

REPORT AMENDED BY STAFF 7-24-91
CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Russell & Sullivan 1717 I Street Ste. 250 Sacto. CA. 95814				
OWNER	I-80 Industrial Assoc. #2 North 2nd St. Ste. 250 San. Jose CA. 95113				
PLANS BY	Russell & Sullivan 1717 I Street Ste. 250 Sacto. CA. 95814				
FILING DATE	4-17-91	ENVIR. DET.	Neg. Dec.	REPORT BY	hw
ASSESSOR'S PCL. NO.	238-011-013				

- APPLICATION:
- A. Negative Declaration
 - B. Plan Review to construct a 15,400 sq.ft. office/warehouse building with 7,540 sq.ft. of enclosed garages on 2.0± vacant acres in the Light-Industrial Review (M-1S-R) zone.
 - C. Special Permit to exceed the maximum 25% office use allowed by constructing 67% of office on 2.0± vacant acres in the M-1S-R zone.

LOCATION: Beloit Drive and Main Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 15,400 sq.ft. office/warehouse use with enclosed garages on the subject site.

PROJECT INFORMATION:

General Plan Designation:	Heavy Commercial/Warehouse
1984 North Sacramento Community Plan Designation:	Industrial
Existing Zoning of Site:	M-1S-R
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
	(based on south 1/2 property)		
North: Vacant; M-1S-R	Front: (Beloit Dr)	25'	25'
South: Vacant; M-1S-R	Side(Int):	0'	5'
East: Single Family; M-1S-R			
West: Vacant; M-1S-R	Rear:	0'	0'

Parking Required:	47 spaces (1:400/office) (1:1000/warehouse)
Parking Provided:	113 spaces (79 spaces uncovered/34 garage spaces)
Property Dimensions:	369' x 235'

Property Area:	2.0± acres
Building Square Footage:	15,400 sq.ft.
Enclosed Garage Square Footage:	7,540 sq.ft.
Height of Building:	32'
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Exterior Building Material:	Split Face Block w/Plaster
Roof Materials:	Composition Shingle
Exterior Building Colors:	Light Gray, Rose w/Charcoal Shingles

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of one vacant parcel on 2.0± acres in the Light Industrial-Review (M-1S-R) zone. The General Plan designates the site for Heavy Commercial/Warehouse and the 1984 North Sacramento Community Plan designates the site for Industrial. A parcel map was recently approved by the City Council to divide the subject site into two lots consisting of one 2.0± acre lot and one 1.3± acre lot for industrial development (P91-049). Surrounding land use and zoning includes vacant lots to the north, south and west; and a single family dwelling to the east. The property is surrounded by M-1S-R zoning.

B. Applicant's Proposal

The applicant is proposing to construct a 15,400 square foot office/warehouse building with a detached 7,540 square foot enclosed garage on the southern portion of the subject site (two acres). A Plan Review entitlement is required to develop in the review zone. The maximum percentage of office square footage allowed in the industrial zone is 25 percent. The applicant is requesting a Special Permit to exceed the maximum allowed 25 percent office allowed in order to develop 67 percent of office use. The 67 percent is derived from the total building square footage and garage square footage combined. The Citizen Utility Company of California will occupy the building. The company is an investor owned utility company that provides drinking water to over 150,000 people in Sacramento County.

C. Site Plan Design

The submitted site plan indicates three driveway entrances off of Beloit Drive. A 53 foot building setback is proposed off of Beloit Drive. A 25 foot landscape setback is proposed along Beloit Drive and a nine foot landscape setback is indicated between the north property line and the proposed parking area (see Exhibit A). The applicant has indicated to staff that an extensive amount of landscaping will be provided on the subject site including a "Xeriscape" experimental garden near the front entry. The experimental garden will be located on the site to use as an example for water saving landscaping. A landscape and irrigation plan shall be submitted to staff for review and approval prior to issuance of building permits. Staff recommends that 3 1/2 foot high undulating berms be provided within the 25 foot setback along Beloit Drive if a "Xeriscape" experimental garden is not provided within the 25 foot landscape area. All paved and parking areas shall comply with the 50 percent shading requirement.

The site plan indicates a trash enclosure to be provided behind the main building. Staff recommends that the proposed trash enclosure comply with the City's Trash Enclosure and Recycling Ordinance. No signage is proposed on the subject site. All signage shall comply with the City's Sign Ordinance. The site plan indicates two future expansion areas as part of the main building. Any future expansions of the proposed facility shall be subject to review and approval by the Planning Commission or Planning Director prior to issuance of building permits.

The submitted site plan indicates an eight foot high masonry wall along the south property line and along the rear portion of the west property line. An eight foot high wall is also proposed within the truck parking area. The eight foot high walls are proposed to screen the truck yard area and service vehicles from Beloit Drive (see Exhibit A). The Zoning Ordinance requires that a six foot high masonry wall be provided along all properties which abut residential uses or zones adjacent to non-residential development. It is, therefore, recommended that the proposed eight foot high masonry wall extend along the entire west property line. The proposed eight foot high wall's design and materials shall be provided to staff for review and approval prior to issuance of building permits. A portion of the north property line will contain a six foot high chain link fence with slats and three strand barbed wire. A six foot high chain link fence with slats and three strand barbed wire with a rolling gate will also be provided to separate a portion of the parking area for employee parking (see Exhibit A). The barbed wire is proposed to provide a high measure of security.

