

REPORT AMENDED BY STAFF 6-9-88  
 REPORT AMENDED BY STAFF 6-3-88  
**CITY PLANNING COMMISSION**

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

**APPLICANT** Area West Engineers, Inc. - 5710 Garfield Avenue-B, Sacramento, CA 95841  
**OWNER** National Self Storage - 1760 F River Road-#302, Tucson, AZ 85718  
**PLANS BY** Area West Engineers, Inc. - 5710 Garfield Avenue-B, Sacramento, CA 95841  
**FILING DATE** 1-23-87 **ENVIR. DET.** 2-16-87 **REPORT BY** SD:sg  
**ASSESSOR'S-PCL. NO.** 274-110-010,011,012,013

- APPLICATION:**
- A. Negative Declaration
  - B. Time Extension for Special Permit for a 600 unit mini-storage facility.
  - C. Time Extension for a Special Permit for a caretaker's living quarters.
  - D. Special Permit Modification to alter the building configuration of the mini-storage facility.

**LOCATION:** Southwest corner of Northgate Boulevard and Garden Highway

**PROPOSAL:** The applicant is requesting to extend the necessary Special Permits to establish a 600 unit mini-storage facility and living quarters.

**PROJECT INFORMATION:**

General Plan Designation:	Community/Neighborhood Commercial and Offices
1978 South Natomas Community Plan Designation:	Business and Professional Offices
Existing Zoning of Site:	C-2 PC
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Commercial & Residential; SC, R-3	Front:	-0-	10'
South: American River Parkway; ARP-F	Side(St):	-0-	60'
East : Commercial; C-2	Side:	-0-	80'
West : American River Parkway; ARP-F	Rear:	-0-	110'

Parking Required:	6 spaces
Parking Provided:	7 spaces
Property Dimensions:	Irregular
Property Area:	7.8+ acres
Height of Building:	1 story; 10 ft. or 12'10"
Topography:	Flat
Street Improvements & Utilities:	To be provided
Exterior Building Materials:	Concrete block
Roof Material:	Metal
Exterior Colors:	Beige with dark brown trim

Square Footage of Buildings:	Building A - 2,160 sq. ft.
	Building B - 2,880 sq. ft.
	Building C - 3,600 sq. ft.
	Building D - 2,520 sq. ft.
	Building E - 15,120 sq. ft.
	Building F - 8,400 sq. ft.
	Building J - 15,560 sq. ft.
	Building I - 5,760 sq. ft.
	<hr/>
	56,000 sq. ft. total

BACKGROUND INFORMATION: On September 21, 1984, the applicant submitted a request for the necessary entitlements to develop a mini-storage and office/light commercial complex on 7.8± vacant acres (P84-357). In November of 1984, the Environmental Coordinator identified on-site Elderberry bushes as habitat for the Federally designated "threatened" Valley Elderberry Longhorn Beetle. A Negative Declaration was filed on October 14, 1985, requiring the applicant to enter into a Memorandum of Agreement with the Federal government to conserve and enhance the threatened beetle and its habitat.

Since approval of the project by the City Council on June 3, 1986, the Public Works Department has undertaken a study to determine the alignment of the proposed Arden Garden Connector. To date, an alignment has not been established. It is feasible, therefore, that the connector could be located on Garden Highway or along East Levee Road. Also, since the original approval, the applicant has received approval to modify the timing of the installation of landscaping and the location of 60 RV storage spaces along East Levee Road (P86-366),

PROJECT EVALUATION: Staff has made the following findings:

A. Land Use

The subject site is designated Community/Neighborhood Commercial and Offices in the General Plan. The site is designated Business and Professional Offices in the 1978 South Natomas Community Plan. The project is a modification of an approval which can be considered under the judgement and within the Natomas Community Association, et al., North City et al., Sacramento Superior Court Case No. 337704. The site is surrounded by a mixture of commercial and residential uses and the American River Parkway. The project was found to be consistent with the Community Plan designation with approval of the original request. The proposed project is also consistent with the current General Plan designation.

B. Design

The original application was approved for 600 mini-storage units in 60,430 sq. ft. of building. The mini-storage facility was proposed to occupy the western 3.7 acres of an irregularly shaped parcel. The eastern portion of the parcel was designated for 45,390± sq. ft. of office/light commercial facilities on 4.1 acres. No special permit was approved for the office/commercial portion and specific plans have not been submitted.

The site plan which was approved for the project was based upon the alignment of the Arden-Garden Connector being located on East Levee Road. The actual alignment has not yet been determined and the applicant wishes to proceed with the mini-storage facility. Plans have, therefore, been revised to accommodate either alignment of the road. This reduces the usable area of the site.

The applicant has submitted revised plans which make more efficient use of the irregularly shaped parcel. The number of buildings have been reduced from 10 to 8; square footage has been reduced from 60,430 sq. ft. to 56,000<sub>±</sub> sq. ft.; and the number of storage units reduced from 600 to 446.

The caretaker's living quarters, 35 x 40 feet in size, will be located at the entrance to the mini-storage facility as previously approved.

The applicant proposes concrete block masonry construction. There are two long unbroken walls facing Garden Highway. Staff recommends some design relief such as used along freeway walls to break up the massive walls. In addition, extensive landscaping should be used to further break up these walls and buffer the mini-storage facility. Detailed landscaping and irrigation plans shall be submitted for staff approval prior to issuance of building permits. Plans shall indicate 24 inch box specimen trees along Garden Highway.

C. Street Improvements

The original proposal was approved with the condition that street improvements be installed along Northgate Boulevard and Garden Highway. Since the alignment of the Arden Garden Connector is not known at this time, actual construction of street improvements is premature. Staff has, therefore, recommended a deposit of \$106,000.00 to cover the cost of constructing improvements along Northgate Boulevard and Garden Highway when the Arden-Garden alignment is established. This would eliminate the possibility of having to remove and reconstruct street improvements in the future if the alignment is other than what is constructed.

The Public Works Department requests that sufficient right-of-way for the Arden-Garden Connector be dedicated on both Garden Highway and on East Levee Road. After adoption of the specific alternative for the Arden-Garden Connector, the right-of-way provided for the rejected alternative shall revert back to the applicant.

D. Landscaping Installation

The original special permit has as a condition installation of 15 feet of non-repetitive, lush planting of native tree and plant species. Approval was based upon the Arden-Garden Connector being located on East Levee Road. That was modified on November 13, 1986 to permit the temporary installation of an RV storage facility along East Levee Road. The applicant was required to make a cash contribution in the amount of \$33,415.00 to cover the costs of landscaping when the RV facility is removed upon construction of the Arden-Garden Connector on East Levee Road. The RV facility special permit has a time limit of five years based upon the projected construction of the Arden-Garden Connector. If the Arden-Garden Connector is constructed on Garden highway, the applicant

requests reimbursement of the amount contributed for landscaping. The applicant is reducing developability of the site by agreeing to dedicate right-of-way for both alternatives of the Arden-Garden Connector. If the connector alignment is on Garden Highway, landscaping along East Levee Road will be necessary according to Parkway Corridor regulations. At the time the special permit is renewed, staff will consider returning any unneeded landscaping funds to the applicant.

