

CITY OF SACRAMENTO

Permit No: 9715870

1231 I Street, Sacramento, CA 95814

Insp Area: 1

Site Address: 2117 F ST SAC

Sub-Type: ASFR

Parcel No: 0030132016

Housing (Y/N): N

CONTRACTOR

OWNER

ARCHITECT

NIESL GEORGE W/DOROTHY E
2117 F ST
SACRAMENTO CA 95816

Phone:

Phone:

Phone:

Nature of Work: BUILD 20 X 24 DETACHED GARAGE TO REPLACE DEMOLISHED GARAGE

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name Lender's Address

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class License Number Date Contractor Signature

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.)

X I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. B & PC for this reason:
Date 12/5/97 Owner Signature George W. Niesl

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

Date 12/5/97 Applicant/Agent Signature George W. Niesl

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier Policy Number

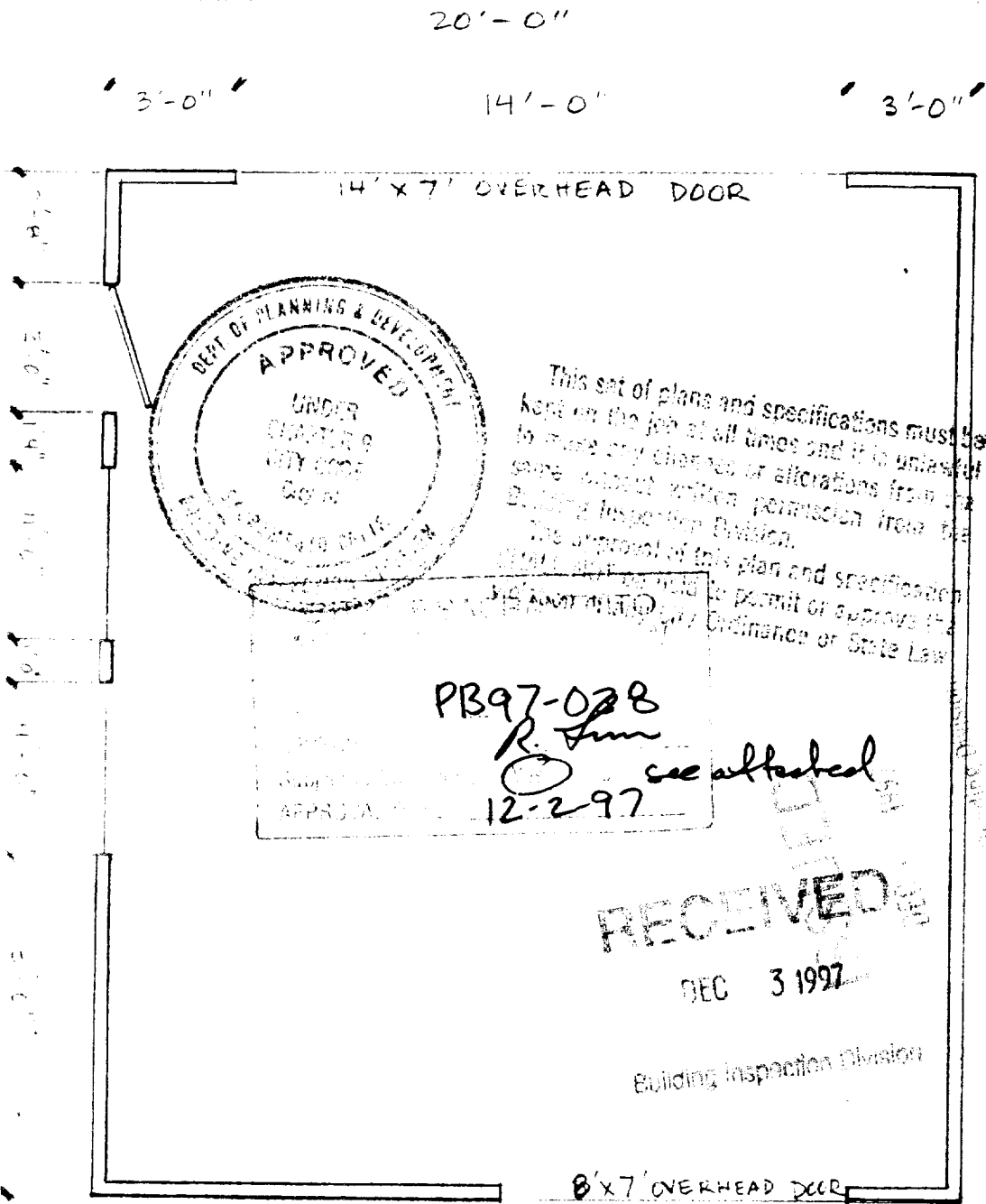
(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date X 12/5/97 Applicant Signature X George W. Niesl