D. Special Permit

The proposed office square footage will exceed the 25 percent office use allowed in the M-1 zone. The 67 percent of office proposed is compatible with adjacent and nearby properties. There are surrounding uses located in the M-1 zone that have been approved to exceed the 25 percent allowable office square footage. As previously mentioned, the building will be occupied by the Citizen Utility Company of California which is an investor owned utility company that provides drinking water to over 150,000 people in Sacramento County. This type of use in addition to the existing land uses are not people intensive uses and will, therefore, not generate a traffic increase in the area. The proposed facility is anticipated to employ 62 employees and 20 of these employees will spend a majority of their time in the field. The employees remaining on site will do administrative work. Lastly, the proposed use will be required to participate in a Transportation Management Plan which may require different trip reduction measures such as transit passes, carpool/vanpool and showers and lockers on the site. Staff finds the proposed use to be in an appropriate location since similar operations exist in the area and the use would not significantly impact the level of service for the existing street system.

E. Building Design

The proposed building materials consist of split face block with plaster. The roof material will be composition shingles. The building height is 32 feet with one floor. Exterior building colors are light gray, rose and white with charcoal colored shingles. The enclosed garages material consist of a combination of split face concrete block and steel studs with plaster, and a composition shingle roof. It is recommended that the proposed roof material for both buildings consist of 25 year laminated dimensional shingles. All satellite and mechanical equipment shall

be attractively screened. The Design Review Coordinator and City staff supports the overall building design for both the main building and enclosed garages and finds them to be in scale and complimentary to the surrounding structures.

F. Parking

As previously mentioned, three access driveways onto the subject site will be off of Beloit Drive. A total of 47 parking spaces are required for the proposed warehouse/office building. The submitted site plan indicates 79 uncovered parking spaces and 34 covered parking spaces. The company trucks and service vehicles will utilize the covered parking spaces. A loading dock and truck well is also proposed on the subject site. Bike lockers are shown immediately adjacent to the trash enclosure area. Implementation of a Transportation Management Plan (TMP) will be required prior to issuance of building permits. Staff finds the proposed number of parking spaces to be sufficient for the proposed use.

G. Agency Comments

The project has been reviewed by the City's Traffic Engineering, Engineering, TSM Coordinator, Building Inspections and City Fire. The following comments were received:

Engineering

1. On site grading, paving and drainage shall be approved by Public Works prior to issuance of building permits.
2. Locate driveways and parking to the satisfaction of the Traffic Engineer.

City Fire Department

1. Provide a turn around at the northwest section for truck backout.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project, as proposed, will not have a significant impact on the environment; therefore a Negative Declaration has been filed with the following mitigation measure:

- A. If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction on the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Plan Review to construct a 15,400 sq.ft. office/warehouse building with 7,540 sq.ft. of enclosed garages on 2.0+ vacant acres in the Light-Industrial Review (M-1S-R) zone subject to conditions and based on findings of fact which follow; and

- C. Approve the Special Permit to exceed the 25 percent office allowed to construct a 15,400 sq.ft. office use with enclosed garages subject to conditions and based on findings of fact which follow.

Conditions

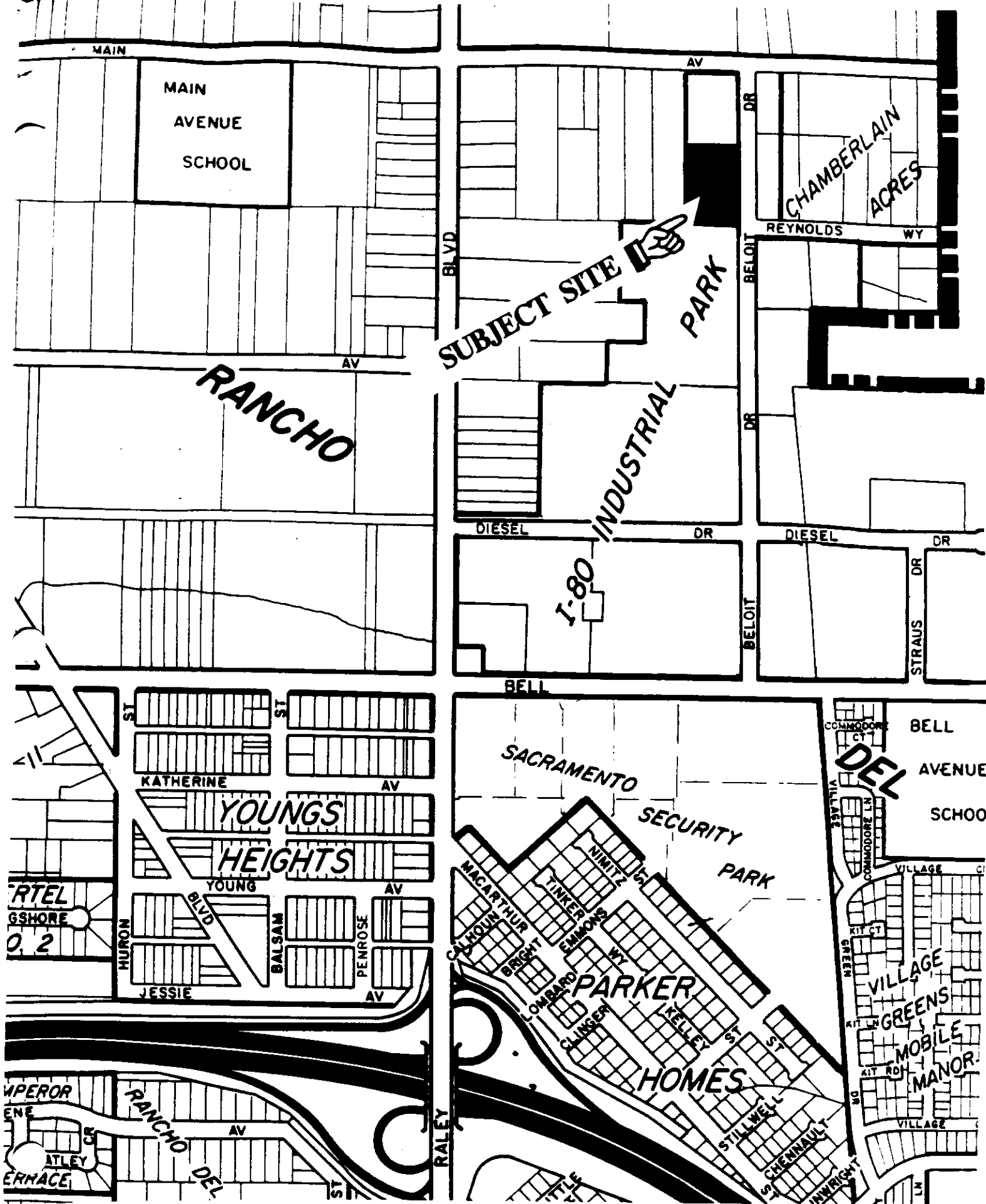
1. Any signage proposed on the subject site shall comply with the City's Sign Ordinance.
2. An eight foot high wall shall be provided along the south property line and along the entire west property line. The proposed wall material and design shall be reviewed and approved by City staff prior to issuance of building permits.
3. The trash enclosure shall comply with the City's Trash Enclosure and Recycling Ordinance.
4. All paved and parking areas shall comply with the 50 percent shading requirement.
5. A Transportation Management Plan (TMP) shall be submitted for review and approval of the City's TSM Coordinator prior to issuance of building permits.
6. On site grading, paving and drainage shall be approved by Public Works prior to issuance of building permits.
7. The applicant shall locate the driveway opposite Reynolds Way Locate driveways and parking to the satisfaction of the Traffic Engineer. (Staff amended 7-24-91).
8. Provide a turn around at the northwest section for truck backout. A revised site plan shall be submitted to City's staff for review and approval prior to issuance of building permits.
9. A landscape and irrigation plan shall be submitted to City staff for review and approval prior to issuance of building permits. A "Xeriscape" experimental garden shall be provided within the required 25 foot landscape setback or 3 1/2 foot high undulating landscaped berms shall be provided along Beloit Drive.
10. If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction on the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.
11. The roof material for all structures shall contain 25 year laminated dimensional shingles.
12. All mechanical and satellite equipment shall be indicated on the revised plans and shall be attractively screened. Screening shall be subject to Planning

