

REPORT AMENDED BY CPC & STAFF 2-9-89  
**CITY PLANNING COMMISSION**

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	BERLE CRISP, JTS ENGINEERING CONSULTANTS, INC. 1808 J Street, Sac., CA 95814		
<b>OWNER</b>	Norwood LTD/Leasco Investors, 8455 Jackson Road, Sac., CA 95826		
<b>PLANS BY</b>	Larry J. Schlichting 500 Cirby Way, Roseville, CA 95678		
<b>FILING DATE</b>	8/18/88	<b>ENVIR. DET.</b>	Neq., Dec.
<b>ASSESSOR'S PCL. NO.</b>	237-0304-010	<b>REPORT BY</b>	BW:vf

**APPLICATION:**

- A. Negative Declaration
- B. Rezone 5.45+ vacant acres from Single Family Alternative (R-1A) to Multi-Family (R-2B) zone.

**LOCATION:** Northwest corner Norwood and Bell Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct 20 duplexes and 56 apartment units.

**PROJECT INFORMATION:**

General Plan Designation:	Medium Density Residential 16-29 du/na
1984 North Sacramento Community Plan Designation:	Residential 11/21 du/na
Existing Zoning of Site:	R-1A
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required <u>R-2B</u>	Provided <u>R-2B</u>
North: Residential; R-1	Front:	25'	35' - 45'
South: Apartments; R-2B	Side(Int):	5'	5' - 7'
East: Vacant; R-2A	Side(St):	25'	28'
West: Residential; R-1	Rear:	15'	15' - 17'

Parking Required: ~~179/88~~ spaces  
 Parking Provided: 143 ~~170~~ spaces  
 Property Dimensions: 620' x 383'  
 Property Area: 5.45+ acres  
 Density of Development: 13.8 d.u. per acre

<b>Square Footage of Building:</b>	Duplexes: 20 units/ 1,332 sq. ft. each	(26,640 sq. ft.)
	Apartments: 56 units/854 sq. ft. each	(47,824 sq. ft.)
	Recreation Room: /767 sq. ft.	( 767 sq. ft.)
	<b>Total</b>	<b>75,231 sq. ft.</b>

**Height of Building:** Duplex 17'  
 Apartments (two-story) 29'

**Topography:** Flat  
**Street Improvements:** Existing  
**Utilities:** Existing

Exterior Building Materials: Grey w/blue trim  
 Roof Material: Composition shingle

PROJECT EVALUATION: Staff has the following comments.

A. Land Use and Zoning

The subject site consists of one parcel totaling 5.45+ vacant acres in the Single Family Alternative (R-1A) zone. The site is designated for Medium Density Residential (16-29 du/na) in the General Plan and Residential (11-21 du/na) in the 1984 North Sacramento Community Plan. Surrounding land uses and zoning includes residential to the north and west, zoned R-1, apartments to the south, zoned R-2B; and a vacant lot to the east, zoned R-2A.

B. Applicant's Proposal

The applicant is proposing to rezone the subject site from R-1A to R-2B zoning. The proposed development on the site will consist of duplexes, apartments and a recreation facility. The current R-1A zoning of the site allows for a low to medium density development which permits single family, individually owned, attached or detached residences. The purpose of the rezone is to allow for a mixture of duplex and apartment type development. The applicant, however, does not propose to increase the density of the development. The R-1A zone allows a maximum of 15 units to the acre, and the R-2B zone allows a maximum of 21 units to the acre. The applicant is proposing 13.8 units to the acre. The R-1A zone does not allow apartment developments.

Staff analyzed the applicant's proposal to rezone the subject site from R-1A to R-2B. Staff felt that it was not necessary to rezone the property to an R-2B zoning since the proposed density is only 13 units to the acre. Under the R-2A zoning, apartments are allowed and a maximum of 17 units to the acre. Staff, therefore, recommended that the applicant rezone the property from R-1A to R-2AR. The applicant has agreed with this recommendation.

C. Site Plan

The submitted site plan indicates the proposed duplexes on the north and west perimeter of the subject site and apartments on the interior and south perimeter (see site plan). The recreation building and open outdoor area fronts on Bell Avenue. The site plan shows a fence along Bell and Norwood Avenue. The applicant indicated to staff that the fence will be made of wrought iron material with a security gate fronting on Bell Avenue and two emergency exits fronting on Norwood Avenue. A six foot, wooden fence exist along the north and west property lines separating single family residences from the subject site. Staff recommends that a six foot high, wrought iron fence be placed along the east and south property lines.

Currently, there are no trash enclosure locations indicated on the site plan. Staff recommends that at least three trash enclosure locations be identified on a revised site plan to be reviewed and approved by the Planning Director. Trash enclosures shall comply with Zoning Ordinance requirements.

D. Building Design

The applicant submitted floor plans and elevations for the duplexes, apartments and recreation facility. The submitted plans indicate twenty (20) duplexes (1,332 sq. ft. each) and, fifty-six (56) apartment units (854 sq. ft. each). The proposed recreation building is 767 square feet which contains an office and poolhouse. The proposed duplexes and recreation building height is 17 feet (one-story), and the apartment building's height are 29 feet (2-story).

The building elevations for the development feature the use of horizontal plywood siding walls with grey and blue trim color. The roof material is made of composition shingles. Three bedrooms are proposed for the duplexes and two bedrooms are proposed for the apartment units. Planning staff and design review staff reviewed the proposed apartment, duplex and recreation structures and propose the following modifications:

1. Roofing materials shall be a 30 year architectural grade subject to Planning Director approval.
2. Exterior building material shall be made of horizontal wood siding or horizontal masonite siding. The masonite shall be a heavy thickness on all buildings.
3. The applicant shall provide six foot high wood fencing material between the duplexes to allow for privacy.
4. Building materials and coloring shall be reviewed and approved by the Planning Director. Each building shall have a body color and trim color and shall be two distinct colors.
5. All mechanical equipment (including public utility boxes and wall mounted air conditioning units) shall be attractively screened either through landscaping or fencing.
6. Patio fences and balcony railings shall be solid for privacy and to screen material stored on the interior from public view.
7. The proposed parapet wall on the apartment buildings shall be covered in a material to match all other exterior walls of the structure.

E. Parking and Circulation

A total of eighty-eight (88) parking spaces are required for the apartments based on the 1.5 to 1 parking ratio and an additional one guest space per every 15 unit parking requirement. The applicant is proposing ~~110~~ 63 parking spaces which includes eight spaces outside of the security gate on the subject site. In reviewing the site plan, it appears that the back out maneuvering space is less than the required 26 feet. The site plan indicates 25 feet. Staff recommends that the site plan be modified to reflect the 26 foot of maneuvering space to allow cars to back out in a sufficient amount of space. The applicant is proposing two car garages for each duplex *which is a total of 140 spaces*. Staff has no objections to this proposal. *The applicant is providing a total of 143 spaces for the entire site. (staff amended)*

The applicant is also discouraging parking on the street by installing a security fence on the interior property line and providing eight spaces outside of the enclosed gate. Staff recommends that the projects parking area comply with the 50 percent shading of surfaced areas required by the Zoning Ordinance.