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

NESL RESIDENCE: 2117 F ST. 97-158704  
 DETACHED GARAGE "E/F" ALLEY



9'-4" 8'-0" 2'-8"

20'-0"

NORTH

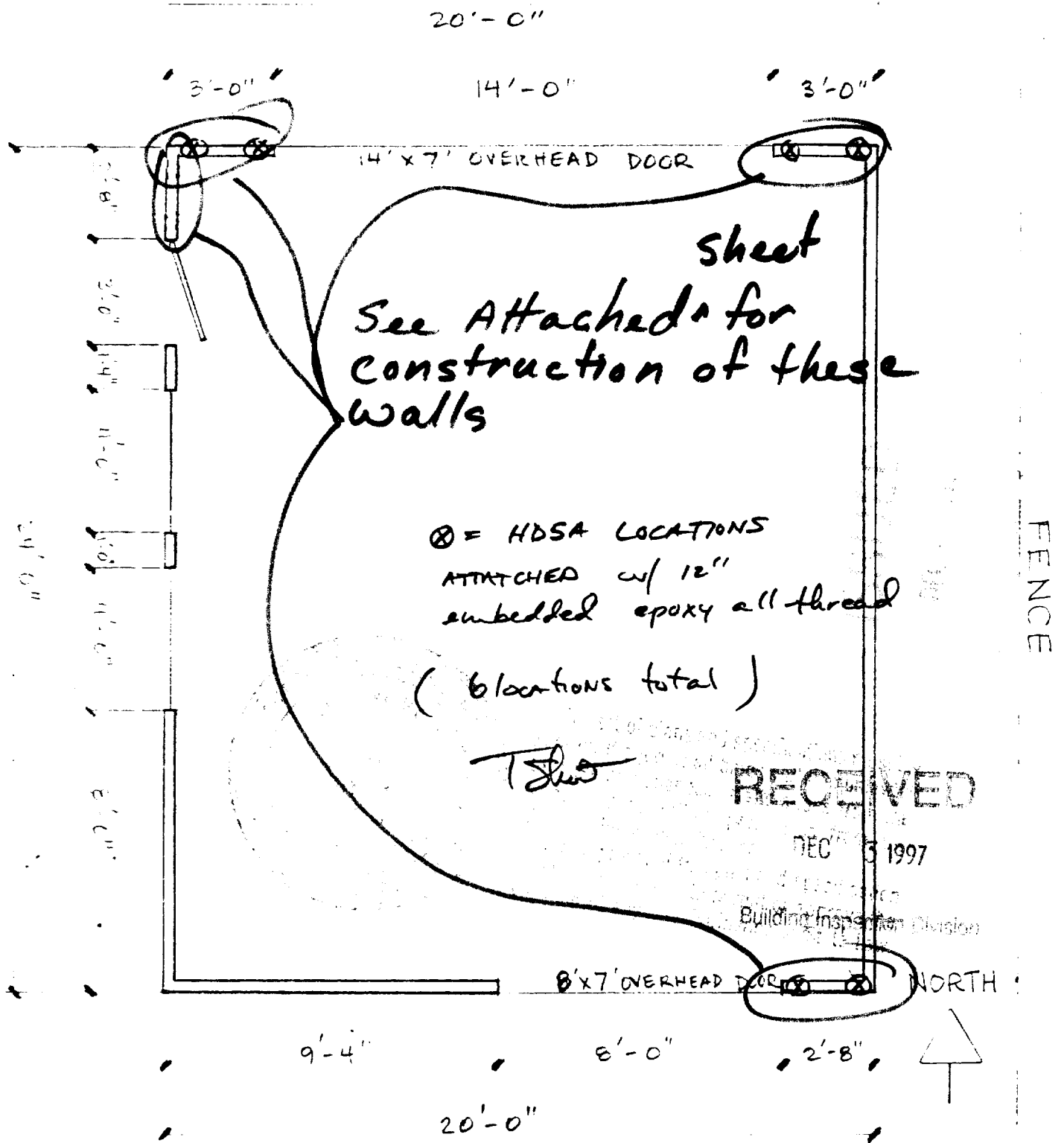
OCT 01 1997

PB97 038