Director review and approval.

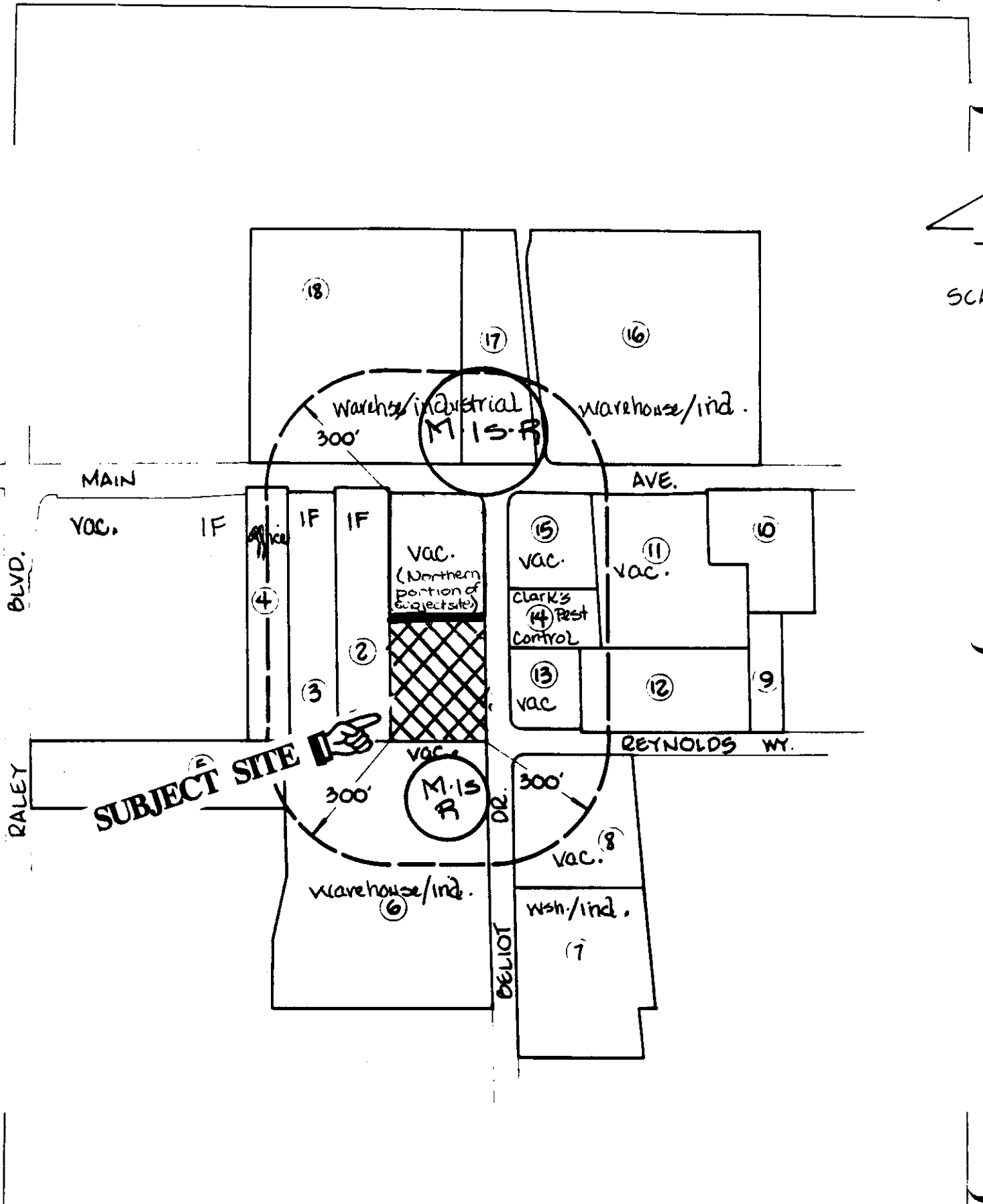
13. Any future development, expansions or modifications of the building shall require a Plan Review Entitlement to be reviewed and approved by the Planning Director or Planning Commission prior to issuance of building permits.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. the proposed warehouse/office building is compatible with the surrounding warehouse/office uses in the area; and
 - b. adequate parking, setbacks and landscaping will be provided.
2. The project, as conditioned, will not be detrimental to the public safety nor to the neighboring properties in the vicinity in that:
 - a. adequate on site parking and access onto the property will be provided;
 - b. the proposed 67 percent office use will not significantly increase the traffic in the area and trip reduction measures will be required;
 - c. there are existing uses in the immediate area that exceeds the 25 percent office square footage allowed; and
 - d. the overall building design for both the main building and enclosed garages will be in scale with the existing structures in the area and will be complimentary to the surrounding structures.
3. The project is consistent with the City's General Plan and 1984 North Sacramento Community Plan which designates the site for Heavy Commercial or Warehouse and Industrial respectively.