The City's Traffic Engineer had no objections to the proposed vehicle circulation within the project site. Vehicles can enter and exit off of Bell Avenue only.

F. Landscaping

No landscaping and irrigation plans were submitted for staff review and approval. Staff recommends that a minimum 25 foot landscape setback be provided along Norwood Avenue and Bell Avenue. The landscape setback shall consist of lawn material with three and one-half foot undulating berms and trees along Norwood and Bell Avenue. No landscaping is indicated on the site plan along the perimeter or within the project area.

Staff recommends that landscaping and irrigation plans be submitted for review and approval by the Planning Director prior to issuance of building permits.

The site plan does not indicate proposed signage on the subject property. All new signage must comply with the Sign Ordinance Regulations and shall be submitted to staff for review and approval prior to issuance of sign permits. Signs for apartments require a Planning Director's Special Permit.

G. Agency Comments

The proposed project has been reviewed by the City's Traffic Engineer, Engineering, Building Inspections, City Police, Water and Sewer, and City Real Estate. A copy of the proposal was also routed to the Meadows Development Association. The following comments were received:

## Traffic Engineer:

- a. Provide three foot flairs on driveways.
- b. Remove bubble shape from west driveway on Bell Avenue.
- c. Construct Norwood Avenue to an 80 foot right-of-way.
- d. Construct Bell Avenue to a modified 80 foot right-of-way.
- e. Provide an expanded intersection at Bell Avenue and Norwood Avenue to the satisfaction of the Traffic Engineer.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant affect on the environment and has filed a negative declaration with mitigation measures listed below:

1. Living Units with windows within 120 feet of the east property line and within 80 feet of the south property line must be equipped with ventilation or air conditioning systems which will provide adequate indoor air quality while the windows are maintained closed.
2. The maximum amount of sound attenuation required between the exterior and interior of the buildings is 22dBA. This amount of sound attenuation is attainable with standard glazing and siding. Windows with a direct or side view of Norwood Avenue, in the three buildings directly adjacent to this roadway, should be equipped with weather seals incorporating an air tight membrane.

RECOMMENDATION: Staff recommends the Commission take the following actions:

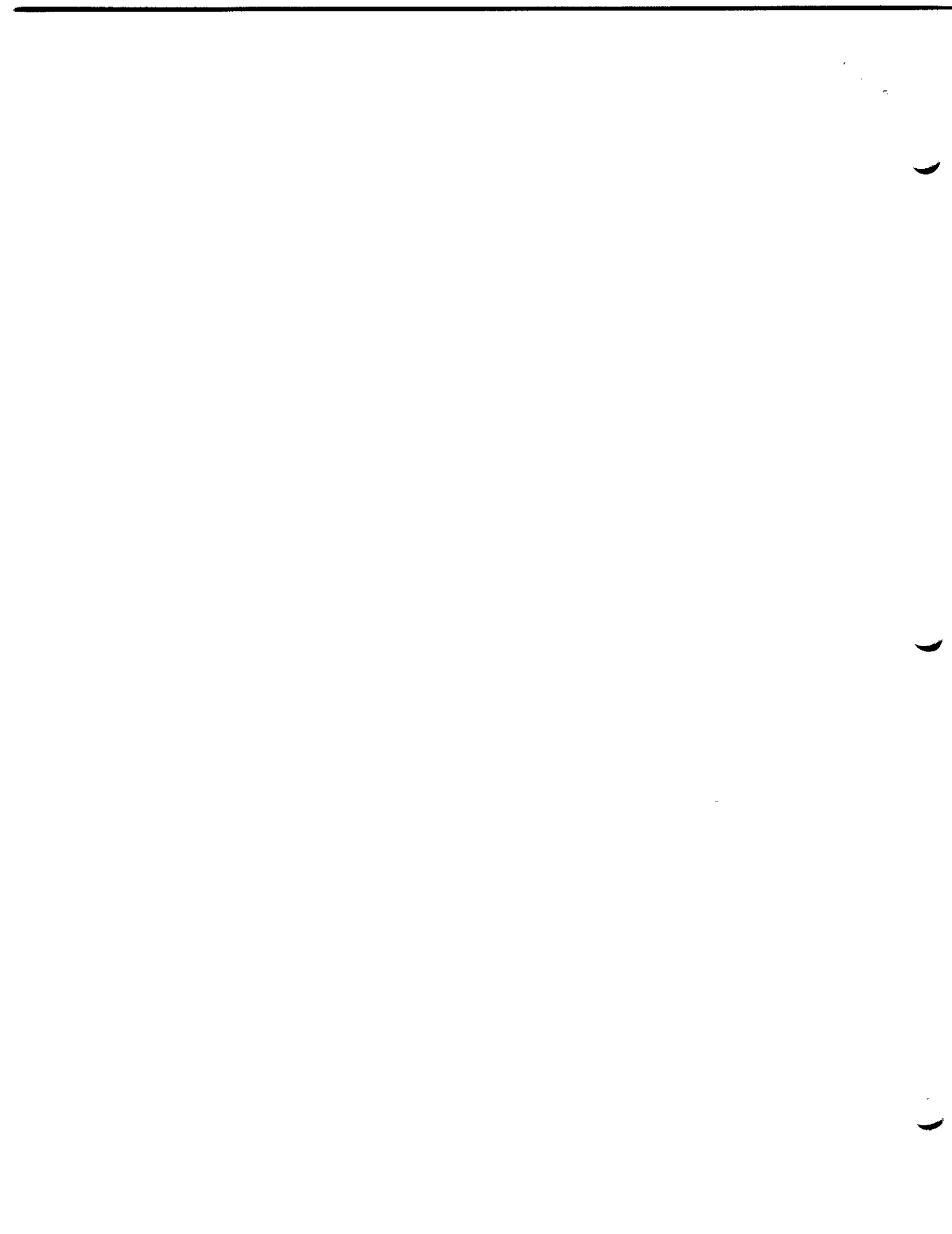
- A. Ratify the Negative Declaration;
- B. Recommend approval of the rezoning from Standard Single Family Alternative (R-1A) to Multi-Family-Review (R-2A-R) zone subject to the following conditions.

Conditions / Rezoning

1. The applicant shall redesign the site plan to the satisfaction of the Planning Director prior to issuance of building permits. The revisions shall include increasing the width of the back out maneuvering space to 26 feet and indicating the three trash enclosure locations.
2. A six foot high wrought iron fence shall be placed along the east and south property lines.

