

STAFF REPORT AMENDED 2-23-84
CITY PLANNING COMMISSION

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Starting Point, Inc. - 3808 Auburn Blvd., Suite 46, Sacramento, CA 95821		
OWNER	Starting Point, Inc. & Redevelopment Agency - 630 I Street, Sacto., CA 95814		
PLANS BY	Anderson DeBartolo Pan, Inc. - 6339 E Speedway Blvd., Tucson, AR 85710		
FILING DATE	1-20-84	50 DAY CPC ACTION DATE	REPORT BY: JP:sg
NEGATIVE DEC.	2-13-84	EIR	ASSESSOR'S PCL. NO. 251-061-15,16

- APPLICATION:
1. Environmental Determination
 2. Special Permit for a residential care facility and to expand the existing parking and outdoor recreation areas for the facility (Section 2-E-5)

LOCATION: 1001 Grand Avenue

PROPOSAL: The applicant is requesting the necessary entitlements for a residential care facility and to expand an existing parking area and recreation area.

PROJECT INFORMATION:

1974 General Plan Designation: Residential
1965 Del Paso Heights Community
Plan Designation: Apartments
Del Paso Heights Redevelopment
Plan: Multi-family residential
Proposed North Sacramento
Plan: Residential (4-12 du/ac)
Existing Zoning of Site: R-1 and R-3
Existing Land Use of Site: Group care facility with parking and lawn area

Surrounding Land Use and Zoning:

North: Single Family Residential; R-1
South: Single and Multi-Family Residential; C-2
East: Single Family Residential; R-1 and R-3
West: Single Family Residential; R-1 and R-3

Parking Required: Commission determination
Parking Provided: 16 spaces
Property Dimensions: Irregular
Property Area: 24,800± square feet
Square Footage of Building: 8,000± square feet
Significant Features of Site: Two PG & E transmission towers located on the site
Exterior Building Colors: Yellow with brown trim
Exterior Building Materials: Stucco and wood

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BACKGROUND INFORMATION: On July 14, 1970 the Planning Commission approved a special permit for a 26 bed home for the aged on the subject site at 1001 Grand Avenue (P-4247). This care home was subsequently established at that time. In February of 1973 Starting Point, Inc. established a residential Alcohol Treatment Center at the subject site without obtaining a new special permit. This facility was licensed as a residential care facility by State Community Care Licensing and the Sacramento County Welfare Department. In February of 1983 Starting Point changed the focus of their treatment to a multi-phasic chemical dependency treatment program. This program is designed to relieve adults and adolescents from mood or mind altering drug dependency, including alcohol dependency.

The facility is currently licensed as a Chemical Dependency Recovery Hospital by the State Department of Health Services.

Starting Point, Inc. has recently opened a facility in Orangevale for the treatment of adults and wishes to shift the focus of treatment at the 1001 Grand Avenue facility to adolescents. They are, therefore, requesting a special permit to develop a recreational area for the use of their patients. This request includes improving and expanding an existing parking area. As Starting Point, Inc. has never obtained a special permit from the Planning Commission for their facility, staff has added a special permit for a residential care facility to their requested entitlements.

STAFF EVALUATION: Staff has the following comments regarding this proposal:

1. The subject site is a triangular shaped parcel on the northeast corner of Branch and Grand Avenues. A residential care facility for the treatment of chemical dependency, known as Starting Point, Inc., is operating on the subject site. Adjacent to the site is an irregular-shaped parcel owned by the Redevelopment Agency of the City of Sacramento. Starting Point uses a portion of this parcel as a parking area for their facility and as lawn area for their patients use. As noted above, Starting Point is focusing the treatment of chemical dependency at the subject site to the needs of adolescents and is requesting the necessary entitlements to develop a recreational and landscaped area for the use of their patients (Exhibits A-C).

The parking area for the facility will also be expanded and improved. Since a special permit for the Starting Point facility on the subject site was never obtained, Planning Commission approval of the facility is also requested.

2. This proposal was reviewed by the City Traffic Engineering Division, the Del Paso Heights Project Area Committee and Pacific Gas and Electric Company. They had the following comments:
 - a. Traffic Engineering: Driveway must be widened to 24 feet to conform with ordinance and constructed to commercial standards. A driveway permit is required.
 - b. Del Paso Heights PAC: The PAC reviewed and approved the proposal at their January 19, 1984 meeting. The PAC has not received any negative comments regarding Starting Point since they have had the facility located at 1001 Grand Avenue.
 - c. Pacific Gas and Electric: PG and E has a 100 foot power line easement across the parcel owned by the Redevelopment Agency. They have several concerns regarding the location of the recreation area in relation to their towers located on the site (Exhibit D). Relocation of the multi-use court to the south of the towers will be necessary to provide PG and E the necessary access. The applicant and a PG and E representative have discussed the proposal and have agreed that the recreation area can be redesigned to accommodate both the needs of PG and E and Starting Point.