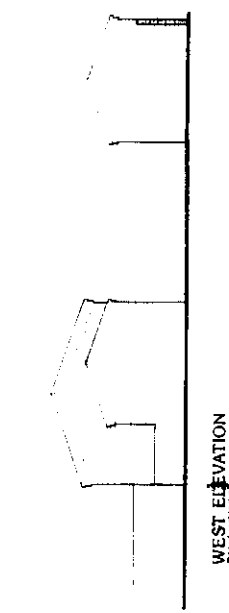


VICINITY MAP

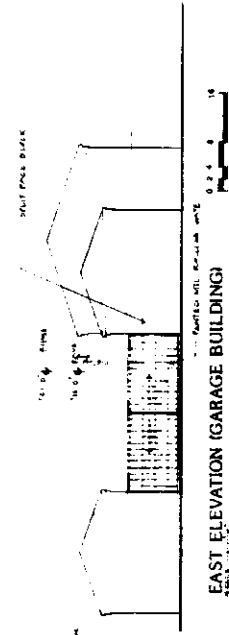


LAND USE & ZONING MAP

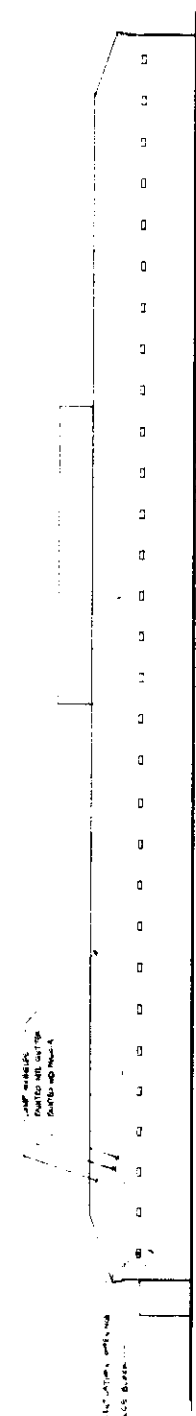
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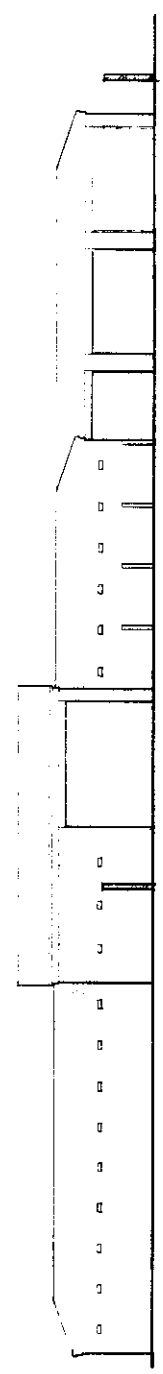
WEST ELEVATION



EAST ELEVATION (GARAGE BUILDING)