4. Roofing materials shall be a 30 year architectural grade subject to Planning Director approval.
5. Exterior building material shall be made of horizontal wood siding or horizontal masonite siding. The masonite shall be a heavy thickness on all buildings.
6. The applicant shall provide six foot high wood fencing material between the duplexes to allow for privacy. *The fence shall be subject to review and approval by the Planning Director. (CPC amended)*
7. Building materials and coloring shall be reviewed and approved by the Planning Director. Each building shall have a body color and trim color and shall be two distinct colors.
8. All mechanical equipment (including public utility boxes and wall mounted air conditioning units) shall be attractively screened either through landscaping or fencing.
9. Patio fences and balcony railings shall be solid for privacy and to screen material stored on the interior from public view.
10. The proposed parapet wall on the apartment buildings shall be covered in a material to match all other exterior walls of the structure.
11. The parking lot shall comply with the 50 percent shading of surfaced areas required by the Zoning Ordinance.
12. A minimum 25 foot landscape setback shall be provided along Norwood Avenue and Bell Avenue. The landscape setback shall consist of lawn material and shrubs with three and one-half foot undulating berm and trees along Norwood Avenue and Bell Avenue.
13. Landscaping and irrigation plans shall be submitted for review and approval by the Planning Director prior to issuance of building permits. The landscaping material shall consist of ground cover with one and five gallon shrubs and five and 15 gallon trees.
14. All new signage shall comply with the Sign Ordinance regulations.
15. Provide three foot flairs on all driveways.
16. Remove bubble shape from far west driveway on Bell Avenue.
17. Construct Norwood Avenue to an 80 foot right-of-way and construct Bell Avenue to a modified 80 foot right-of-way.

18. Provide an expanded intersection at Bell Avenue and Norwood Avenue to the satisfaction of the Traffic engineer.
19. Living units with windows within 120 feet of the east property line and within 80 feet of the south property line must be equipped with ventilation or air conditioning systems which will provide adequate indoor air quality while the windows are maintained closed.
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21. *The applicant shall install a 6' high wood fence along the north and west property lines. The construction and material of the fence shall be subject to review and approval by the Planning Director. The fence shall be a solid board fence with no openings between boards. (CPC added)*





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Parking Provided: 110 spaces  
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APPLC. NO. P88-371 MEETING DATE 2-9-89 January 26, 1989 ITEM NO. 6  
13

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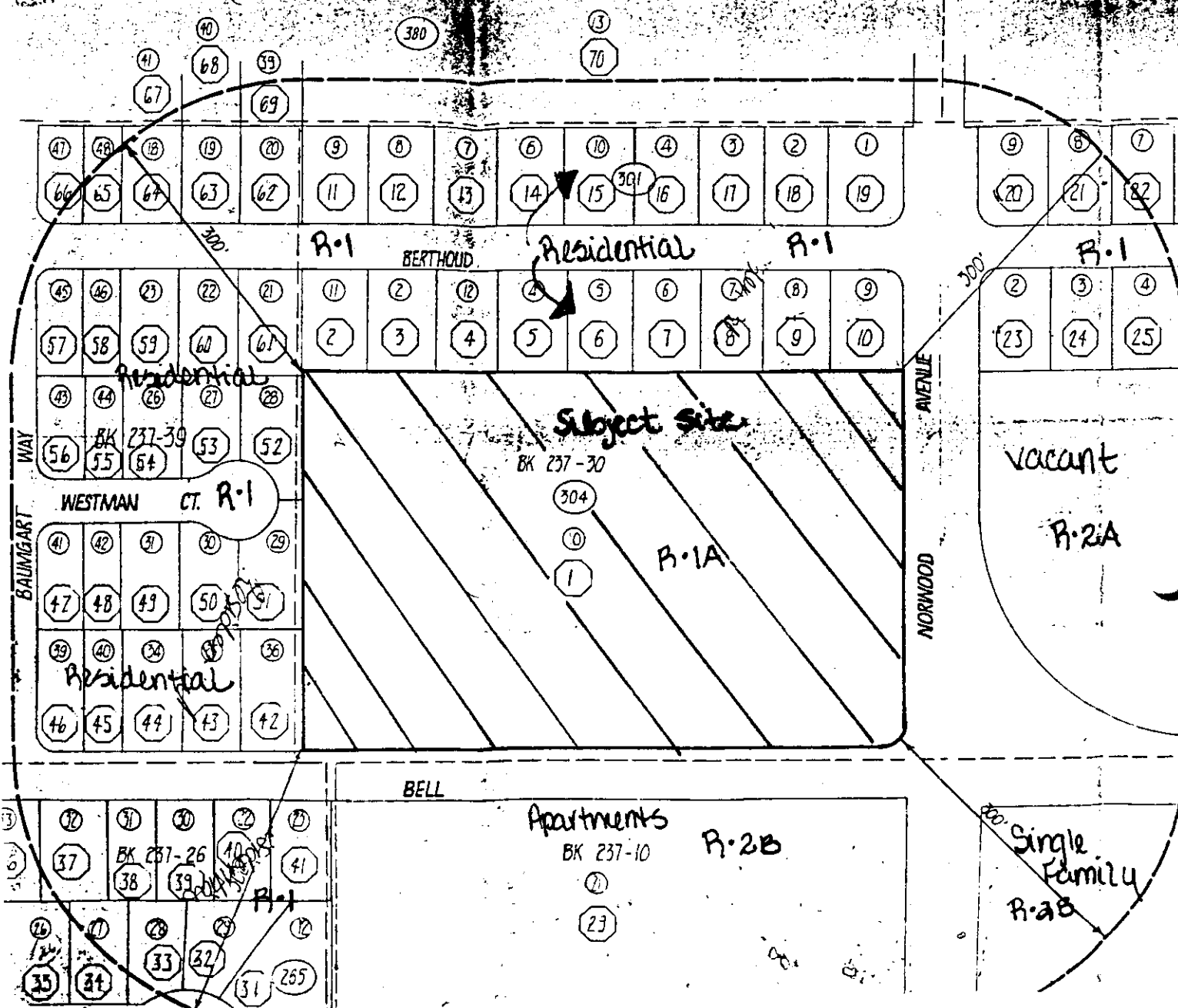
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BK 237-38