The approval of the RV facility also required a tree-planter every 10 storage spaces and a planter along the structure walls wide enough to support climbing vines. This will help buffer the long unbroken walls of the mini-storage from the connector and cannot be installed when the alignment is decided upon. The applicant remains responsible for this landscaping.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has reviewed the proposed project and has filed a Negative Declaration based on compliance with all mitigation measures identified in the previous environmental assessment which have not been implemented as follows:

- A. The applicant shall remove only those eight trees so identified. All other trees shall be protected and retained to the satisfaction of the Director of Parks and Community Services and the City Planning Director.
- B. Prior to issuance of building permit (s) for the mini-storage, a tree removal/retention plan for that parcel shall be submitted for review and approval of the Director of Parks and Community Services and the City Planning Director.
- C. All trees shall be protected and retained until building permits are issued for the site.
- D. Grading, trenching, cutting and/or filling within the dripline of those trees identified for preservation shall not occur.
- E. No actions shall be taken that will harm the health, vitality, or longevity of those trees to be preserved.
- F. Detailed landscape and irrigation plans shall be submitted for review by Environmental Planning staff and City Landscape Architect prior to issuance of building permits. Plans shall also include maintenance of vegetative cover over all the remainder of the site until such time as development occurs.
- G. Landscaping and irrigation for the mini-storage shall be installed prior to issuance of final building inspection approval for the storage units.
- H. The applicant shall comply with all conditions contained in the signed Memorandum of Agreement with the U. S. Fish and Wildlife Service to the satisfaction of that agency.
- I. All development shall comply with conditions set forth in the Parkway Corridor zone.

RECOMMENDATION: Staff recommends that the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve a one-time, one year time extension for the Special Permit for a mini-storage facility to expire May 8, 1989;
- C. Approve a one-time, one-year time extension for the Special Permit for a caretaker's living quarters to expire May 8, 1989.
- D. Approve the Special Permit Modifications to change the mini-storage building configuration subject to Conditions and based upon Findings of Fact which follow. Special Permit Modification shall lapse on May 8, 1989 (must be renewed by May 8, 1991 if the Arden-Garden Connector is not located on East Levee Road).

Conditions

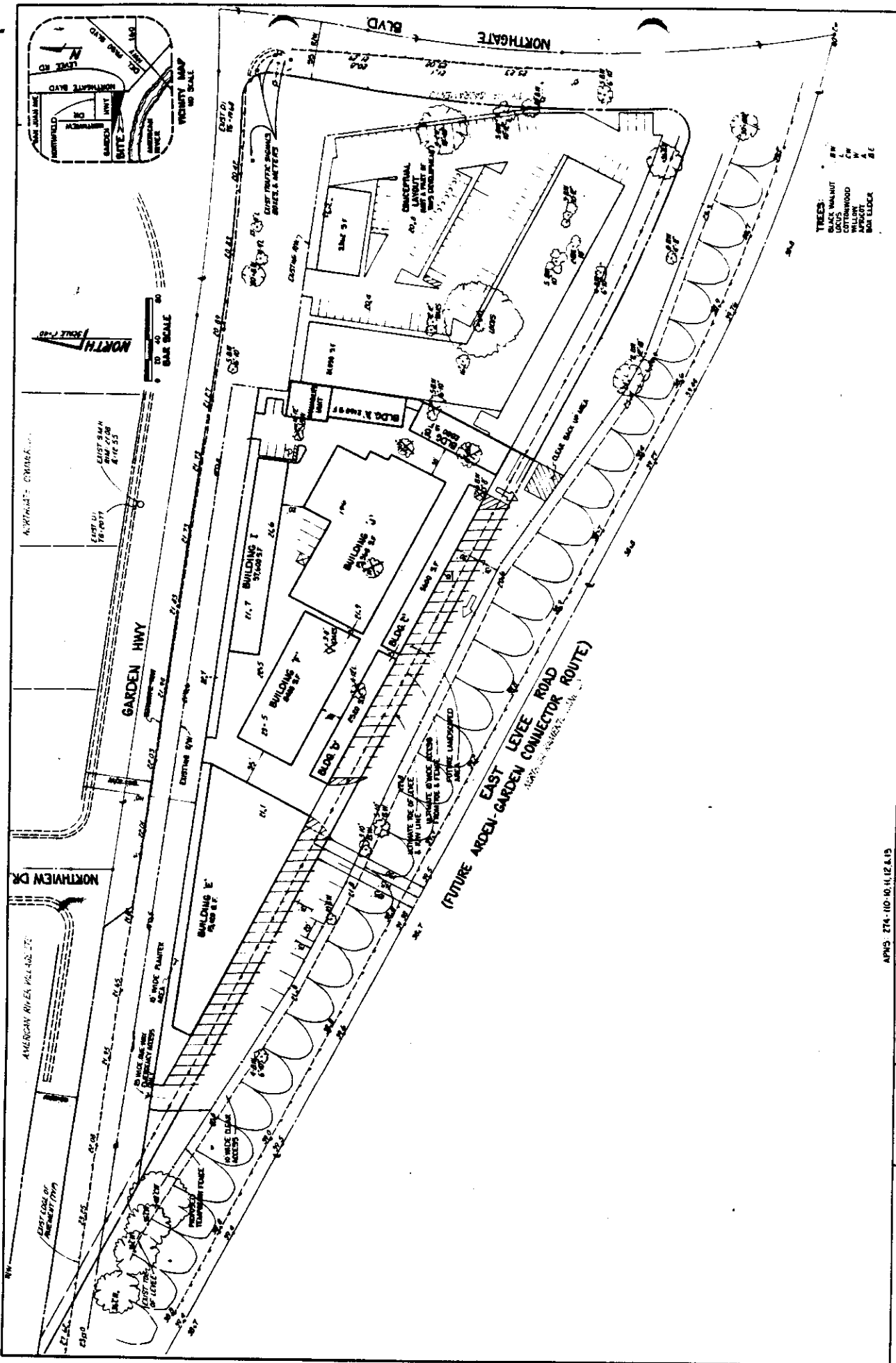
1. Prior to issuance of building permits, the applicant shall submit for staff approval, a wall detail for the north walls of buildings E and I indicating design relief for those walls.
2. The applicant shall submit for Parks and Community Services review and approval, a detailed landscape/irrigation plan for the on-site planter and along Garden Highway indicating climbing vines along the north walls of buildings E and I and 24 inch box specimen trees in sufficient numbers to buffer the walls prior to issuance of building permits.
- \*3. The applicant shall make a cash contribution in the amount of \$33,415 to the City prior to issuance of building permits for the mini-storage and/or recreational vehicle storage. This contribution fulfills the landscaping requirements along East Levee Road adjacent to the mini-storage/RV facility. *At the time the special permit is renewed staff will consider returning these landscaping funds to the applicant. (staff added)*
4. In addition to the above contribution, the applicant shall landscape behind the mini-storage structures adjacent to the levee with trees every 10 RV spaces and a planter supporting climbing vines. Landscaping and irrigation plans shall be reviewed and approved by Parks and Community Services prior to issuance of building permits.
5. The applicant shall locate two trash enclosures on the site in compliance with the Trash Enclosure Standards of the Zoning Ordinance.
6. The special permit modification for the recreational vehicle storage shall be limited to five years, renewable only if plans to locate the Arden-Garden Connector on East Levee Road are abandoned. The applicant shall request renewal at least 30 days prior to expiration of the special permit (approved November 13, 1986; lapses May 8, 1989; expires May 8, 1991).

7. The applicant shall remove only those eight trees so identified on the mini-storage portion of the site. All other trees shall be protected and retained to the satisfaction of the Director of Parks and Community Services and the City Planning Director.
8. Prior to issuance of building permits for the mini-storage portion of the site, a tree removal/retention plan for the undeveloped portion of the site shall be submitted for the review and approval of the Director of Parks and Community Services and the Planning Director.
9. Grading, trenching, cutting and/or filling within the dripline of those trees identified for preservation shall not occur.
10. No action shall be taken to harm the health, vitality or longevity of those trees to be preserved.
11. Landscaping and irrigation, as outlined in Conditions 2 and 4, shall be installed prior to issuance of final building inspection approval for the storage units.
12. The applicant shall comply with all conditions contained in the signed Memorandum of Agreement with the U.S. Fish and Wildlife Service, to the satisfaction of the agency.
13. All development shall comply with conditions set forth in the parkway corridor zone.
14. A signage program for the self-storage facility shall be submitted to the Planning Director for review and approval prior to issuance of sign permits. Any proposed detached signs shall be monument signs.
15. The waste disposal areas shall be screened by a minimum six foot high solid masonry wall.
16. The proposed temporary fencing 10 feet away from and adjacent to the levee toe along the southern boundary of the property shall be a minimum of six feet high.
17. The design and materials of the mini-storage units should be compatible with the design and materials of the manager's unit.
18. Existing billboards on the subject property shall be removed prior to issuance of building permits.
19. A sewer, drainage, and water study for the subject property shall be prepared subject to the review and approval of the City Engineer.
20. The subject property shall annex to both the Sacramento Regional County Sanitation District and County Sanitation District Number 1 and shall obtain/dedicate necessary public sewer easements from/to adjacent properties.