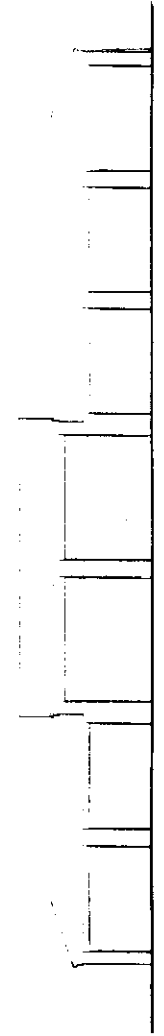
SOUTH ELEVATION



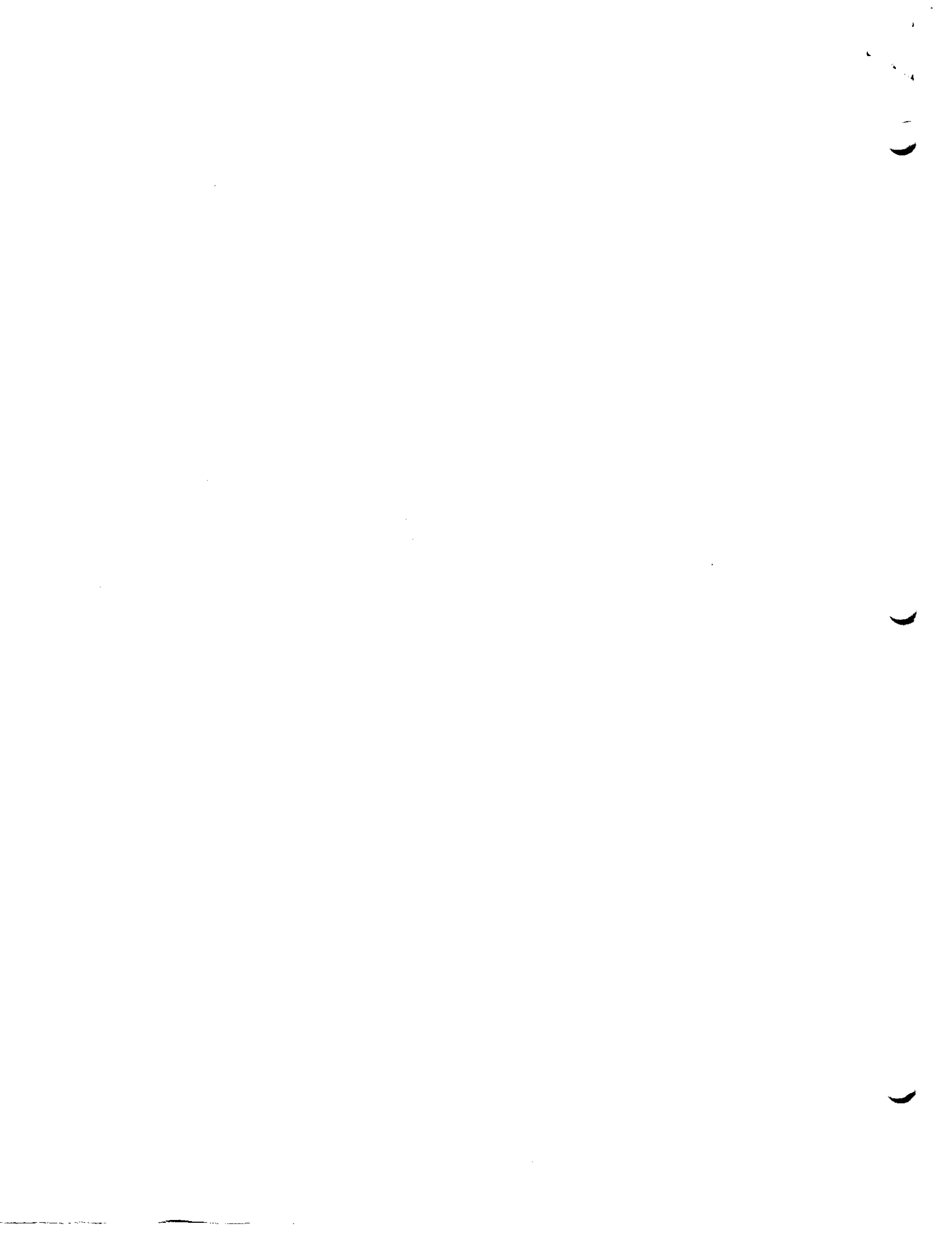
NORTH ELEVATION



NORTH COURT ELEVATION



SOUTH COURT ELEVATION



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APPLC. NO. P91-085

MEETING DATE July 25, 1991

ITEM NO. 20

Property Area:	2.0± acres
Building Square Footage:	15,400 sq.ft.
Enclosed Garage Square Footage:	7,540 sq.ft.
Height of Building:	32'
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
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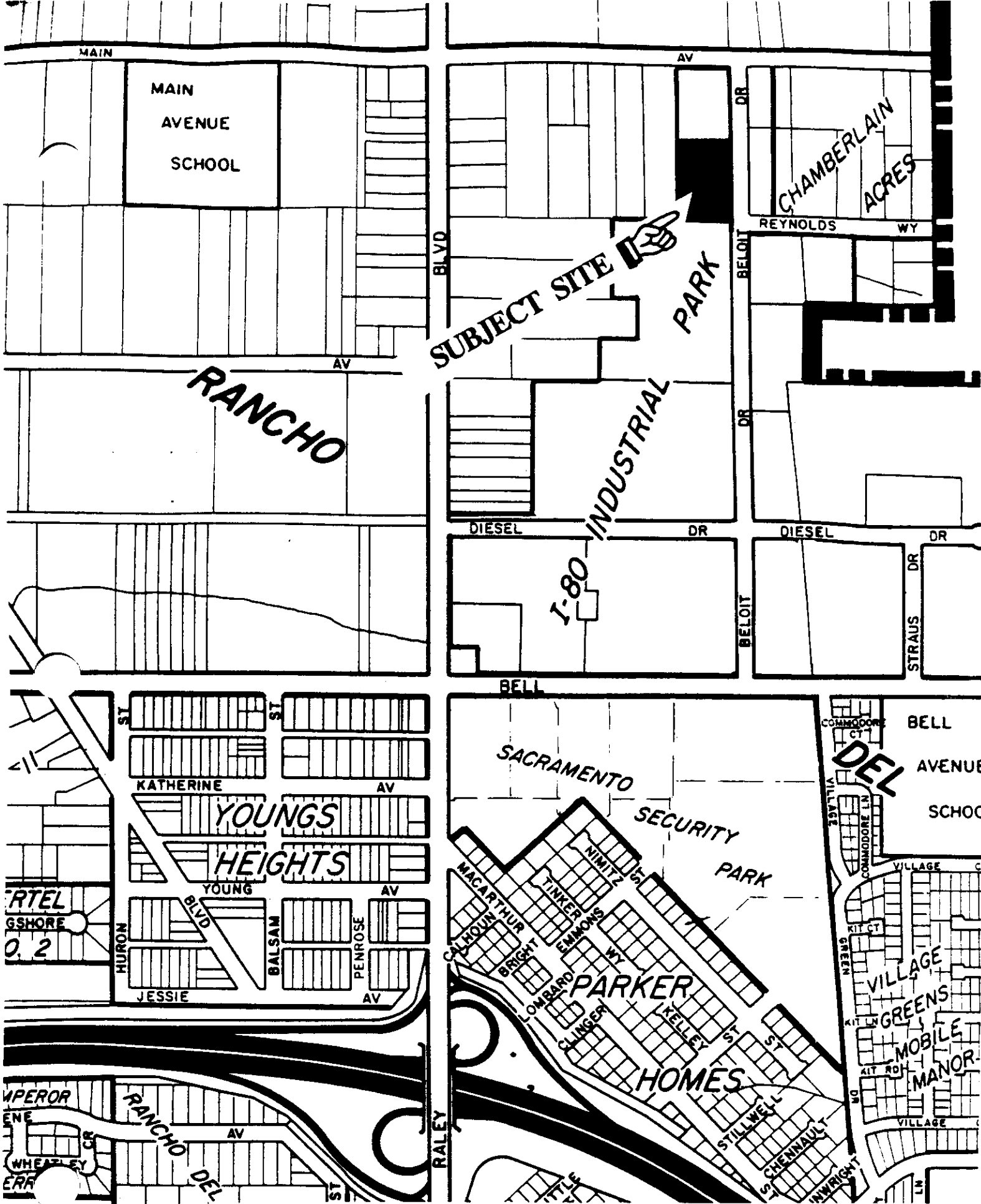
Conditions

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11. The roof material for all structures shall contain 25 year laminated dimensional shingles.
12. All mechanical and satellite equipment shall be indicated on the revised plans and shall be attractively screened. Screening shall be subject to Planning Director review and approval.

13. Any future development, expansions or modifications of the building shall require a Plan Review Entitlement to be reviewed and approved by the Planning Director or Planning Commission prior to issuance of building permits.