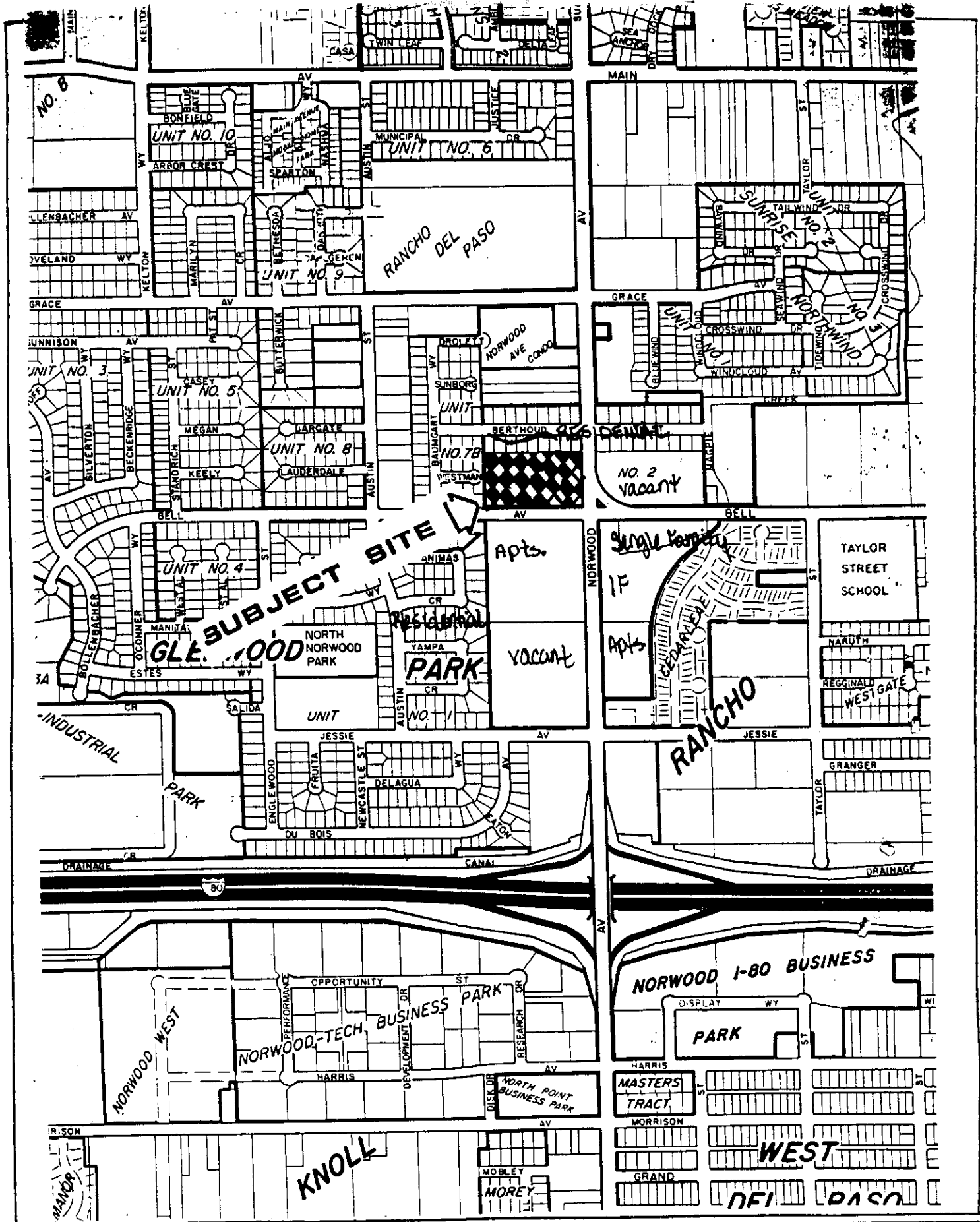
# LAND USE & ZONING MAP

P88-371

2-9-89  
1-26-89

62  
II 12





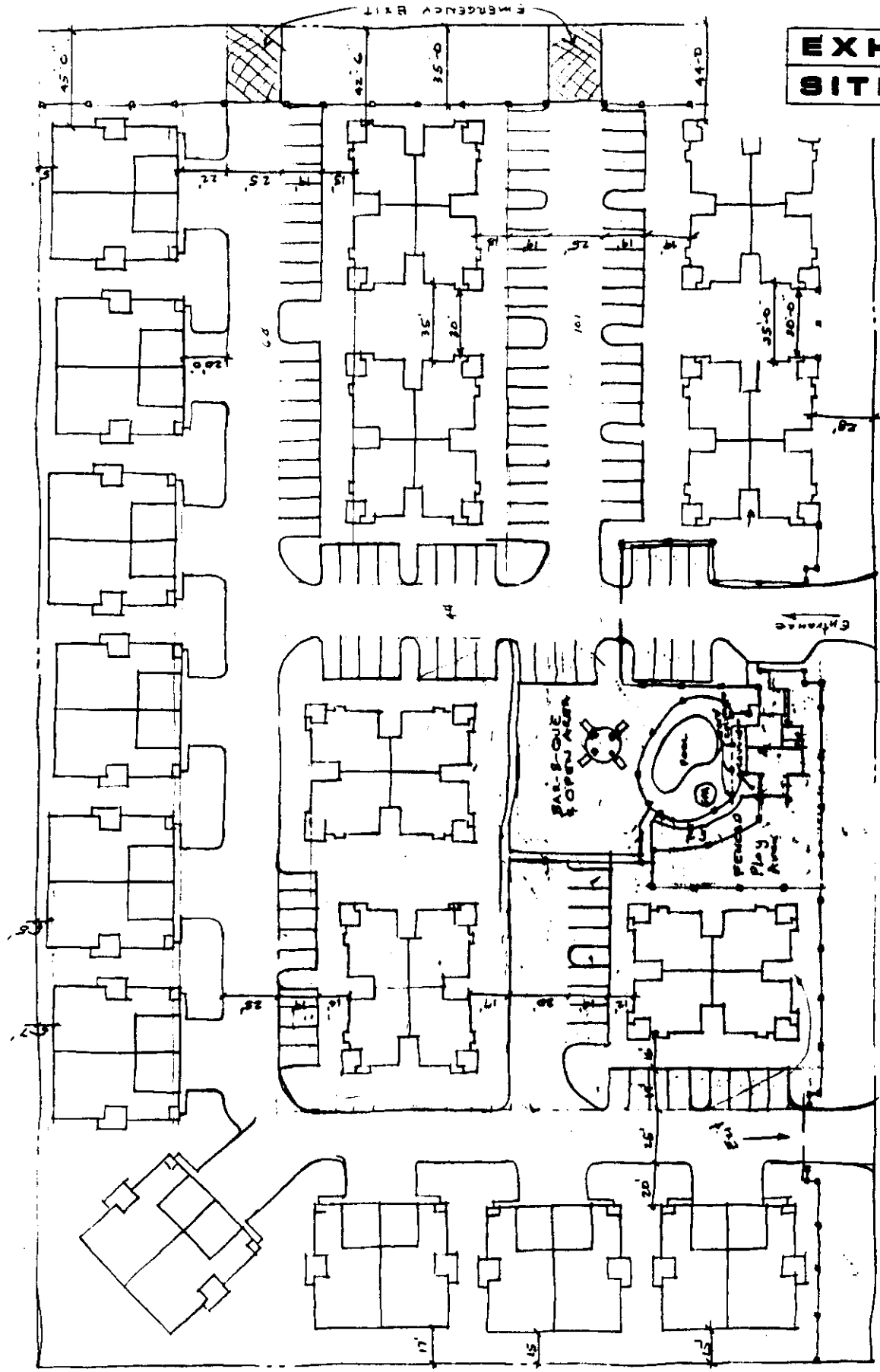
# VICINITY MAP

P88-371

29-89  
1-26-89

#13

**EXHIBIT A  
SITE PLAN**



Need 84 Co  
For Apartments  
110 Cars provide  
Site Plan 1" = 30'-0"

