

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0103263
Insp Area: 4

Site Address: 3833 SNELLING LN SAC
Parcel No: 225-1560-005 WESTBR 2-1 LOT 5

Sub-Type: NSFR
Housing (Y/N): N

CONTRACTOR
I&I PROPERTIES
3434 MARCONI AV STE C
SACRAMENTO CA 95821

OWNER

ARCHITECT

Nature of Work: NSFR MP3562 11 RMS

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.)

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 767107 Date 3/21/01 Contractor Signature Kona J. Caldwell

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code, any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption: Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00).

_____, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

_____, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law)

_____, I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3/21/01 Applicant/Agent Signature Kona J. Caldwell

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

_____, I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier RELIANCE INS CO Policy Number NWA2047932-00 Exp Date 11/18/2001

_____, (This section need not be completed if the permit is for HOUSING PLANNING shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 3/21/01 Applicant Signature Kona J. Caldwell

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

Inspector
copy

Lot #5

INSTALLATION CARD

Diamond Wall One Coat System
Omega Products International, Inc.

Project Address

3833 SNELLING LANE
SAC CA

ICBO Evaluation Service, Inc.
Report ER-4004

Date Completed

August 2001

Plastering Contractor

Name:

J. T. S Stucco Dio.

Address:

11285 White Rock Road

Telephone No.

(916) 635-2800

Approved contractor number as issued by Omega Products Int'l, Inc.

P.N. # 2227

This is to certify that the exterior coating system on the building exterior at the above address has been installed in accordance with the evaluation report and the manufacturer's instructions.

Don Richards
Signature of authorized representative of
plastering contractor

12-12-01
Date

This installation card must be presented to the building inspector after completion of work and

Lot # 5



WesPac

insulation
a MASCO Company



809 North Market Blvd., Ste. 11 • Sacramento, CA 95834
(916) 927-7149 • Fax (916) 927-4257
Lic. #487478

Installed Insulation Certificate

We certify that the building insulation listed herein is installed in conformance with current energy conservation regulations, California Administrative Code, Title 24, State of California

R FACTOR	AREA	TYPE	INCHES/BAGS (BLOWN)
R30	ATTIC	FIBERGLASS BLOW	12" / 37 BAGS
R30	CEILING	FIBERGLASS BATTS	10.25"
R13	EXTERIOR WALLS	FIBERGLASS BATTS	3.5"

JTS

Certified by 

THE SHORES/WESTLAKE SACRAMENT
Address of Lot Number 1188 WESTLAKE VILL 2/5

Title Secretary

Date Installed 09/26/01 Phase #

Lot 5
Inspector
COPY

3601.12 Architect Series Design

- NOTE: 1. THIS LPI JOIST IS DESIGNED TO SUPPORT ONLY VERTICAL LOADS AS SHOWN. VERIFICATION OF LATERAL BRACING FOR WIND OR OTHER LOADS IS THE RESPONSIBILITY OF THE PROJECT ARCHITECT OR ENGINEER.
1. REMOVE ANY OBSTRUCTIONS, SUCH AS PIPES OR DUCTWORK, FROM DAMAGED AREA
 2. ATTACH A 3/4" X 12 7/8" X 24" PIECE OF SHEATHING TO BOTH SIDES OF WEBS AS SHOWN, OF A MINIMUM LIBERAL AMOUNT OF CONSTRUCTION ADHESIVE AND BAIL WITH 2 ROWS OF 8d NAILS AT 8" O.C FROM EACH SIDE. CLINCH WHEN POSSIBLE.
 3. A NEW 8 3/4" HOLE CAN BE RE-OPENED ON THE NEW LOCATIONS AS SHOWN
- THIS REPAIR IS FOR THE REFERENCED PROJECT ONLY AND SHOULD NOT BE USED WITH ANY OTHER PROJECT OR DESIGN.

LOAD TABLE

NOTE: LOADS SHOWN ARE FOR INPUT LOAD CASE (1). OTHER LOAD CASES FOR PATTERNS LIVE LOADING ARE CHECKED AS REQUIRED. (DIMENSIONS MEASURED FROM LEFT END OF SPAN OR CANTILEVER)

DISTRIBUTION SOURCE TYPE	LOAD	FROM	TO	LOAD	LDL
FLOOR LIVE	53 P/LF	00-00-00	26-00-15		1,000
FLOOR DEAD	20 P/LF	00-00-00	26-00-15		0,900

WARNING NOTES:

THIS COMPONENT DESIGN IS SPECIFICALLY FOR LP ENGINEERED WOOD PRODUCTS. USE OF THIS DESIGN FOR ANYTHING OTHER THAN GANG-LAM LVL OR LPI JOISTS IS STRICTLY PROHIBITED. ANY MODIFICATION OF THIS DOCUMENT REQUIRES REVIEW BY A DESIGN PROFESSIONAL.