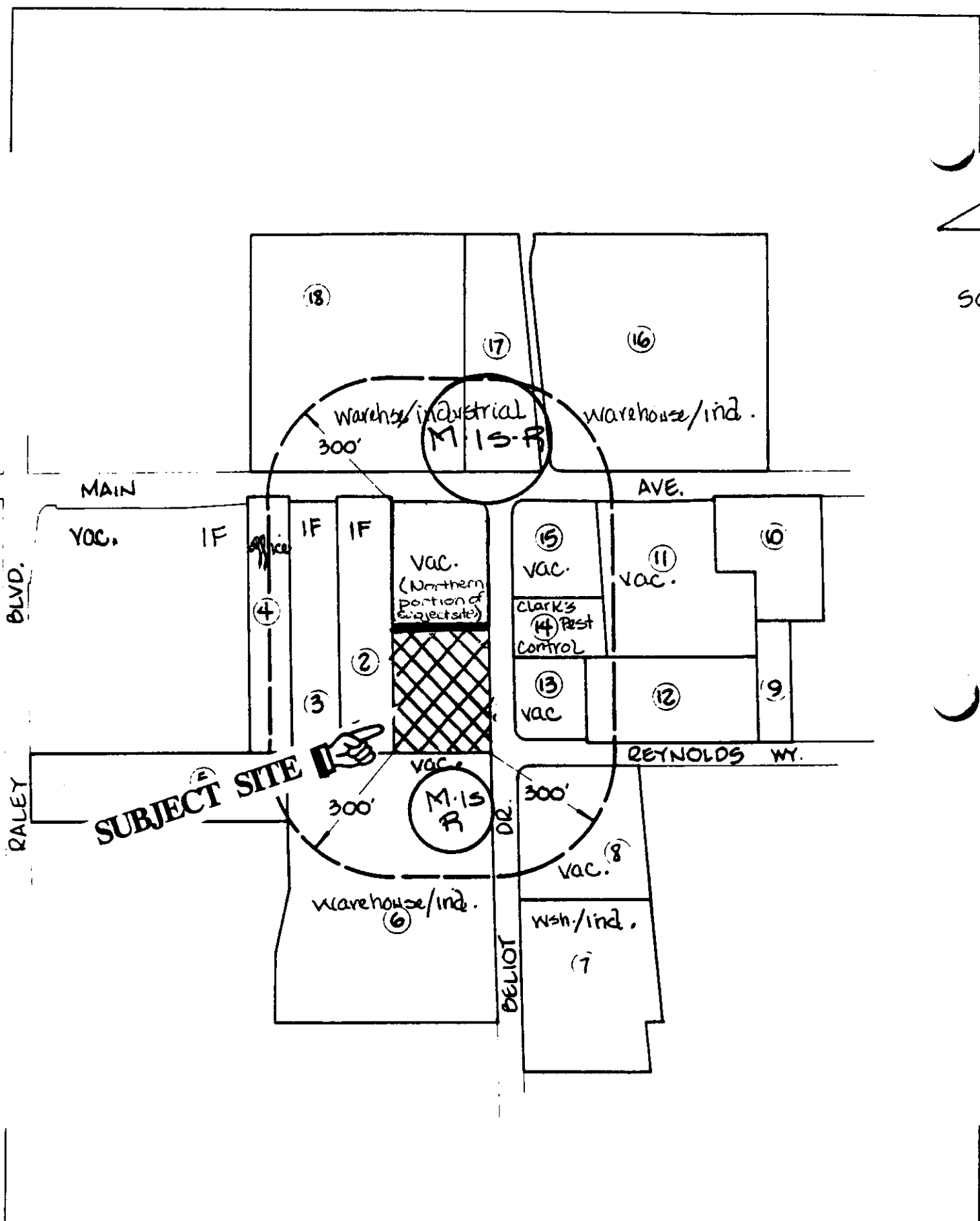
Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. the proposed warehouse/office building is compatible with the surrounding warehouse/office uses in the area; and
 - b. adequate parking, setbacks and landscaping will be provided.
2. The project, as conditioned, will not be detrimental to the public safety nor to the neighboring properties in the vicinity in that:
 - a. adequate on site parking and access onto the property will be provided;
 - b. the proposed 67 percent office use will not significantly increase the traffic in the area and trip reduction measures will be required;
 - c. there are existing uses in the immediate area that exceeds the 25 percent office square footage allowed; and
 - d. the overall building design for both the main building and enclosed garages will be in scale with the existing structures in the area and will be complimentary to the surrounding structures.
3. The project is consistent with the City's General Plan and 1984 No. Sacramento Community Plan which designates the site for Heavy Commercial Warehouse and Industrial respectively.