21. The Improvement Requirement Certificate for the subject property shall state: Construct public sewer lateral.
22. No structures, fences, pipelines or other appurtenances shall be allowed within 65 feet from the center line of the east levee or 10 feet from the levee toe. Only ramps, stairways, walkways and vegetation may be permitted. Vegetation must be in conformance with California State Reclamation Board "Guide for Vegetation on Project Levees".
23. Dedicate right-of-way along Garden Highway to 80 foot right-of-way with a 110 foot expanded intersection at Northgate Boulevard plus slope easements and right-of-way on East Levee Road (details to be worked out with Public Works) for the Arden-Garden Connection. When a right-of-way is adopted, unneeded right-of-way (including what is now City owned) on the rejected alternative shall revert to the applicant.
24. The applicant shall make a cash contribution in the amount of \$106,000 to the City prior to issuance of building permits for the mini-storage and/or recreational vehicle storage. This contribution cover the estimated costs of street improvements along Northgate Boulevard and Garden Highway.

#### Findings of Fact

1. The special permits are based upon sound principles of land use in that:
  - a. they are consistent with previous approvals;
  - b. they are compatible with the recreational vehicle storage approved for the site; and
  - c. there are fewer mini-storage units and less building area than previously approved.
2. The project will not be detrimental to public health or safety or result in a nuisance in that:
  - a. long monotonous walls along Garden Highway will be broken with design relief;
  - b. climbing vines and landscaping will further buffer the long walls; and
  - c. adequate parking is provided.
3. The project is consistent with the 1978 South Natomas Community Plan which designates the site for Business and Professional Offices and the proposed mini-storage conforms with the plan designation.



BENCHMARK: 47 76 ELEVATION: 2023 7/8" METAL DISK LOCATED IN CORNERED SQUARE TOP OF VERTICAL CURB CENTER OF CURB RETURN AVE & NORTHGATE BLVD		RICHARD RODRIGUEZ REG. CIVIL	DESIGNED BY: R.E. DRAFTED BY: JT CHECKED BY: R.E.	APNS: 274-110-10, 11, 12 & 15 AREA <b>WEST ENGINEERS, INC.</b> CIVIL ENGINEERS 11001 W. 10TH AVE., SUITE 100 LOS ANGELES, CALIFORNIA 90024	SHEETS: 1 OF 1 DATE: 6/9/88
AMENDED SITE PLAN FOR SOUTHWEST CORNER OF GARDEN HWY AND NORTHGATE BOULEVARD		SCALE: 1" = 40' NORTH	PROJECT NO.: 84-45	DATE: 6/9/88	SHEET NO.: 1 OF 1

P84-357

6.9.88

Item 4



REPORT AMENDED BY STAFF 6-3-88  
**CITY PLANNING COMMISSION**

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

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  - D. Special Permit Modification to alter the building configuration of the mini-storage facility.

**LOCATION:** Southwest corner of Northgate Boulevard and Garden Highway

**PROPOSAL:** The applicant is requesting to extend the necessary Special Permits to establish a 600 unit mini-storage facility and living quarters.

**PROJECT INFORMATION:**

General Plan Designation:	Community/Neighborhood Commercial and Offices
1978 South Natomas Community	
Plan Designation:	Business and Professional Offices
Existing Zoning of Site:	C-2 PC
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
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South: American River Parkway; ARP-F	Side (St):	-0-	60'
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West : American River Parkway; ARP-F	Rear:	-0-	110'

Parking Required:	6 spaces
Parking Provided:	7 spaces
Property Dimensions:	Irregular
Property Area:	7.8+ acres
Height of Building:	1 story; 10 ft. or 12'10"
Topography:	Flat
Street Improvements & Utilities:	To be provided
Exterior Building Materials:	Concrete block
Roof Material:	Metal
Exterior Colors:	Beige with dark brown trim

*see amended report*

Square Footage of Buildings:	Building A - 2,160 sq. ft.
	Building B - 2,880 sq. ft.
	Building C - 3,600 sq. ft.
	Building D - 2,520 sq. ft.
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PROJECT EVALUATION: Staff has made the following findings:

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The site plan which was approved for the project was based upon the alignment of the Arden-Garden Connector being located on East Levee Road. The actual alignment has not yet been determined and the applicant wishes to proceed with the mini-storage facility. Plans have, therefore, been revised to accommodate either alignment of the road. This reduces the usable area of the site.

The applicant has submitted revised plans which make more efficient use of the irregularly shaped parcel. The number of buildings have been reduced from 10 to 8; square footage has been reduced from 60,430 sq. ft. to 56,000± sq. ft.; and the number of storage units reduced from 600 to 446.

The caretaker's living quarters, 35 x 40 feet in size, will be located at the entrance to the mini-storage facility as previously approved.

The applicant proposes concrete block masonry construction. There are two long unbroken walls facing Garden Highway. Staff recommends some design relief such as used along freeway walls to break up the massive walls. In addition, extensive landscaping should be used to further break up these walls and buffer the mini-storage facility. Detailed landscaping and irrigation plans shall be submitted for staff approval prior to issuance of building permits. Plans shall indicate 24 inch box specimen trees along Garden Highway.

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The Public Works Department requests that sufficient right-of-way for the Arden-Garden Connector be dedicated on both Garden Highway and on East Levee Road. After adoption of the specific alternative for the Arden-Garden Connector, the right-of-way provided for the rejected alternative shall revert back to the applicant.

D. Landscaping Installation

The original special permit has as a condition installation of 15 feet of non-repetitive, lush planting of native tree and plant species. Approval was based upon the Arden-Garden Connector being located on East Levee Road. That was modified on November 13, 1986 to permit the temporary installation of an RV storage facility along East Levee Road. The applicant was required to make a cash contribution in the amount of \$33,415.00 to cover the costs of landscaping when the RV facility is removed upon construction of the Arden-Garden Connector on East Levee Road. The RV facility special permit has a time limit of five years based upon the projected construction of the Arden-Garden Connector. If the Arden-Garden Connector is constructed on Garden highway, the applicant

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The approval of the RV facility also required a tree-planter every 10 storage spaces and a planter along the structure walls wide enough to support climbing vines. This will help buffer the long unbroken walls of the mini-storage from the connector and cannot be installed when the alignment is decided upon. The applicant remains responsible for this landscaping.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has reviewed the proposed project and has filed a Negative Declaration based on compliance with all mitigation measures identified in the previous environmental assessment which have not been implemented as follows:

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- B. Prior to issuance of building permit (s) for the mini-storage, a tree removal/retention plan for that parcel shall be submitted for review and approval of the Director of Parks and Community Services and the City Planning Director.
- C. All trees shall be protected and retained until building permits are issued for the site.
- D. Grading, trenching, cutting and/or filling within the dripline of those trees identified for preservation shall not occur.
- E. No actions shall be taken that will harm the health, vitality, or longevity of those trees to be preserved.
- F. Detailed landscape and irrigation plans shall be submitted for review by Environmental Planning staff and City Landscape Architect prior to issuance of building permits. Plans shall also include maintenance of vegetative cover over all the remainder of the site until such time as development occurs.
- G. Landscaping and irrigation for the mini-storage shall be installed prior to issuance of final building inspection approval for the storage units.
- H. The applicant shall comply with all conditions contained in the signed Memorandum of Agreement with the U. S. Fish and Wildlife Service to the satisfaction of that agency.
- I. All development shall comply with conditions set forth in the Parkway Corridor zone.