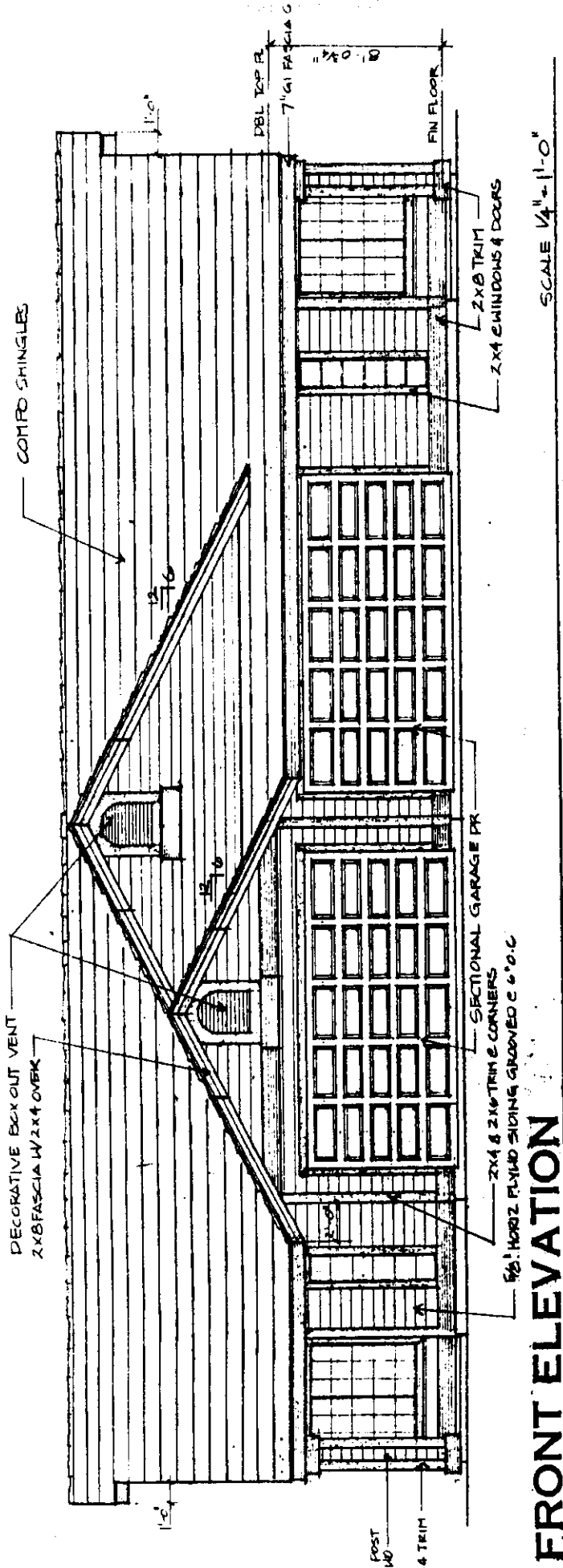
BELL AVENUE

P88-371

2-9-89  
1-26-89

# 136  
NORTH

Duplex Elevations



P88-371

2-9-89  
1-26-89

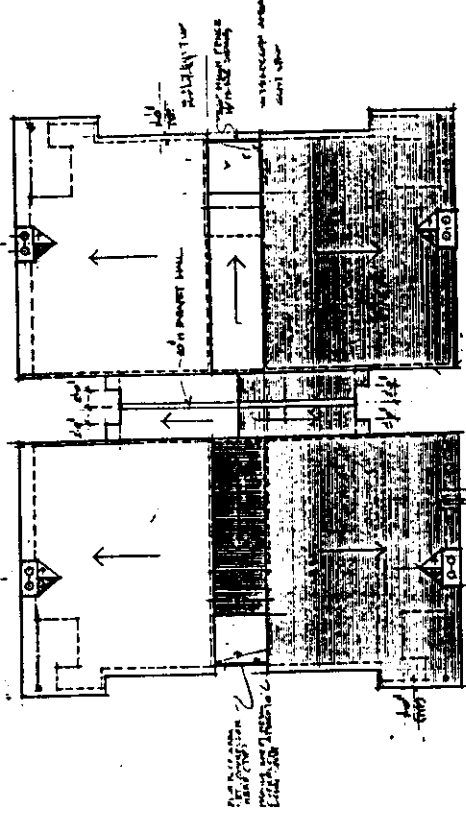
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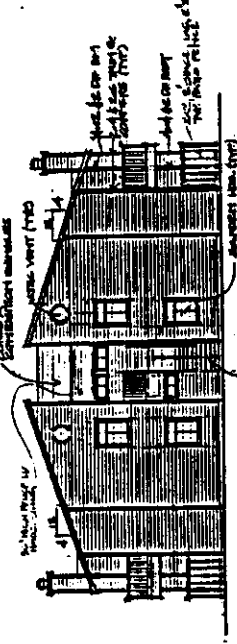
DATE	NO.	SCALE	SHEET
10/22	1	1/2" = 1'-0"	10/1

**Apartment/Elevations**

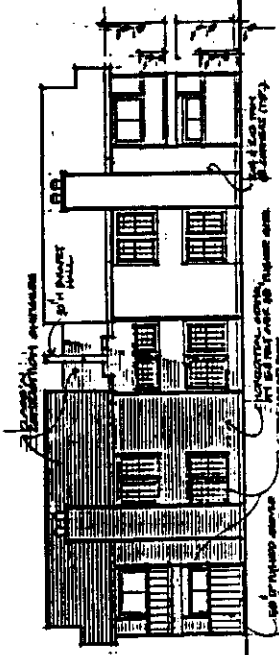
LARRY & SCHLECHING  
 ARCHITECTS  
 300 CIRBY WAY SUITE E  
 ROSEVILLE CALIFORNIA  
 (916) 786-9094  
 95678



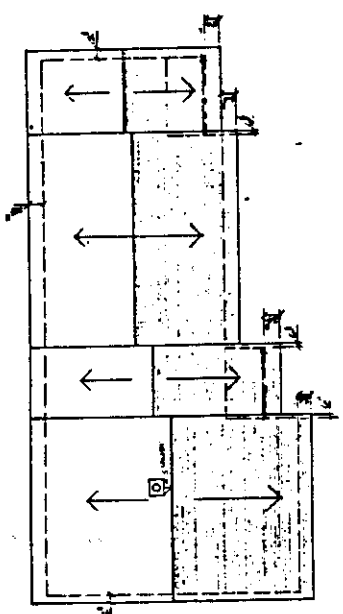
ROOF PLAN - BLDG. NO. 1 & 2 SCALE 1/2" = 1'-0"



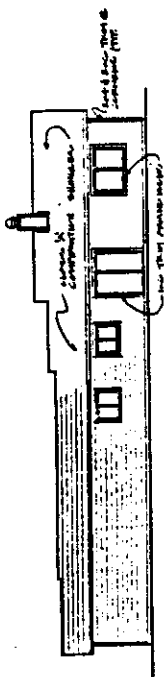
EAST ELEVATION - BLDG. NO. 102 SCALE 1/2" = 1'-0"