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3. The chemical dependency treatment program operated by Starting Point on the subject site is for a maximum of 25 adolescents under the age of 18. Treatment of the patients is based on a "socialization model" primarily consisting of individual counseling and group and family therapy. The facility is not licensed by the State for a medical component and therefore does not provide medical treatment. Starting Point is a residential facility and employs 26 staff members spread over three shifts, seven days a week. In the 11 years that Starting Point has been located at the subject site no complaints have been received by the Planning Department, Del Paso Heights PAC nor the State licensing agencies regarding the facility. Furthermore, the facility, as it is currently operated, is in conformance with the locational criteria adopted by the Planning Commission for residential care facilities.
4. Ten parking spaces are currently provided for residents, guests and staff members of the Starting Point facility on the parcel owned by the Redevelopment Agency. The applicant proposes to enlarge the parking area to accommodate 16 vehicles. This parking area should be sufficient for the facility. Staff inspected the parking site several times and found there were available parking spaces on the site. The applicant also proposes to light the parking area (Exhibit C). Staff has no objection to lighting the parking lot for safety purposes as long as the lighting is focused on the parking area only and not on the recreation area and adjacent residential uses. The applicant should be aware that a parking facilities permit is required for the parking lot expansion.
5. Currently Starting Point provides a fenced lawn area to the east of the building for use by the facility's residents (Exhibits A and B). The applicant proposes to expand this lawn area for a recreational area for the residents. This proposed recreational area will include a multi-use court, exercise station, horse shoe pit, barbeque and open space. The recreation area will be surrounded by a cyclone fence with redwood slats. Starting Point has indicated that residents using the recreational area will be supervised by a staff member at all times.

As noted above, PG and E has concerns regarding access to the power transmission towers located on the site. The applicant will need to redesign the recreation area, relocating the proposed multi-use court to the south, to the satisfaction of PG and E.

Planning staff has concerns regarding the open space area between the proposed fence and existing fence on the eastern property line. If left unattended, this area could develop into a fire hazard and potential eyesore. Staff recommends that the area between the proposed fence and parking area and the existing fence to the east be landscaped with shrubs and lawn area. This landscaped area will also serve as a buffer between the facility and the existing residents to the east

STAFF RECOMMENDATION: Staff recommends the following actions:

1. Ratification of the Negative Declaration;

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2. Approval of the special permit for a residential care facility and to expand the existing parking and outdoor recreation areas for the facility, subject to conditions and based upon findings of fact which follow:

Conditions

- a. The parking area shall be redesigned to the satisfaction of the City Traffic Engineering Division.
- b. The recreation area shall be redesigned so as to provide access to the power transmission towers to the satisfaction of PG and E personnel. The revised site plan shall also be reviewed and approved by Planning staff.
- c. The area between the proposed fence and parking area and the existing fence on the eastern property line shall be landscaped with shrubs and lawn area.
- d. Lighting is to be focused on the proposed parking area. Lighting of the recreation area is not allowed.

**see below*
Findings of Fact

- a. The project, as conditioned, is based on sound principles of land use in that:
 1. there is not an overconcentration of this type of treatment facility in the area;
 2. the project will provide a needed health service.
- b. The project, as conditioned, will not be detrimental to the public health, safety and welfare or result in the creation of a nuisance in that:
 1. adequate off-stree parking is provided;
 2. landscaping and fencing will provide a buffer between the facility and adjacent residential uses.
- c. The proposal is consistent with the locational criteria for establishing residential care facilities.
- d. The project, as conditioned, is consistent with the 1974 General Plan and 1965 Del Paso Heights Community Plan which designate the site for residential uses.

- *e. The use of the recreation area will not be permitted between the hours of 9 P.M. to 7 A.M. (CPC added)*