RECOMMENDATION: Staff recommends that the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve a one-time, one year time extension for the Special Permit for a mini-storage facility to expire May 8, 1989;
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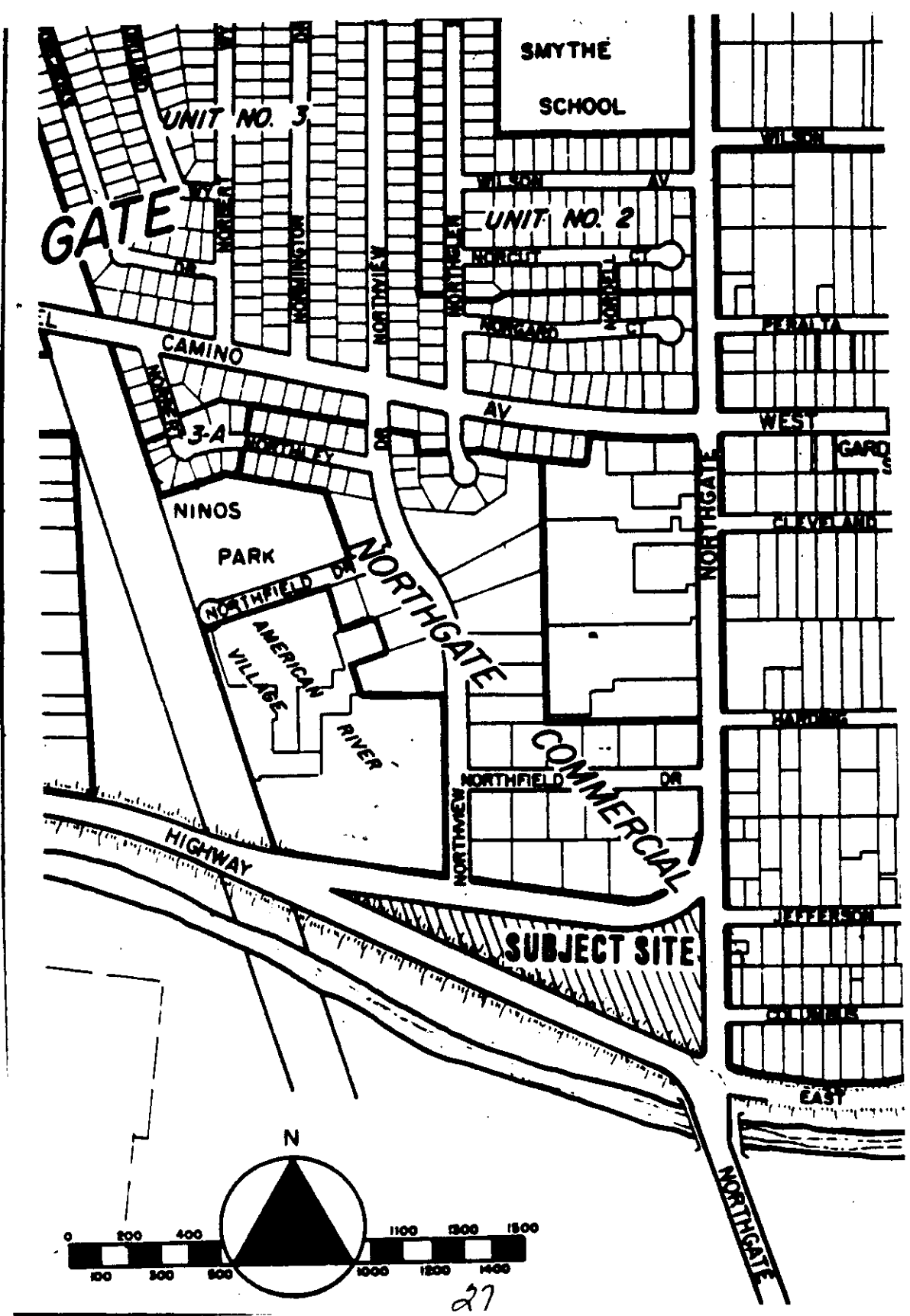
1. Prior to issuance of building permits, the applicant shall submit for staff approval, a wall detail for the north walls of buildings E and I indicating design relief for those walls.
2. The applicant shall submit for Parks and Community Services review and approval, a detailed landscape/irrigation plan for the on-site planter and along Garden Highway indicating climbing vines along the north walls of buildings E and I and 24 inch box specimen trees in sufficient numbers to buffer the walls prior to issuance of building permits.
3. The applicant shall make a cash contribution in the amount of \$33,415 to the City prior to issuance of building permits for the mini-storage and/or recreational vehicle storage. This contribution fulfills the landscaping requirements along East Levee Road adjacent to the mini-storage/RV facility.
4. In addition to the above contribution, the applicant shall landscape behind the mini-storage structures adjacent to the levee with trees every 10 RV spaces and a planter supporting climbing vines. Landscaping and irrigation plans shall be reviewed and approved by Parks and Community Services prior to issuance of building permits.
5. The applicant shall locate two trash enclosures on the site in compliance with the Trash Enclosure Standards of the Zoning Ordinance.
6. The special permit modification for the recreational vehicle storage shall be limited to five years, renewable only if plans to locate the Arden-Garden Connector on East Levee Road are abandoned. The applicant shall request renewal at least 30 days prior to expiration of the special permit (approved November 13, 1986; lapses May 8, 1989; expires May 8, 1991).

7. The applicant shall remove only those eight trees so identified on the mini-storage portion of the site. All other trees shall be protected and retained to the satisfaction of the Director of Parks and Community Services and the City Planning Director.
8. Prior to issuance of building permits for the mini-storage portion of the site, a tree removal/retention plan for the undeveloped portion of the site shall be submitted for the review and approval of the Director of Parks and Community Services and the Planning Director.
9. Grading, trenching, cutting and/or filling within the dripline of those trees identified for preservation shall not occur.
10. No action shall be taken to harm the health, vitality or longevity of those trees to be preserved.
11. Landscaping and irrigation, as outlined in Conditions 2 and 4, shall be installed prior to issuance of final building inspection approval for the storage units.
12. The applicant shall comply with all conditions contained in the signed Memorandum of Agreement with the U.S. Fish and Wildlife Service, to the satisfaction of the agency.
13. All development shall comply with conditions set forth in the parkway corridor zone.
14. A signage program for the self-storage facility shall be submitted to the Planning Director for review and approval prior to issuance of sign permits. Any proposed detached signs shall be monument signs.
15. The waste disposal areas shall be screened by a minimum six foot high solid masonry wall.
16. The proposed temporary fencing 10 feet away from and adjacent to the levee toe along the southern boundary of the property shall be a minimum of six feet high.
17. The design and materials of the mini-storage units should be compatible with the design and materials of the manager's unit.
18. Existing billboards on the subject property shall be removed prior to issuance of building permits.
19. A sewer, drainage, and water study for the subject property shall be prepared subject to the review and approval of the City Engineer.
20. The subject property shall annex to both the Sacramento Regional County Sanitation District and County Sanitation District Number 1 and shall obtain/dedicate necessary public sewer easements from/to adjacent properties.