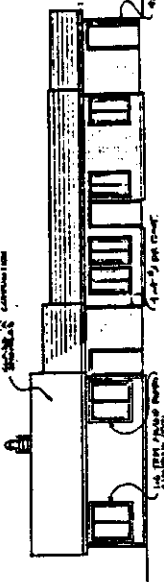
NORTH & SOUTH ELEVATION - BLDG. NO. 102 SCALE 1/2" = 1'-0"



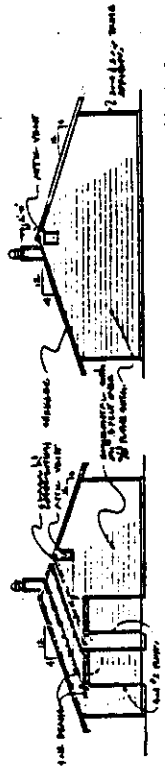
ROOF PLAN - BLDG. NO. 3 SCALE 1/2" = 1'-0"



WEST ELEVATION - BLDG. NO. 3 SCALE 1/2" = 1'-0"



EAST ELEVATION - BLDG. NO. 3 SCALE 1/2" = 1'-0"



NORTH ELEVATION - BLDG. NO. 3 SCALE 1/2" = 1'-0"

SOUTH ELEVATION - BLDG. NO. 3 SCALE 1/2" = 1'-0"

P88-371

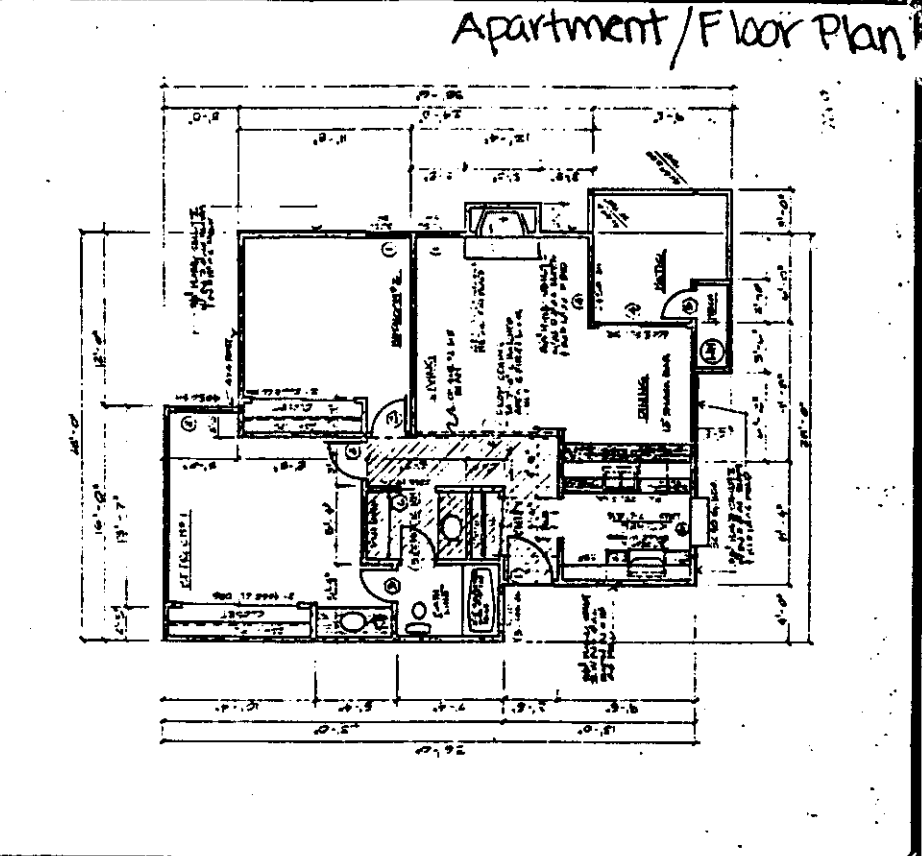
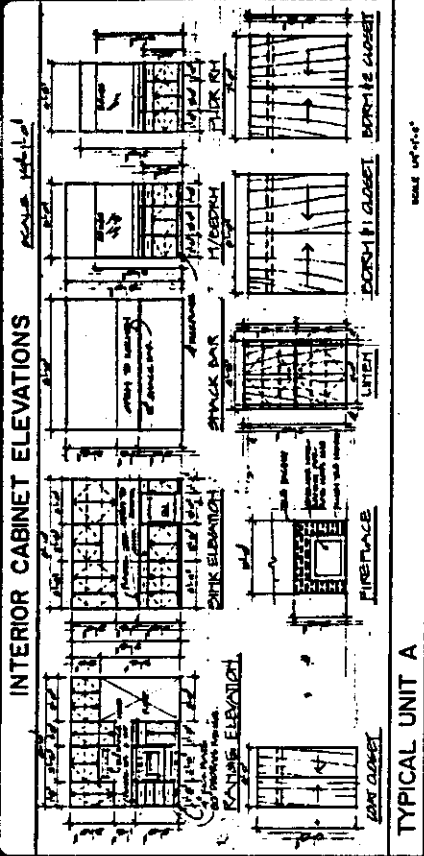
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#13

LAURENCE & SCHLICHTER  
 300 CIBOLA WAY SUITE E  
 ROSEVILLE CALIFORNIA  
 (916) 786-9094  
 95678  
 MARK 4  
 A 17 UNIT APARTMENT CASE