THIS SEAL INDICATES MY ROLE IN THIS DESIGN REVIEW OF THIS INDIVIDUAL BUILDING COMPONENT ONLY, BASED UPON THE SPECIFICATIONS SHOWN HERE AND ON THE ATTACHED PART OUT. I DISCLAIM RESPONSIBILITY FOR ALL PLANS, SPECIFICATIONS AND OTHER DOCUMENTS THAT MAY BE USED TO INCORPORATE THIS COMPONENT INTO A BUILDING DESIGN.

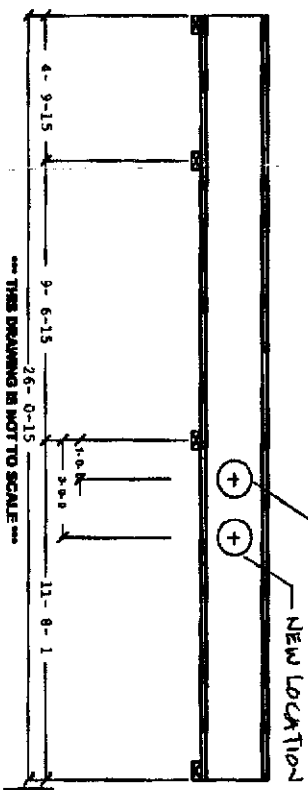
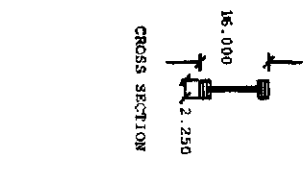
ANCHOR LPI JOIST SECURELY TO BEARINGS OR HANGERS

1. REMOVE ANY OBSTRUCTIONS, SUCH AS PIPES OR DUCTWORK, FROM DAMAGED AREA
 2. ATTACH A 3/4" X 12 7/8" X 24" PIECE OF SHEATHING TO BOTH SIDES OF WEBS AS SHOWN, OF A MINIMUM LIBERAL AMOUNT OF CONSTRUCTION ADHESIVE AND BAIL WITH 2 ROWS OF 8d NAILS AT 8" O.C FROM EACH SIDE. CLINCH WHEN POSSIBLE.
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SUPPORT REACTIONS (LBS):

CASE	BEARING	NUMBER
1	1	3
2	2	4

MIN BRACING SIZES (LR-SX)	1-12	3-8	3-8	1-12
1	115	514	937	342
2	31	141	256	93
3	196	177	680	352
4	-38	482	513	76
5	78	632	505	77
6	-1	376	946	341



DESIGN CRITERIA:	45	0.11
LIVE LOAD	53	PSE
DEAD LOAD	20	PSE
TOTAL LOAD	73	PSE

SEALING	16.00	IN.	C.C.
DEFLECTION CRITERIA:	1/40		
LIVE LOAD DEF.	1/40		
TOTAL LOAD DEF.	1/40		

LOAD BRACING: 4

CODE COMPLIANCES:

REPORT: 21-17.1
 ICB: PFC-3154
 I.M. CLEV: RR 25176
 SECT: 2029A
 WTCOIN: 200087-M
 N.Y. STATE: 650-95 MWC
 N.Y. CITY: WEA 98-94-E-VOL. 11
 CC-4C: 11094-R

SPAN TYPE: HEIGHT WIDTH DIST.
 (LR) (LR) (F)
 3 CIRCLE: 8.00 N/A 3.80
 3 CIRCLE: 8.00 N/A 3.80
 LOCATE CENTER LINE OF HOLE TO CENTER LINE OF WEBS AT DISTANCE SHOWN.

DEFLECTION ASSUMES COMPOSITE ACTION WITH GIRD AND NAIL-LED 19/32" APA RATED SHEATHING (32/16 SPAN RATING).

Temporary and permanent bracing for holding component in place during construction shall be provided by the contractor. The contractor shall be responsible for providing adequate bracing for the component until all the bracing and fastening are completed. At no time shall loads greater than design loads be applied to the component.