21. The Improvement Requirement Certificate for the subject property shall state: Construct public sewer lateral.
22. No structures, fences, pipelines or other appurtenances shall be allowed within 65 feet from the center line of the east levee or 10 feet from the levee toe. Only ramps, stairways, walkways and vegetation may be permitted. Vegetation must be in conformance with California State Reclamation Board "Guide for Vegetation on Project Levees".
23. Dedicate right-of-way along Garden Highway to 80 foot right-of-way with a 110 foot expanded intersection at Northgate Boulevard plus slope easements and right-of-way on East Levee Road (details to be worked out with Public Works) for the Arden-Garden Connection. When a right-of-way is adopted, unneeded right-of-way (including what is now City owned) on the rejected alternative shall revert to the applicant.
24. The applicant shall make a cash contribution in the amount of \$106,000 to the City prior to issuance of building permits for the mini-storage and/or recreational vehicle storage. This contribution cover the estimated costs of street improvements along Northgate Boulevard and Garden Highway.

Findings of Fact

1. The special permits are based upon sound principles of land use in that:
  - a. they are consistent with previous approvals;
  - b. they are compatible with the recreational vehicle storage approved for the site; and
  - c. there are fewer mini-storage units and less building area than previously approved.
2. The project will not be detrimental to public health or safety or result in a nuisance in that:
  - a. long monotonous walls along Garden Highway will be broken with design relief;
  - b. climbing vines and landscaping will further buffer the long walls; and
  - c. adequate parking is provided.
3. The project is consistent with the 1978 South Natomas Community Plan which designates the site for Business and Professional Offices and the proposed mini-storage conforms with the plan designation.



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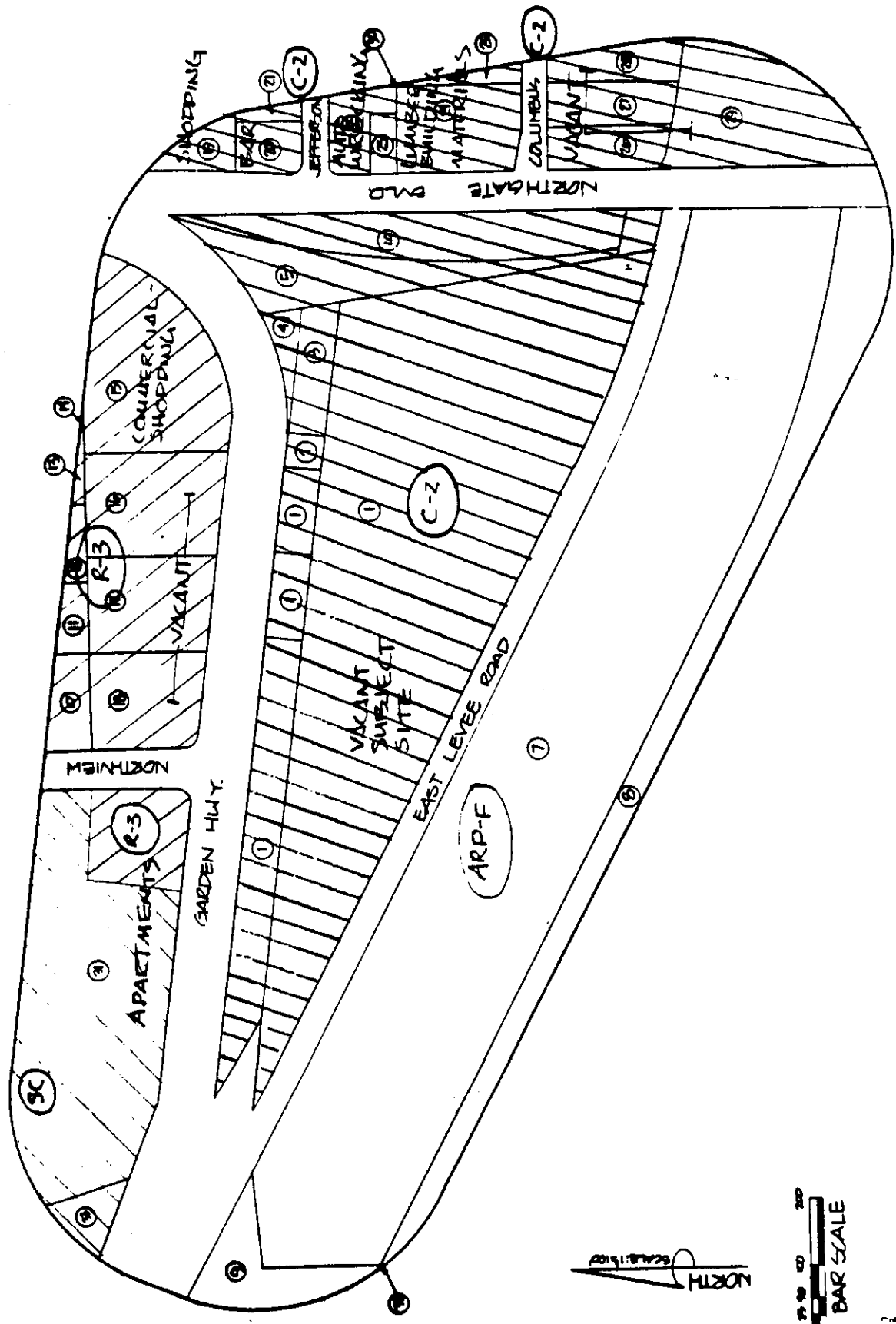
**VICINITY MAP**