LOCATION MAP



Subject Site

GRANT UNION HIGH S
DEL PASO
JR. HIGH 002855
SCHOOL

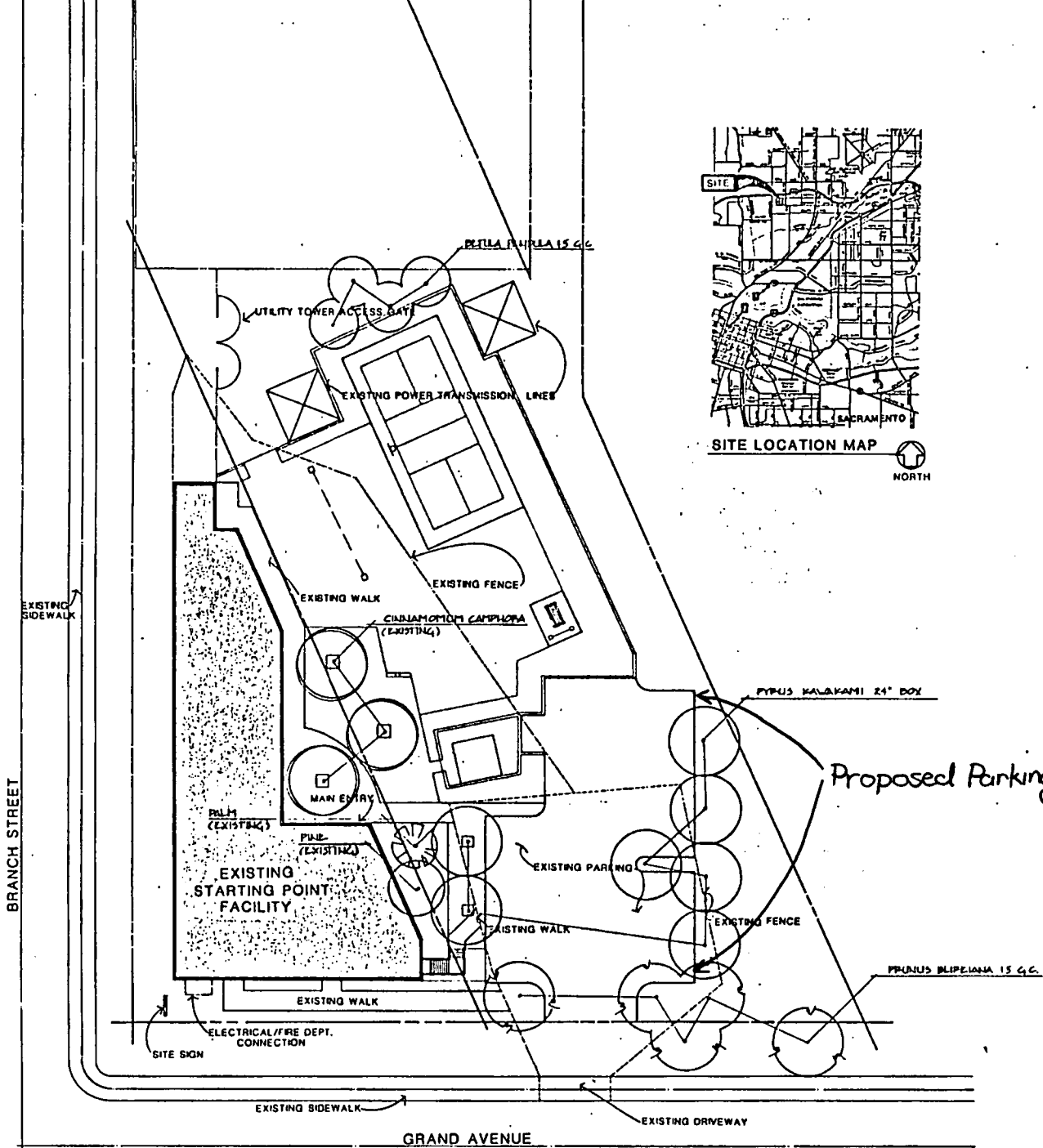
SEE MAP

NO. HIGH
Item #15

541016

910-484

9/15/15



SITE PLAN
SCALE: 1/16"=1'0"