EXHIBIT E

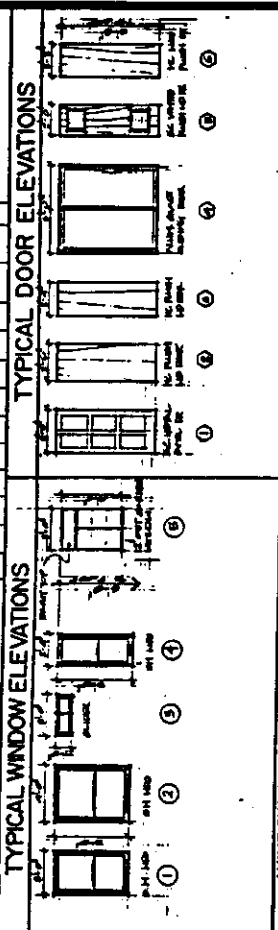


ROOM FINISH SCHEDULE

NO.	FINISH SCHEDULE	FLOOR	WALLS	CEILING	DOOR	WINDOW	REMARKS
1	CONCRETE						
2	WALL PAPER						
3	CEILING						
4	WOOD						
5	GLASS						
6	PAINT						
7	PLASTER						
8	BRICK						
9	CONCRETE						
10	WOOD						
11	GLASS						
12	PAINT						
13	PLASTER						
14	BRICK						
15	CONCRETE						
16	WOOD						
17	GLASS						
18	PAINT						
19	PLASTER						
20	BRICK						
21	CONCRETE						
22	WOOD						
23	GLASS						
24	PAINT						
25	PLASTER						
26	BRICK						
27	CONCRETE						
28	WOOD						
29	GLASS						
30	PAINT						
31	PLASTER						
32	BRICK						
33	CONCRETE						
34	WOOD						
35	GLASS						
36	PAINT						
37	PLASTER						
38	BRICK						
39	CONCRETE						
40	WOOD						
41	GLASS						
42	PAINT						
43	PLASTER						
44	BRICK						
45	CONCRETE						
46	WOOD						
47	GLASS						
48	PAINT						
49	PLASTER						
50	BRICK						
51	CONCRETE						
52	WOOD						
53	GLASS						
54	PAINT						
55	PLASTER						
56	BRICK						
57	CONCRETE						
58	WOOD						
59	GLASS						
60	PAINT						
61	PLASTER						
62	BRICK						
63	CONCRETE						
64	WOOD						
65	GLASS						
66	PAINT						
67	PLASTER						
68	BRICK						
69	CONCRETE						
70	WOOD						
71	GLASS						
72	PAINT						
73	PLASTER						
74	BRICK						
75	CONCRETE						
76	WOOD						
77	GLASS						
78	PAINT						
79	PLASTER						
80	BRICK						
81	CONCRETE						
82	WOOD						
83	GLASS						
84	PAINT						
85	PLASTER						
86	BRICK						
87	CONCRETE						
88	WOOD						
89	GLASS						
90	PAINT						
91	PLASTER						
92	BRICK						
93	CONCRETE						
94	WOOD						
95	GLASS						
96	PAINT						
97	PLASTER						
98	BRICK						
99	CONCRETE						
100	WOOD						

DOOR SCHEDULE

NO.	TYPE	QTY	FINISH	REMARKS
1	WOOD	1	WOOD	WOOD
2	GLASS	1	GLASS	GLASS
3	PAINT	1	PAINT	PAINT
4	PLASTER	1	PLASTER	PLASTER
5	BRICK	1	BRICK	BRICK
6	CONCRETE	1	CONCRETE	CONCRETE
7	WOOD	1	WOOD	WOOD
8	GLASS	1	GLASS	GLASS
9	PAINT	1	PAINT	PAINT
10	PLASTER	1	PLASTER	PLASTER
11	BRICK	1	BRICK	BRICK
12	CONCRETE	1	CONCRETE	CONCRETE
13	WOOD	1	WOOD	WOOD
14	GLASS	1	GLASS	GLASS
15	PAINT	1	PAINT	PAINT
16	PLASTER	1	PLASTER	PLASTER
17	BRICK	1	BRICK	BRICK
18	CONCRETE	1	CONCRETE	CONCRETE
19	WOOD	1	WOOD	WOOD
20	GLASS	1	GLASS	GLASS
21	PAINT	1	PAINT	PAINT
22	PLASTER	1	PLASTER	PLASTER
23	BRICK	1	BRICK	BRICK
24	CONCRETE	1	CONCRETE	CONCRETE
25	WOOD	1	WOOD	WOOD
26	GLASS	1	GLASS	GLASS
27	PAINT	1	PAINT	PAINT
28	PLASTER	1	PLASTER	PLASTER
29	BRICK	1	BRICK	BRICK
30	CONCRETE	1	CONCRETE	CONCRETE
31	WOOD	1	WOOD	WOOD
32	GLASS	1	GLASS	GLASS
33	PAINT	1	PAINT	PAINT
34	PLASTER	1	PLASTER	PLASTER
35	BRICK	1	BRICK	BRICK
36	CONCRETE	1	CONCRETE	CONCRETE
37	WOOD	1	WOOD	WOOD
38	GLASS	1	GLASS	GLASS
39	PAINT	1	PAINT	PAINT
40	PLASTER	1	PLASTER	PLASTER
41	BRICK	1	BRICK	BRICK
42	CONCRETE	1	CONCRETE	CONCRETE
43	WOOD	1	WOOD	WOOD
44	GLASS	1	GLASS	GLASS
45	PAINT	1	PAINT	PAINT
46	PLASTER	1	PLASTER	PLASTER
47	BRICK	1	BRICK	BRICK
48	CONCRETE	1	CONCRETE	CONCRETE
49	WOOD	1	WOOD	WOOD
50	GLASS	1	GLASS	GLASS
51	PAINT	1	PAINT	PAINT
52	PLASTER	1	PLASTER	PLASTER
53	BRICK	1	BRICK	BRICK
54	CONCRETE	1	CONCRETE	CONCRETE
55	WOOD	1	WOOD	WOOD
56	GLASS	1	GLASS	GLASS
57	PAINT	1	PAINT	PAINT
58	PLASTER	1	PLASTER	PLASTER
59	BRICK	1	BRICK	BRICK
60	CONCRETE	1	CONCRETE	CONCRETE
61	WOOD	1	WOOD	WOOD
62	GLASS	1	GLASS	GLASS
63	PAINT	1	PAINT	PAINT
64	PLASTER	1	PLASTER	PLASTER
65	BRICK	1	BRICK	BRICK
66	CONCRETE	1	CONCRETE	CONCRETE
67	WOOD	1	WOOD	WOOD
68	GLASS	1	GLASS	GLASS
69	PAINT	1	PAINT	PAINT
70	PLASTER	1	PLASTER	PLASTER
71	BRICK	1	BRICK	BRICK
72	CONCRETE	1	CONCRETE	CONCRETE
73	WOOD	1	WOOD	WOOD
74	GLASS	1	GLASS	GLASS
75	PAINT	1	PAINT	PAINT
76	PLASTER	1	PLASTER	PLASTER
77	BRICK	1	BRICK	BRICK
78	CONCRETE	1	CONCRETE	CONCRETE
79	WOOD	1	WOOD	WOOD
80	GLASS	1	GLASS	GLASS
81	PAINT	1	PAINT	PAINT
82	PLASTER	1	PLASTER	PLASTER
83	BRICK	1	BRICK	BRICK
84	CONCRETE	1	CONCRETE	CONCRETE
85	WOOD	1	WOOD	WOOD
86	GLASS	1	GLASS	GLASS
87	PAINT	1	PAINT	PAINT
88	PLASTER	1	PLASTER	PLASTER
89	BRICK	1	BRICK	BRICK
90	CONCRETE	1	CONCRETE	CONCRETE
91	WOOD	1	WOOD	WOOD
92	GLASS	1	GLASS	GLASS
93	PAINT	1	PAINT	PAINT
94	PLASTER	1	PLASTER	PLASTER
95	BRICK	1	BRICK	BRICK
96	CONCRETE	1	CONCRETE	CONCRETE
97	WOOD	1	WOOD	WOOD
98	GLASS	1	GLASS	GLASS
99	PAINT	1	PAINT	PAINT
100	PLASTER	1	PLASTER	PLASTER



WINDOW NOTES...

1. ALL WINDOW OPERATIONS ARE IDENTICAL, ADDRESS OPERATIONS
2. ALL WINDOW OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN
3. ALL WINDOW OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN
4. ALL WINDOW OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN

DOOR NOTES...