VICINITY MAP

N
SCALE



LAND USE & ZONING MAP



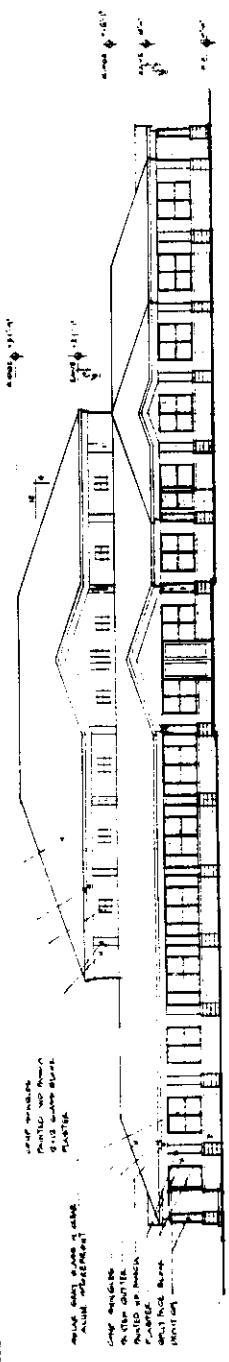
CITIZENS UTILITIES
1-80 INDUSTRIAL PARK
BELOIT DRIVE SACRAMENTO, CA

MAIN BUILDING EXTERIOR ELEVATIONS

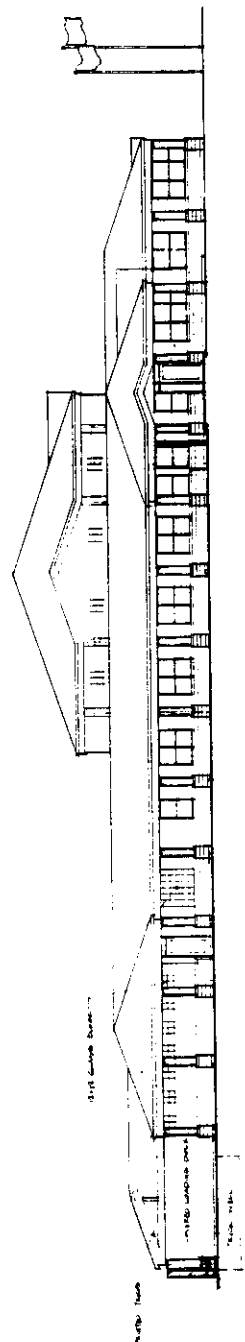
RUSSELL & SULLIVAN
ARCHITECTS
1717 J STREET, S.F. 94116
TELEPHONE 438-1100

NO.	DATE	REVISION
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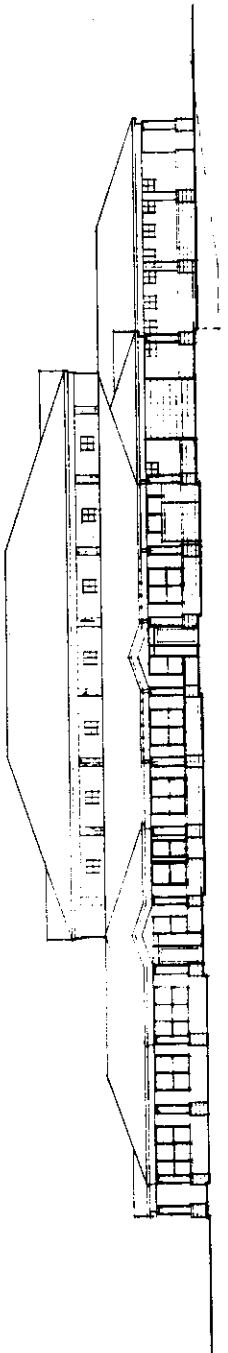
A41