P 84-357

6-24-88  
 April 24, 1988

Item No. 94



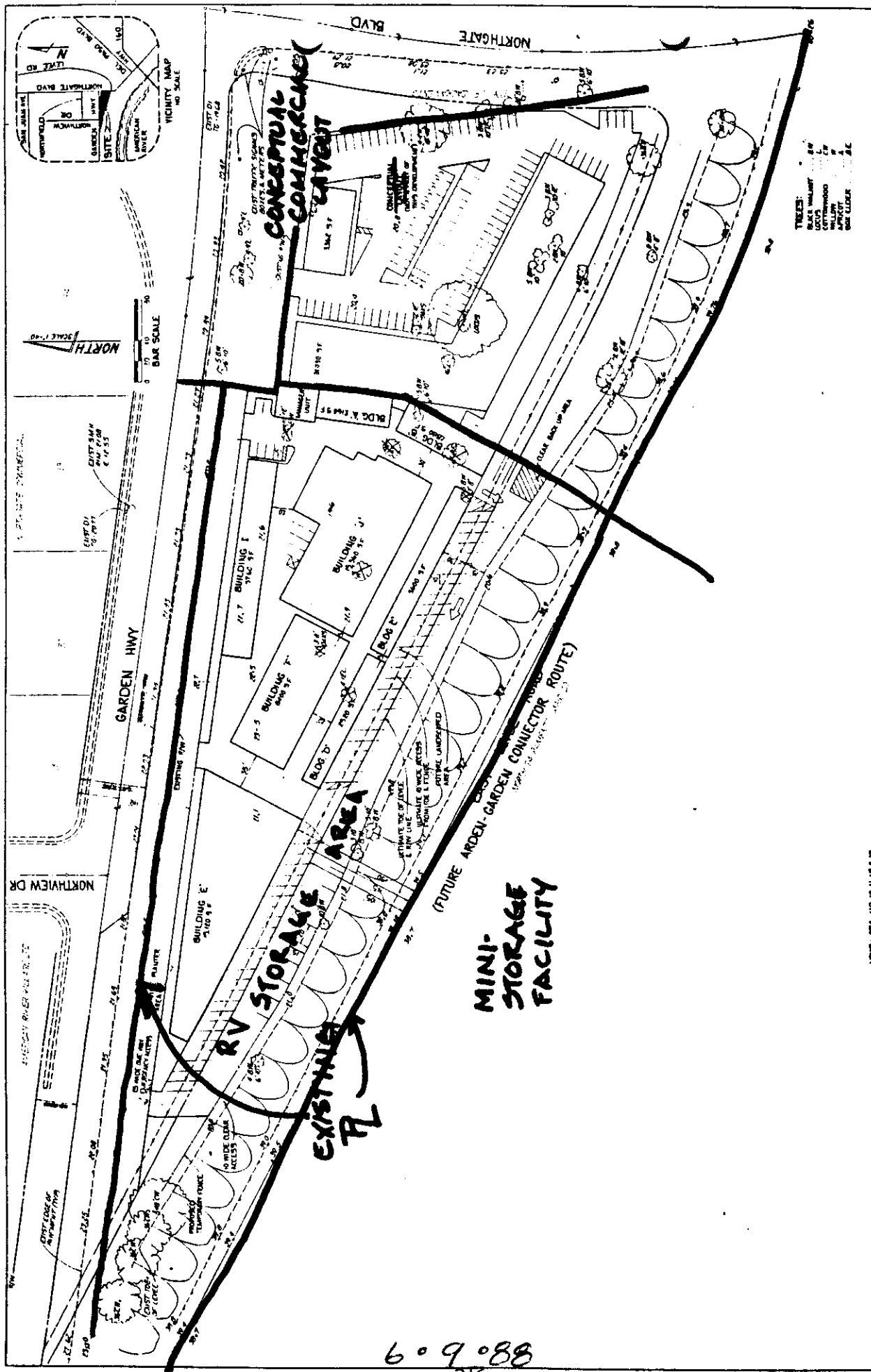


# LAND USE & ZONING MAP

P. 84-357

60-9988  
 April 13, 1988

Item No. 4



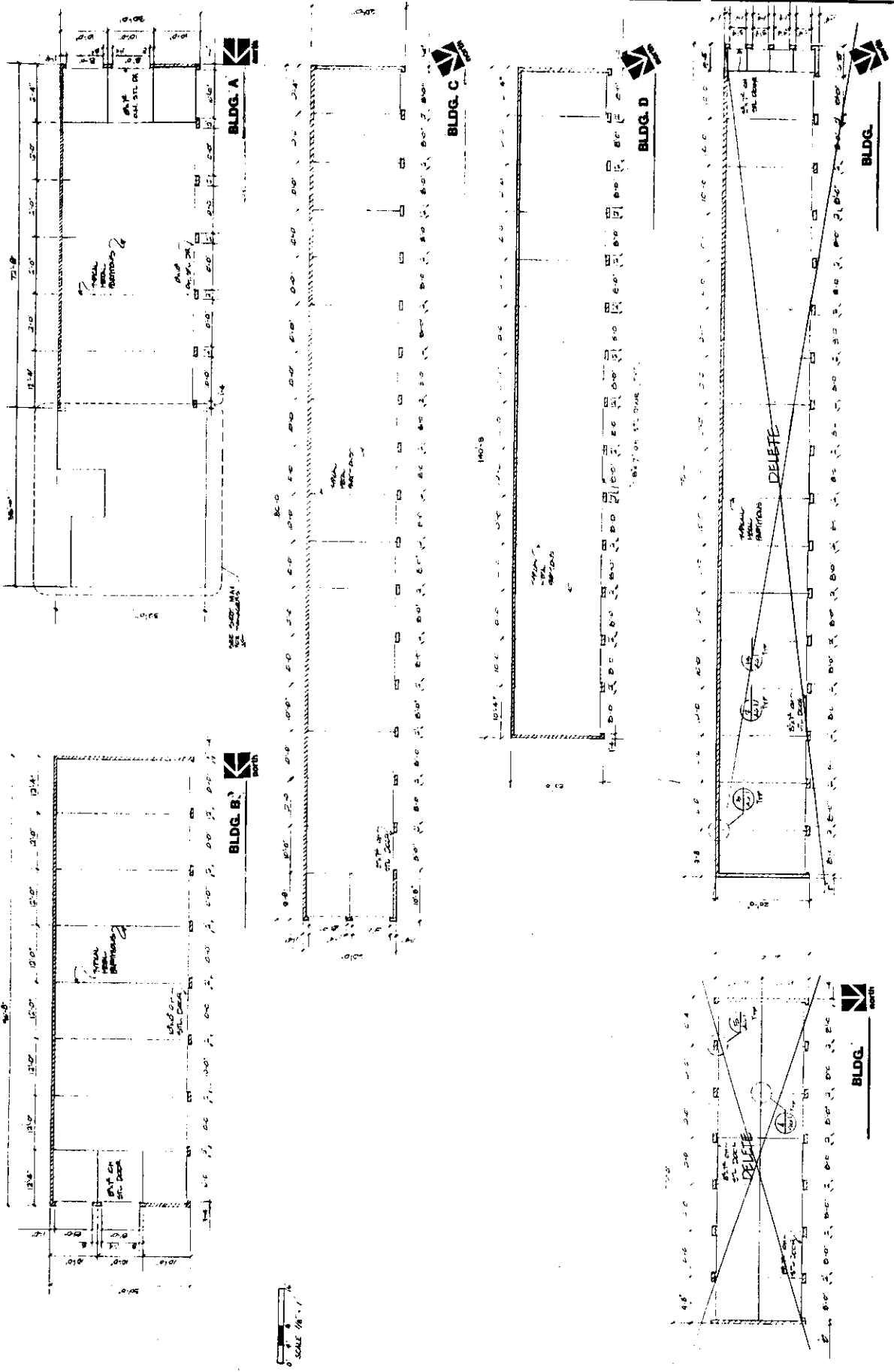
PROJECT NO. 84-45 SHEET NO. 1 OF 1	
SCALE: 1" = 10' DATE: 4/12/88	DRAWN BY: J.A. CHECKED BY: J.E.
AREA <b>WEST ENGINEERS, INC.</b> CIVIL ENGINEERS - PLANNERS - ARCHITECTS 1000 MARKET STREET, SUITE 200 SACRAMENTO, CALIFORNIA 95811	
AMENDED SITE PLAN FOR SOUTHWEST CORNER OF GARDEN HWY AND NORTHGATE BOULEVARD CITY OF SACRAMENTO	
DESIGNED BY: J.E. DRAWN BY: J.E. CHECKED BY: J.E.	REVISIONS: NO. DESCRIPTION DATE
APPROVED: [Signature] CIVIL ENGINEER 4/12/88	

