- c. The proposed project complies with the 1974 General Plan and the 1980 Central City Plan which designate the site for residential uses.

# LOCATION MAP



Subject Site

FREMONT SCHOOL

R-3A

C-4

C-2

MOVING STORAGE

AMBUSH

MEDICAL

10233

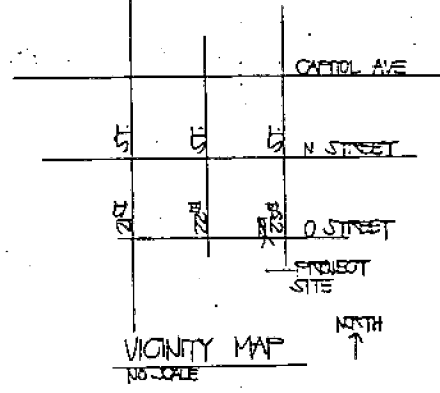
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# Exhibit A

The undersigned architect does not guarantee that these plans or the construction or construction documents are correct in every particular and assumes no liability for any error or omission. The architect's responsibility is limited to the design and construction of the project and shall not be construed as a warranty of any kind. The contractor shall verify and be responsible for all dimensions and conditions on the job and the architect shall not be held responsible for any discrepancy between the drawings and conditions shown by these drawings.

SCHEDULE OF DRAWINGS	
1	SITE PLAN, SCHEDULE OF DRAWINGS
2	FIRST & SECOND FLOOR PLANS
3	FOUNDATION PLAN & DETAILS
4	INTERIOR ELEVATIONS & BUILDING SECTIONS
5	EXTERIOR ELEVATIONS
6	ROOF/FLOOR FRAMING PLANS
7	ELECTRICAL & MECHANICAL FLOOR PLANS



**DRAWN BY:**  
DARRYL CHINN  
PHONE # 421-7897

**YAMABE-LEE DUPLEX**

**SHEET TITLE**

SITE PLAN  
SCHEDULE OF DRNGS

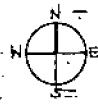
**REVISIONS**

**JOB NO.**  
8100-001

**DATE**  
AUGUST 1983

**P 83322**

SITE PLAN  
SCALE: 1/4" = 1'-0"  
PARCEL NO. 007-253-12  
BLDG. ADDRESS: 2227 O STREET



**1**  
**OF 7 SHEETS**

THIS DRAWING IS THE PROPERTY OF YAMABE-LEE DUPLEX. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF YAMABE-LEE DUPLEX.

DRAWN BY:  
DANNY CHINN  
PHONE #421-7071

# YAMABE-LEE DUPLEX

SHEET TITLE  
FIRST & SECOND  
FLOOR PLANS  
REVISIONS

JOB NO.  
9100-001  
DATE  
AUGUST 1983

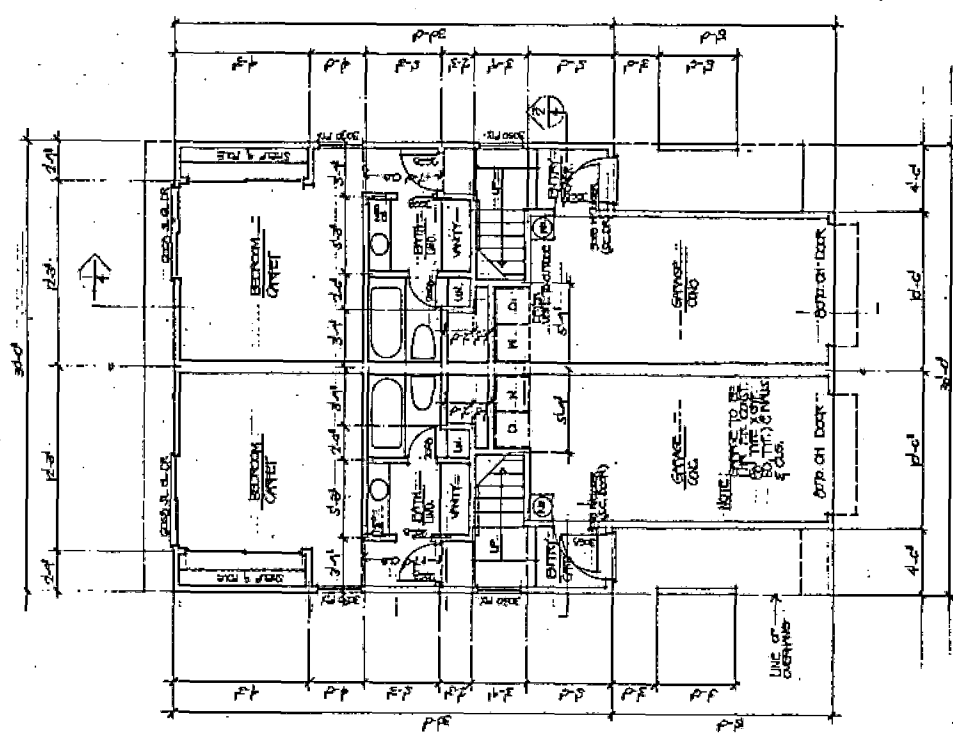
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OF 7 SHEETS