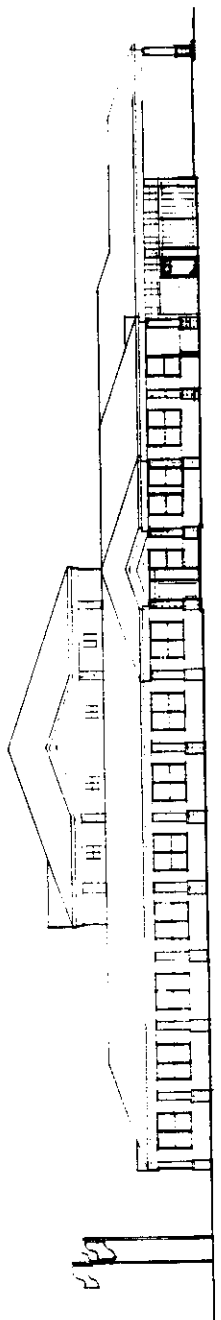
EAST ELEVATION (MAIN BUILDING)
SCALE 1/8"=1'-0"



SOUTH ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION
SCALE 1/8"=1'-0"



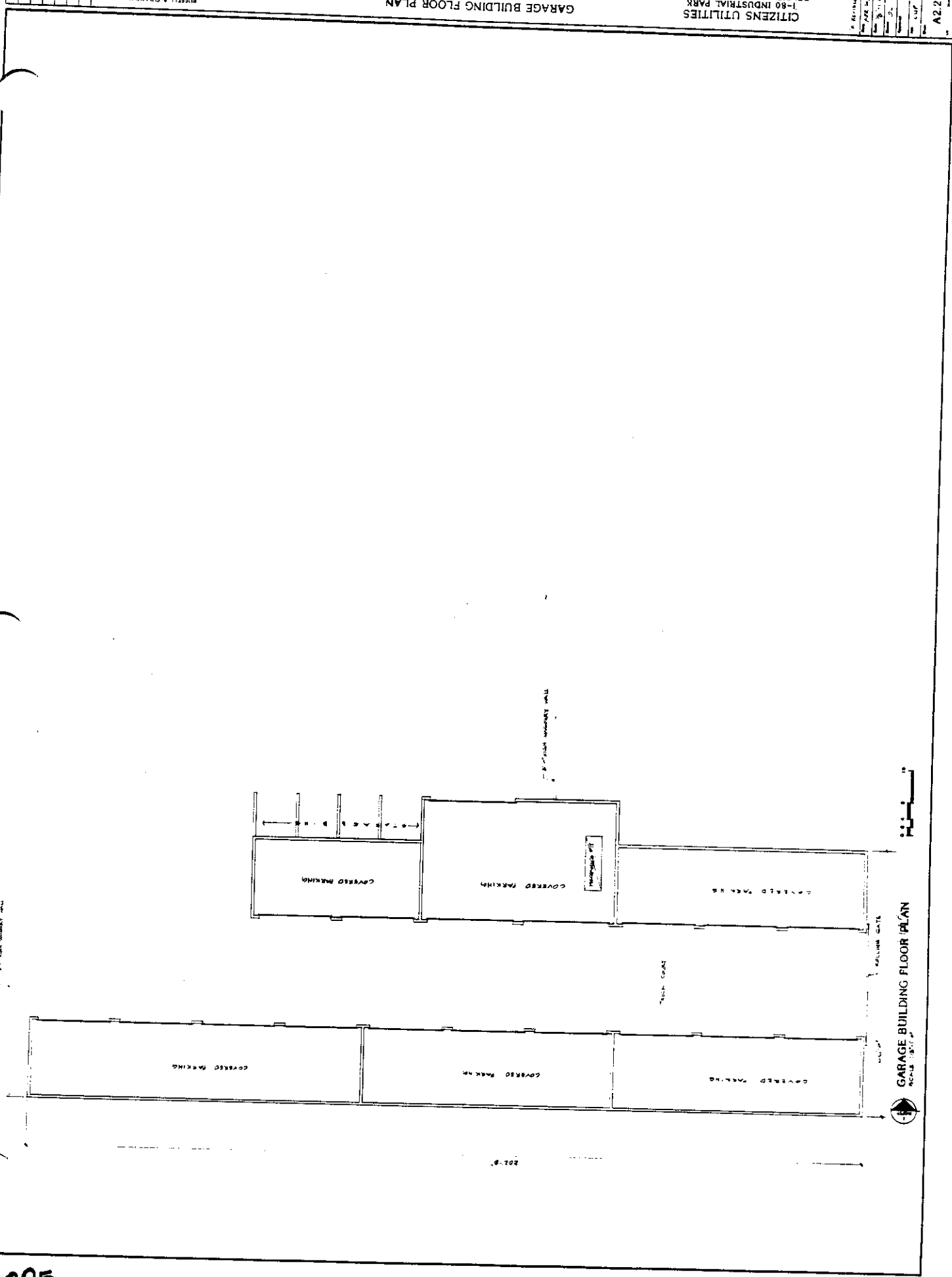
NORTH ELEVATION
SCALE 1/8"=1'-0"

CITIZENS UTILITIES
1-80 INDUSTRIAL PARK
SAC, CA

GARAGE BUILDING FLOOR PLAN

RUSSELL & STUBBS
ARCHITECTURAL FIRM
1000 CALIFORNIA STREET
SAN FRANCISCO, CA 94108
TEL: 415-774-1100

DATE	10/10/91
SCALE	1/8" = 1'-0"
PROJECT	CITIZENS UTILITIES
NO.	A2.2



GARAGE BUILDING FLOOR PLAN
SCALE: 1/8" = 1'-0"