1. ALL DOOR TYPES AND OPERATIONS ARE IDENTICAL TO THE OPERATIONS SHOWN
2. ALL DOOR TYPES AND OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN
3. ALL DOOR TYPES AND OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN
4. ALL DOOR TYPES AND OPERATIONS TO BE IDENTICAL TO THE OPERATIONS SHOWN

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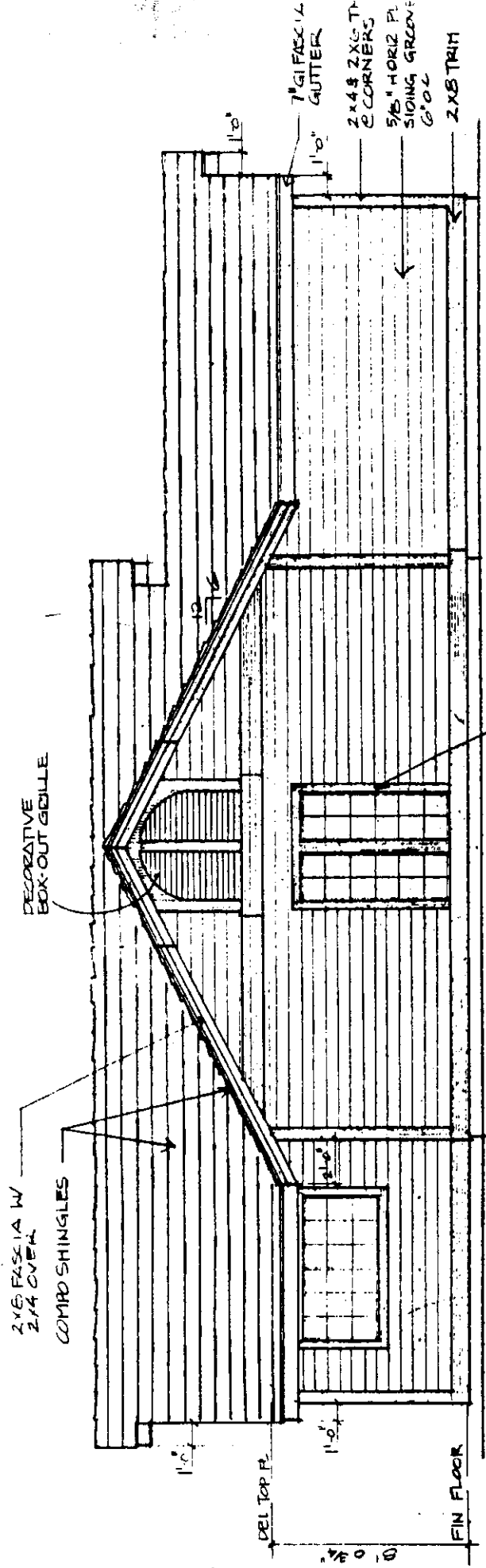
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CLUB HOUSE

EXHIBIT F

CLUB HOUSE / ELEVATION



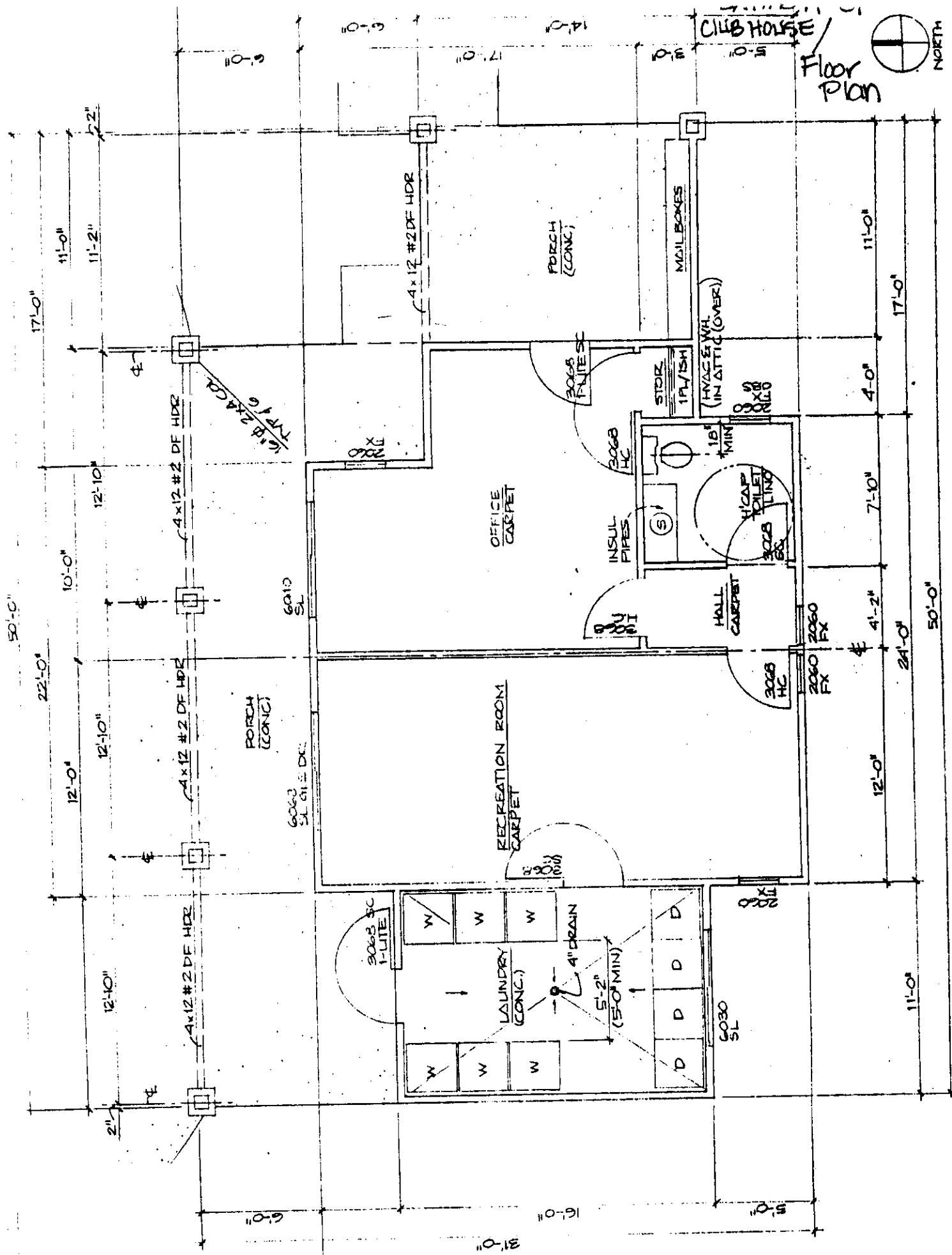
FRONT ELEVATION

SCALE 1/4" = 1'-0"

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CLUB HOUSE

Floor Plan



FLOOR PLAN

P88-371

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