Design Criteria

The design and material specifications are in accordance with the design criteria of LR and AITC. The design and material specifications shall be in accordance with the design criteria of LR and AITC. The design and material specifications shall be in accordance with the design criteria of LR and AITC.

The use of this component shall be specified by the designer of the building structure. Consult all the necessary code changes approved and in effect at the time of design. The designer shall be responsible for providing adequate bracing for the component until all the bracing and fastening are completed. At no time shall loads greater than design loads be applied to the component.

Gang-Lam LVL and CTR LPI Joist Specifications

Support and connections for Gang-Lam LVL and CTR LPI Joists to be specified by the designer. The designer shall be responsible for providing adequate bracing for the component until all the bracing and fastening are completed. At no time shall loads greater than design loads be applied to the component.

LP Engineered Wood Products

2708 Highway 421 North
 Wilmington, NC 28401
 Local: (910) 762-8678
 National: (800) 859-9105

DWG # A0109-043
 SHEET # 1 of 1

Field Repair

for

Plan 110-WL, Lot 5 only

Repair of Roof Rafters

JTS Westlake Village II

City of Sacramento, California

for

JTS Communities

3434 Marconi Avenue Suite A

Sacramento, CA, 95821

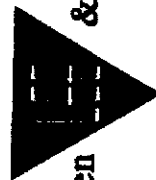
Phone: (916)487-3434 Fax: (916)487-3815



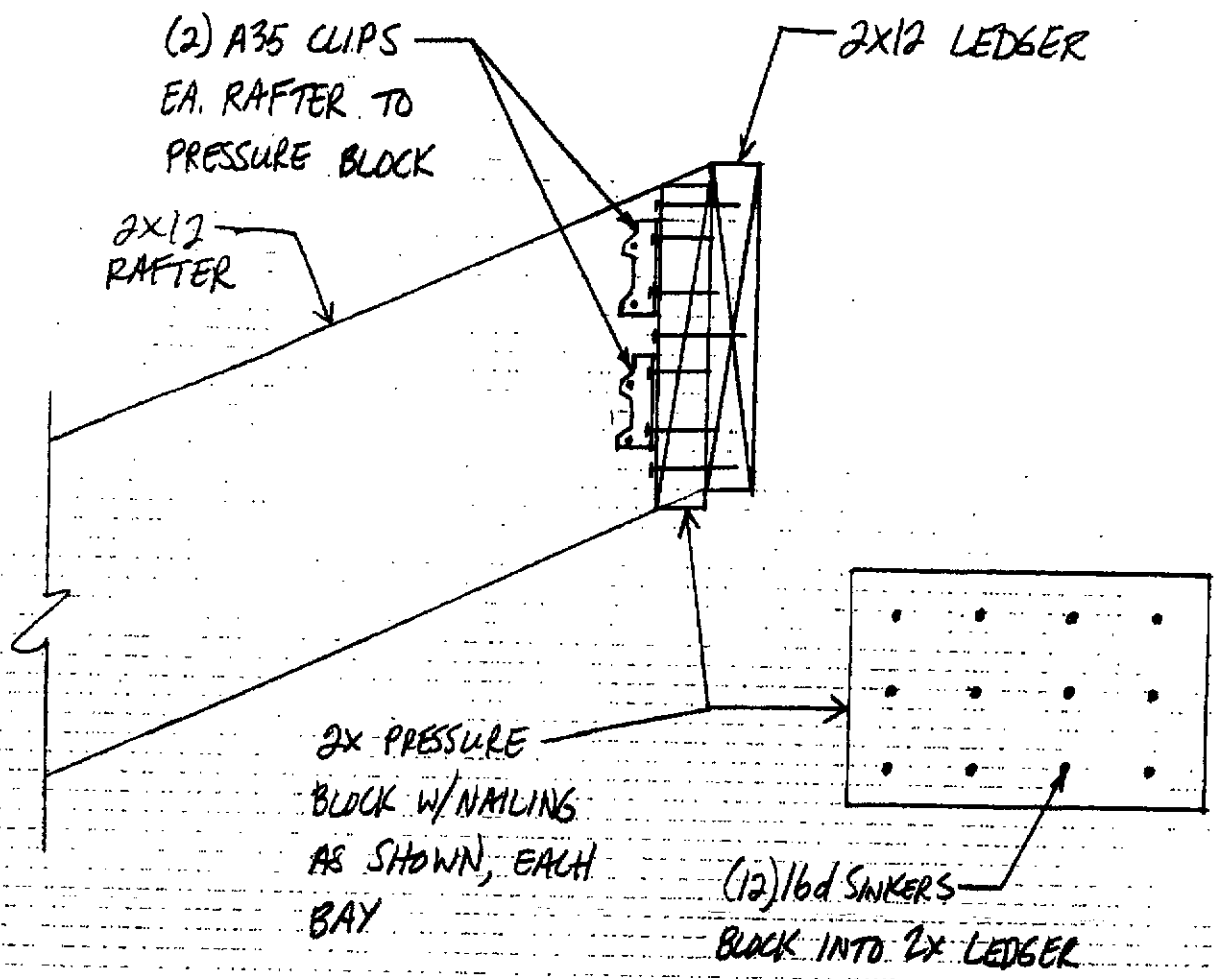
SEP 13 2001

Verne Kurokawa, C46702, Exp. 06-30-03

Chien & Associates, Inc. 871 Colman Ave, Suite 200, San Jose, California 95110 Phone: (408)293-0813 Fax: (408)293-0890

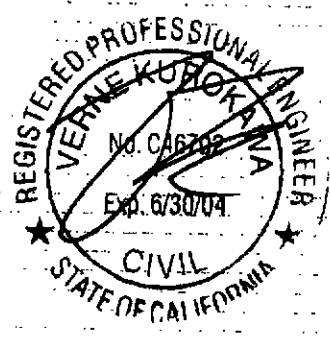


Chien



REPAIR OF ROOF RAFTERS

FOR PLAN 110-WL, LOT 5 ONLY



SEP 13 2001

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