002858

STARTING POINT
1001 GRAND AVENUE
SACRAMENTO, CALIFORNIA

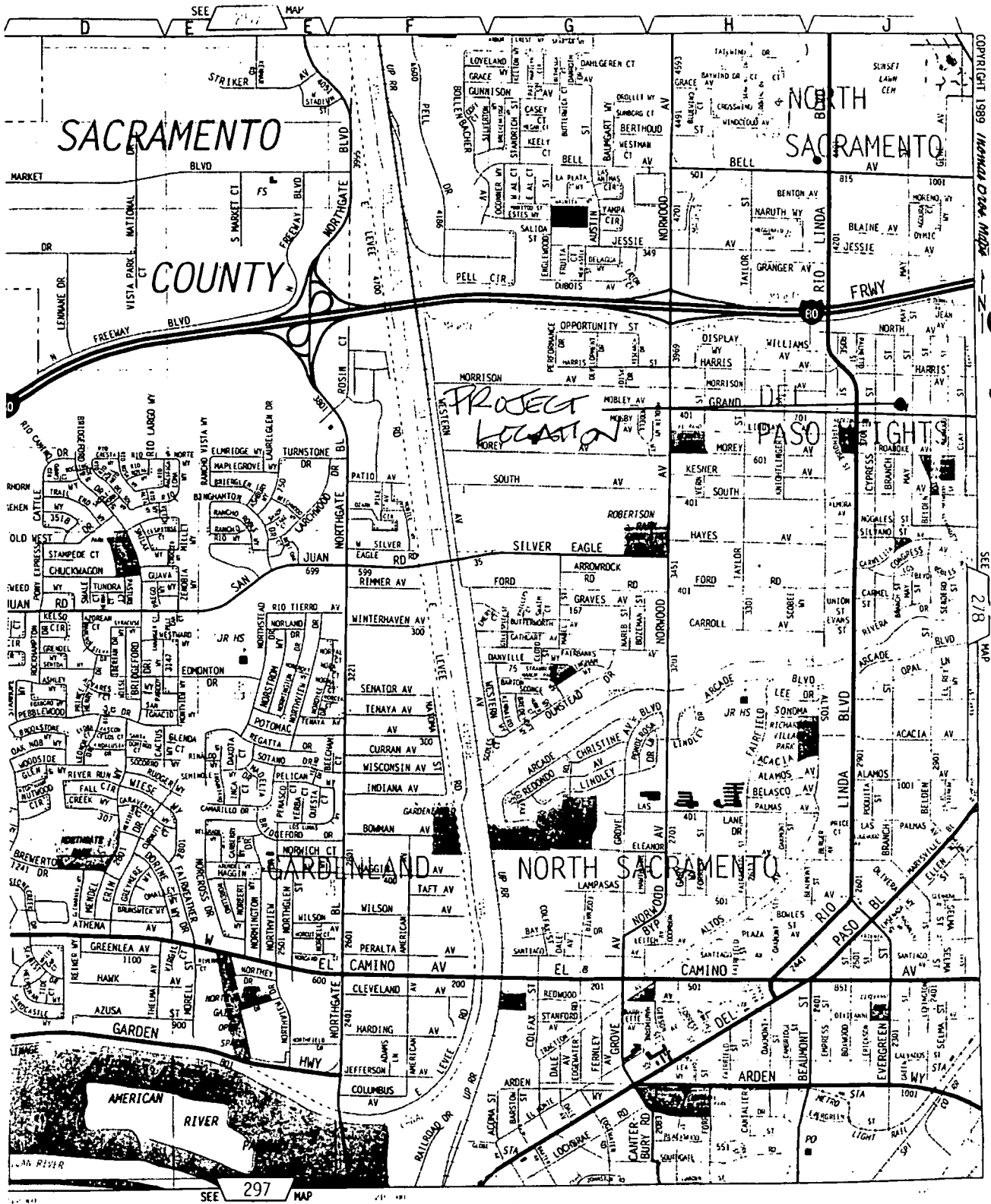
EXHIBIT A

91078 P 84016

ANDERSON DURANTO JO PAN, INC., ARCHITECTURE & ENGINEERING 639 EAST SPEEDWAY BOULEVARD, TUCSON, ARIZONA 85710 602 296 6101

PROJECT: 02290
DATE: 1/16/10
SCALE: 1/16"=1'
SHEET: 1 OF 1

ATTACHMENT B
Locator Map



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SEE 278 MAP

SEE 297 MAP

EXHIBIT D

PACIFIC GAS AND ELECTRIC COMPANY

PG&E



5555 FLORIN-PERKINS ROAD • P. O. BOX 7444 • SACRAMENTO, CALIFORNIA 95826

February 15, 1984

84-105-LUA
670

City of Sacramento
Planning Department
927 - 10th Street, Suite 300.
Sacramento, CA 95814

Your File: P-84016

Attention: Ms. Joy Patterson

Gentlemen:

The proposed recreational facility within PGandE's 100-foot easement, located at 1001 Grand Avenue has been reviewed.

Although the concept of utilizing our easement in a manner compatible with our use is acceptable, PGandE requests approval of this project be postponed until certain conflicts between some features of the plan and our rights can be resolved with the developer. For example:

The easterly tower cannot be reached by way of the "utility tower access gate" because of the position of the proposed trees and the fencing around the court. The trees themselves might be a problem since the original grant of right of way gives us the right to cut down and clear away any trees within the right of way.

The layout of the plan itself appears to be in error. The width of the right of way does not scale to the full 100 feet. The towers shown are not in the correct relationship to the edges of the right of way. The southwesterly edge of the right of way does not appear to be in its correct location with respect to the existing building.

Because of the conflicts and discrepancies, we cannot approve these plans. We request the developer or his engineer contact Mr. Alan Sunahara of this office at (916) 383-4141, Ext. 256 to work on possible solutions to the problems.

Sincerely,

M. R. AMERIO
Manager, General Services

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By Keith J. Lamb
Keith J. Lamb
Division Land-Supervisor

cc: Sacramento Housing
& Redevelopment Agency

Mr. R. F. Flood
Starting Point

PSA-016

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