6-9-88  
 April 12, 1988

P84-357

Item #

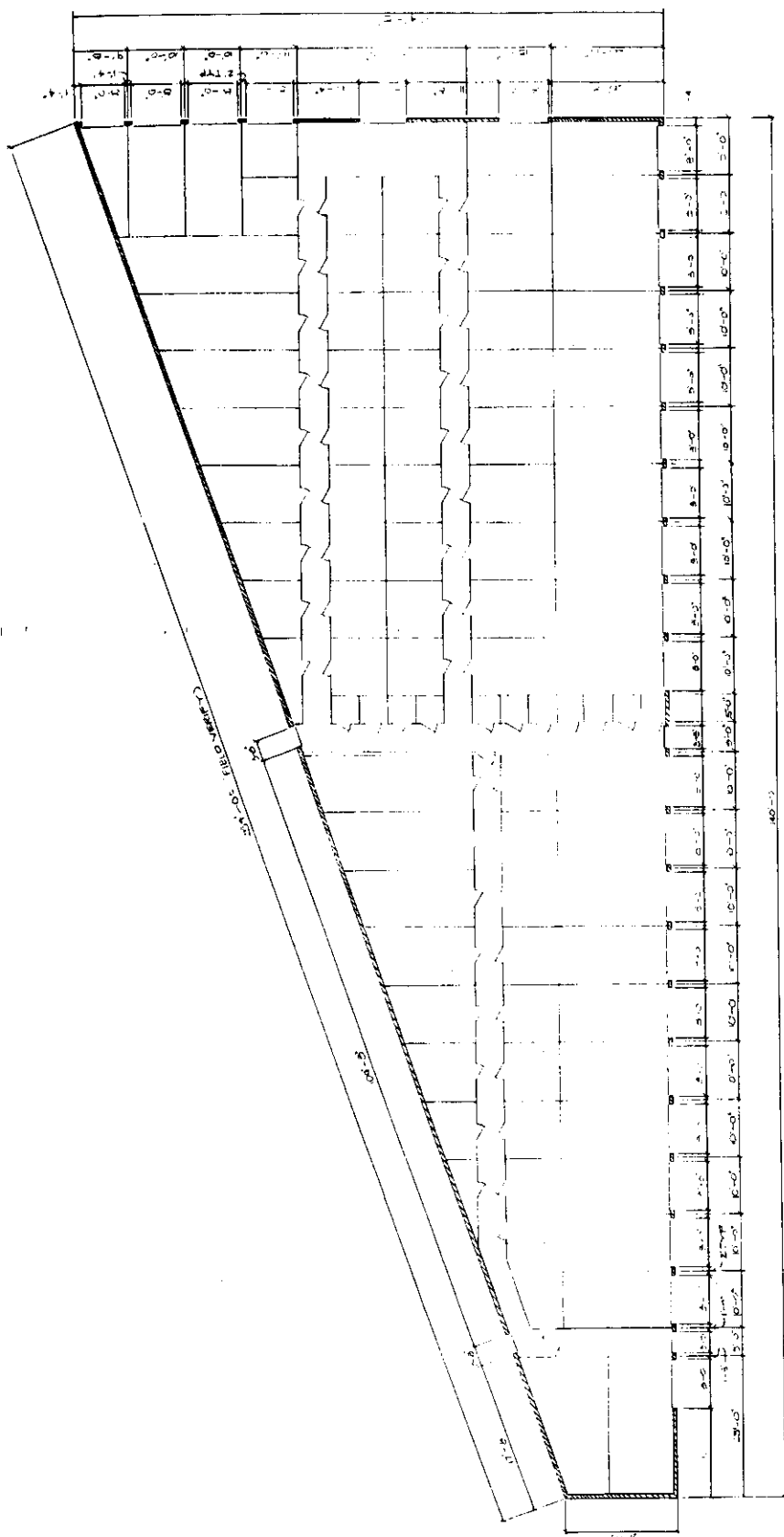
**FLOOR PLAN**



P84-351

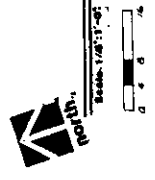
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Item No. 4



BUILDING E

# FLOOR PLAN



6-9-88  
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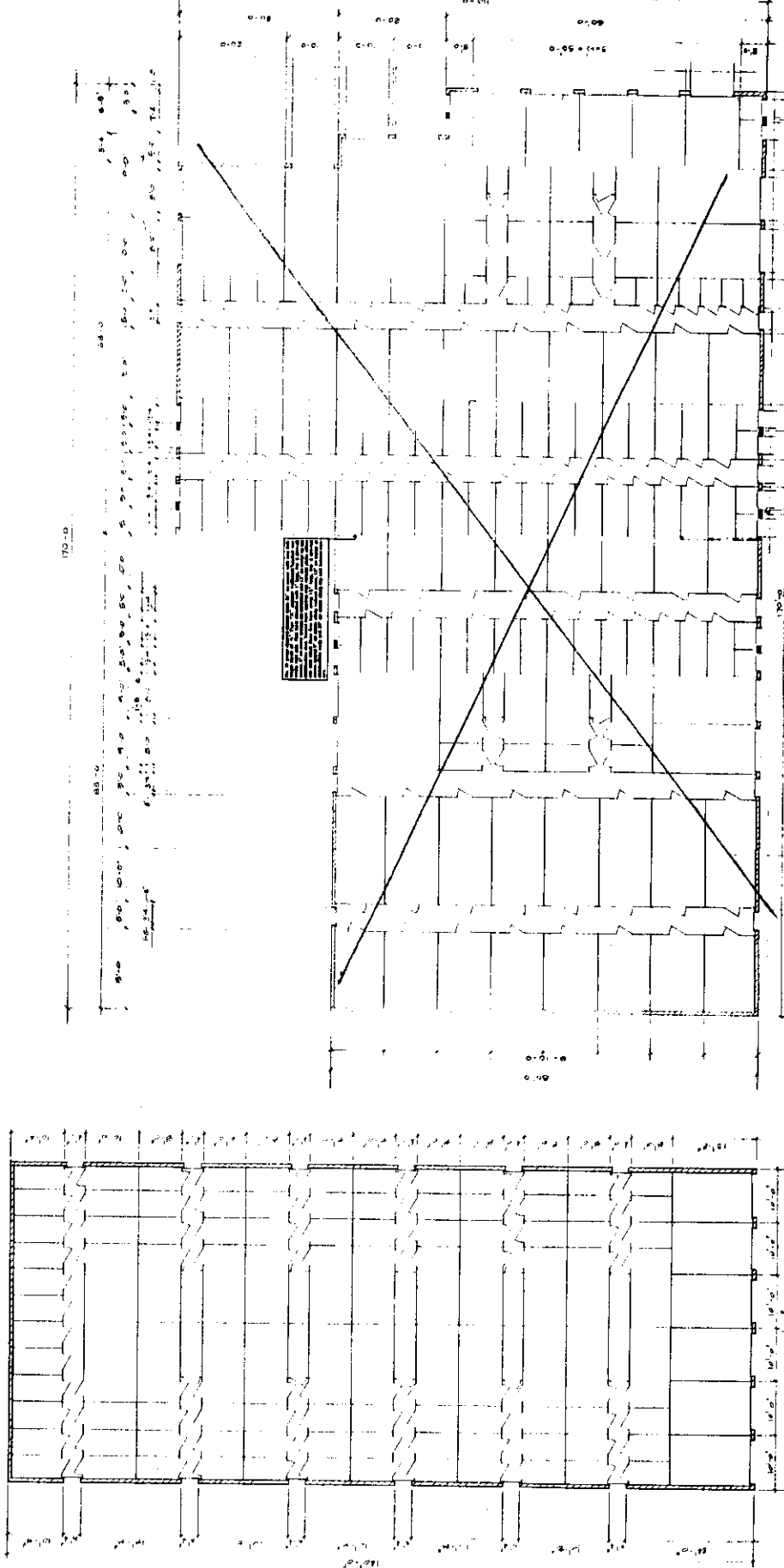
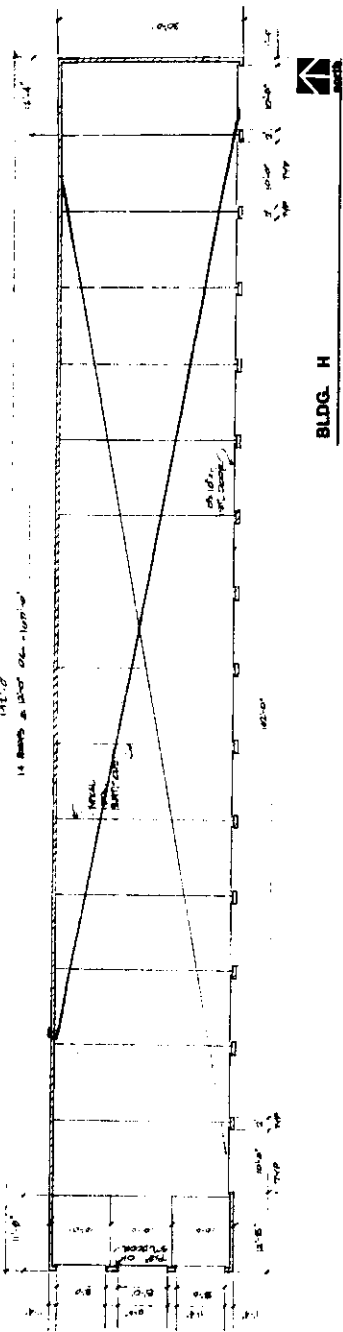
PEA-357

4-24-88

Item No. 8

**FLOOR PLAN**

SCALE 1/8" = 1'-0"