Project Address: 3833 SNEILING LN.
Lot Number: 5

Assessor Parcel # 225-1560-005
Subdivision WESTBOROUGH Village 2, PHASE 1

OWNER INFORMATION:

Legal Property Owner: JTS Communities, Inc. Phone# 916-487-3434
Owner Address: 3434 MARCONI AVE. City SACRAMENTO State CA Zip 95821

CONTRACTOR INFORMATION:

Contractor: JTS Communities Lic. # 767107 Phone # 487-3434 Fax 487-3815

PROJECT INFORMATION:

Land Use Zone RIA Occupancy Group R3 Construction Type VN Fed Code 1A

No. of Stories: _____ No. of Rooms: _____ Street Width: _____

1st Floor Area 2403 2nd Floor Area 1159 Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:

Dwelling/Living 3,562

Garage/Storage 759

Decks/Balconies 8

Carports _____

SCOPE OF WORK: New SFD PLAN# 110-WL

FOR OFFICE USE ONLY

- Information Above Complete
- Violation Files Checked
- Standard Setbacks
- County Sewer
- AR Flood Waiver Required
- Flood Elevation Certificate Required
- Water Development Infill Area
- Planning Approval
- Design Review Approval
- Special Fee Districts Apply:

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

- 2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE
- 11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION
 - a) Assessors Parcel Number
 - b) New Floor Area
 - c) Owners Name
 - d) Project Address

Received by: (staff)

Permit # _____

ORIGINAL

MAR - 2 2001

Cindy Moreno

PAD = 21.4'

80.00'

LOT 5

PAD = 20.5'

PLAN 110WL

PAD = 20.5'

PAD = 20.9'

117.00'

117.00'

7'-6"

FENCE

FENCE

12'-6" PUE

TRANSFORMER

5'-CONC. WALK

23'-9"

20'-0"

0'-1"

80.00'

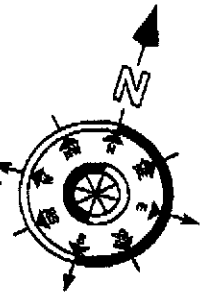
EP

ELECTRICAL SERVICE

WATER SERVICE

27'-6"

SNELLING LANE



2 STORY HOUSE
4-CAR GARAGE

LOT 5



Working Together to
Achieve Excellence

3434 Marconi Avenue
Sacramento, CA 95821

Suite A
(916) 487-3434

THE SHORES

APN # XXX-XX

SCALE = 1" = 20'

DATE: 03-01-2001

APPROVED FOR RELEASE

DATE

APPROVED FOR RELEASE

DATE