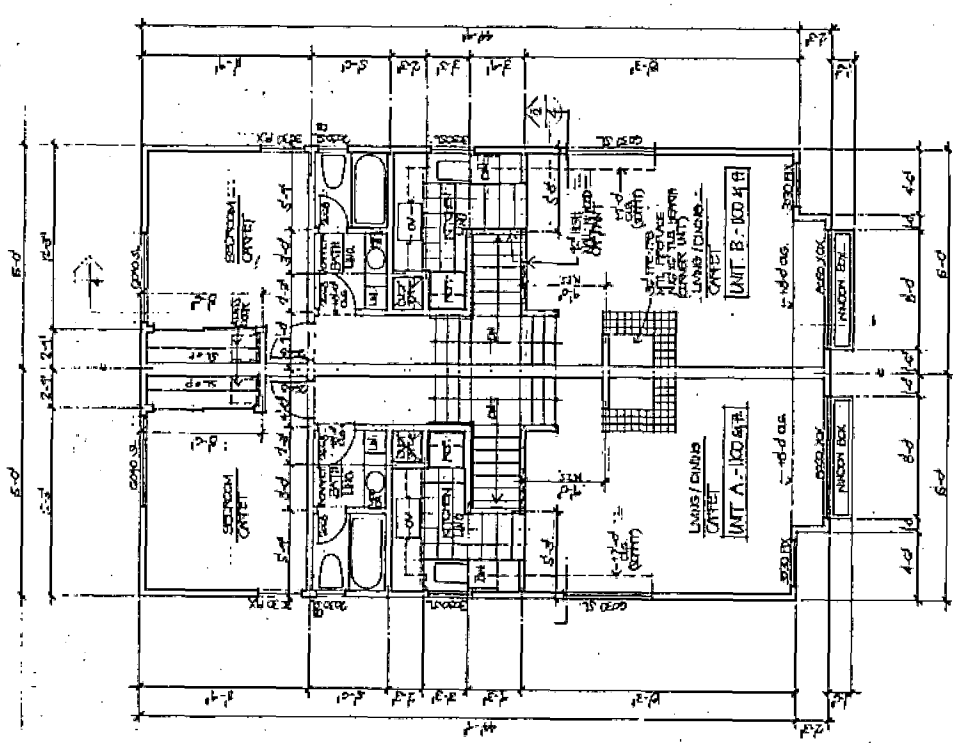
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## Exhibit B



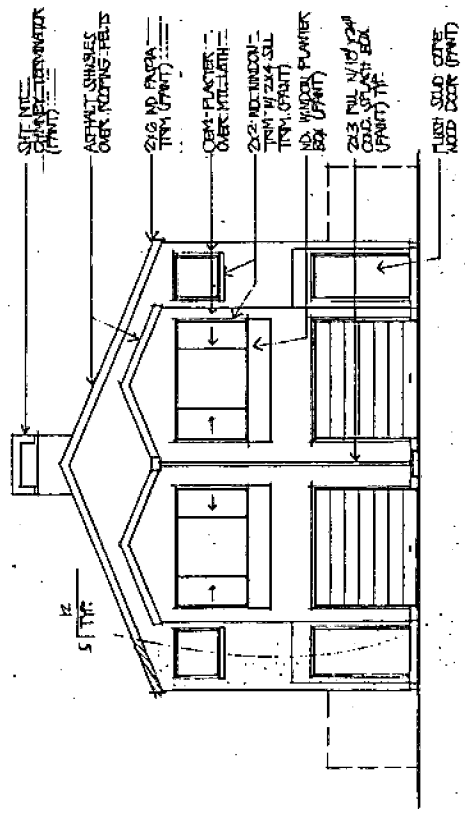
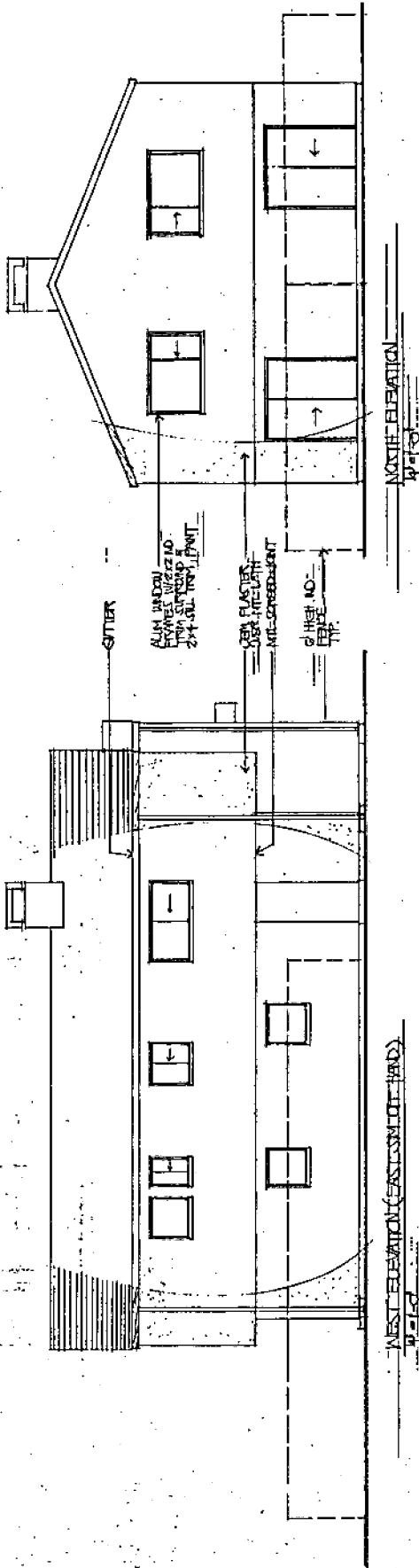
FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

# Exhibit C

P 83322



NORTH ELEVATION  
4-1-8

DRAWN BY:  
DARYL CHINN  
PHONE 425-7877

## YAMABE-LEE DUPLEX

SHEET TITLE

EXTEND ELEVATIONS

REVISIONS

JOB NO.  
8100-001

DATE  
AUGUST 1983

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OF 7 SHEET

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