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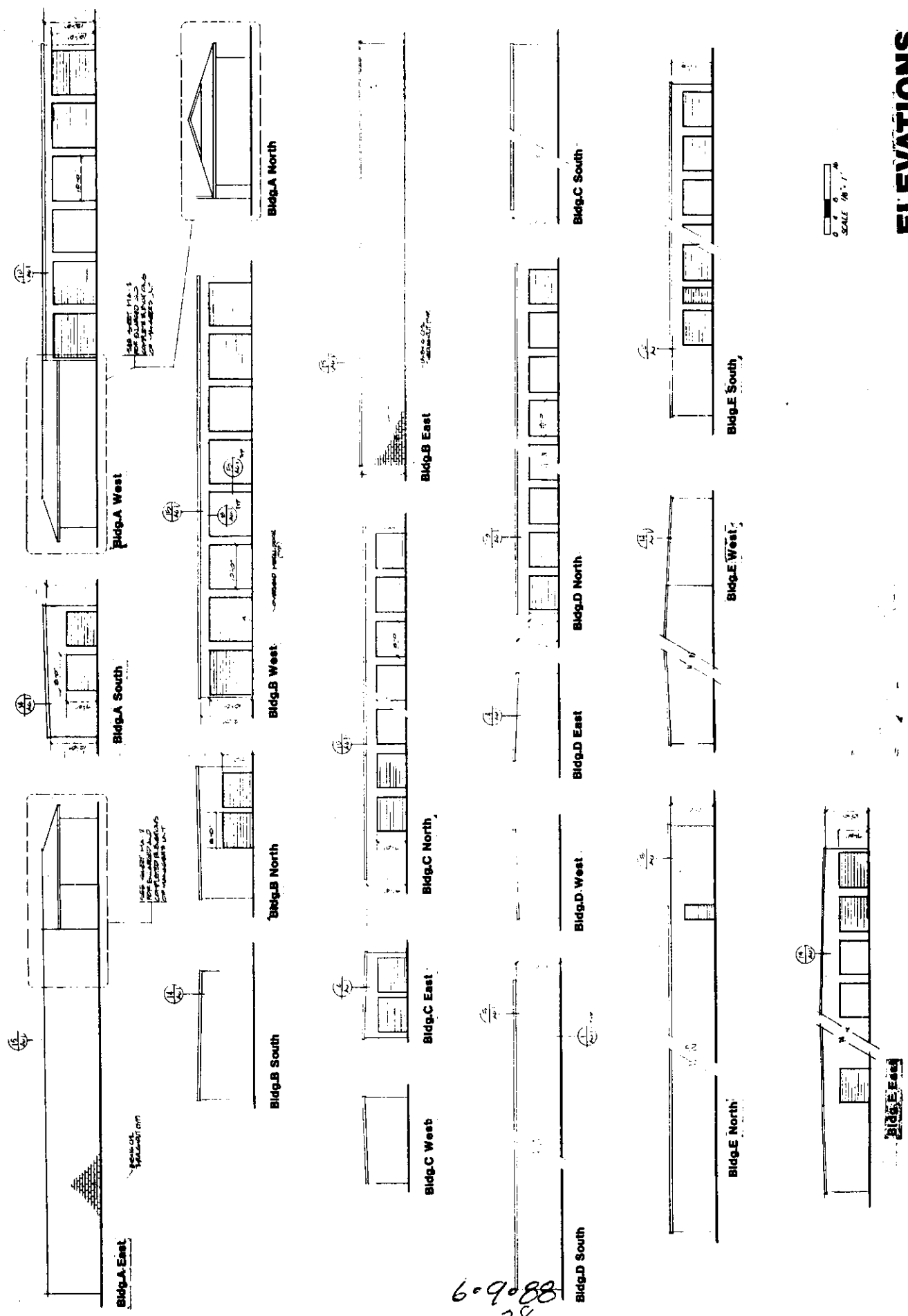
P8A-357

Item No. 4



# ELEVATIONS

SCALE 1/8" = 1'-0"

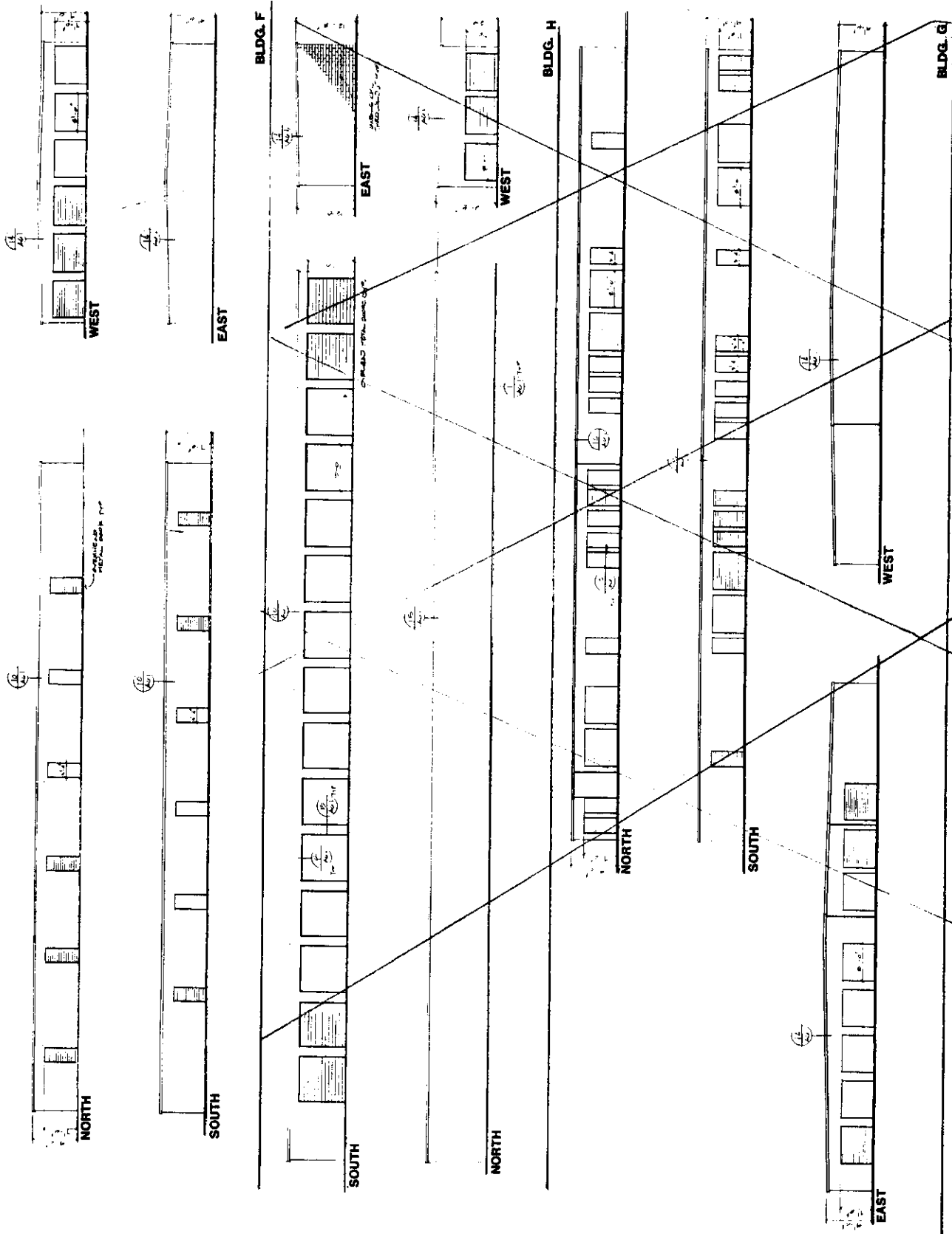


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P81-357

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**ELEVATIONS**



P84-357

6-9-88  
78  
4-11-88

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Item # 9