FLOOR PLAN 1/4" = 1'-0"  
 A.P.N.: 003-0132-016

RECEIVED  
 BUILDING INSPECTION DIVISION  
 SHEET  
 2  
 OF 5 SHEETS

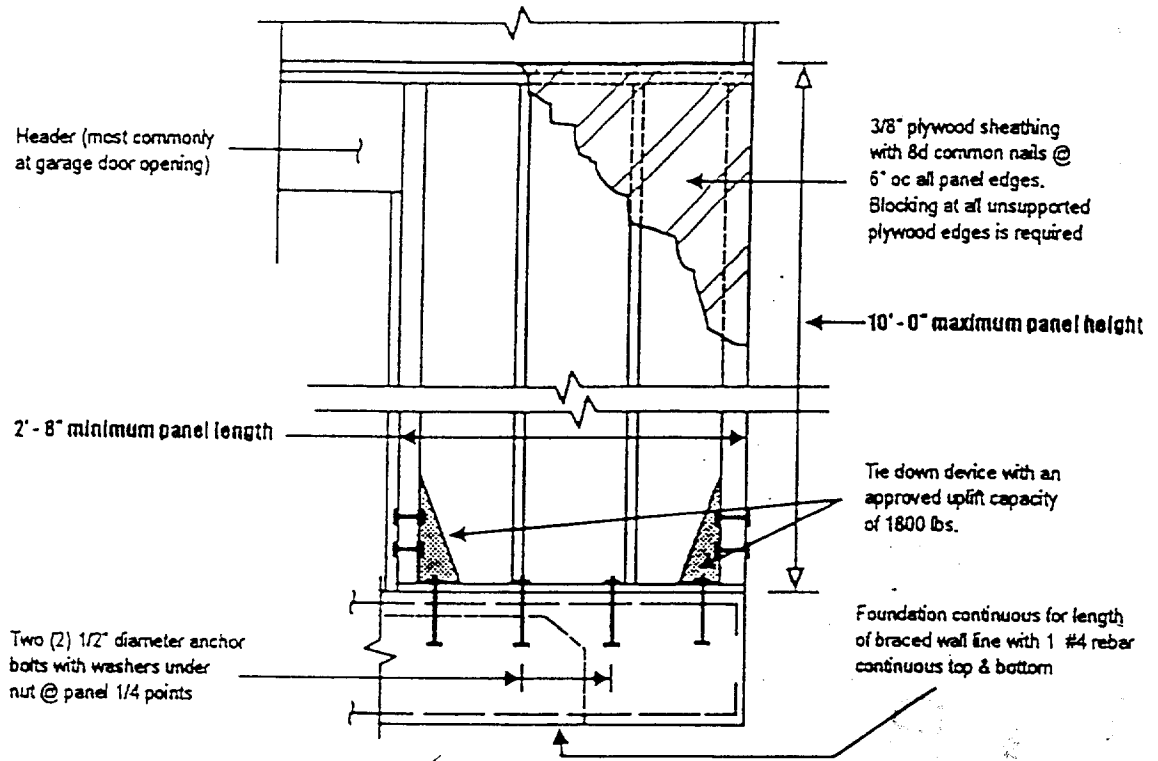
NESL RESIDENCE: 2117 F ST.  
 DETACHED GARAGE "E/F" ALLEY



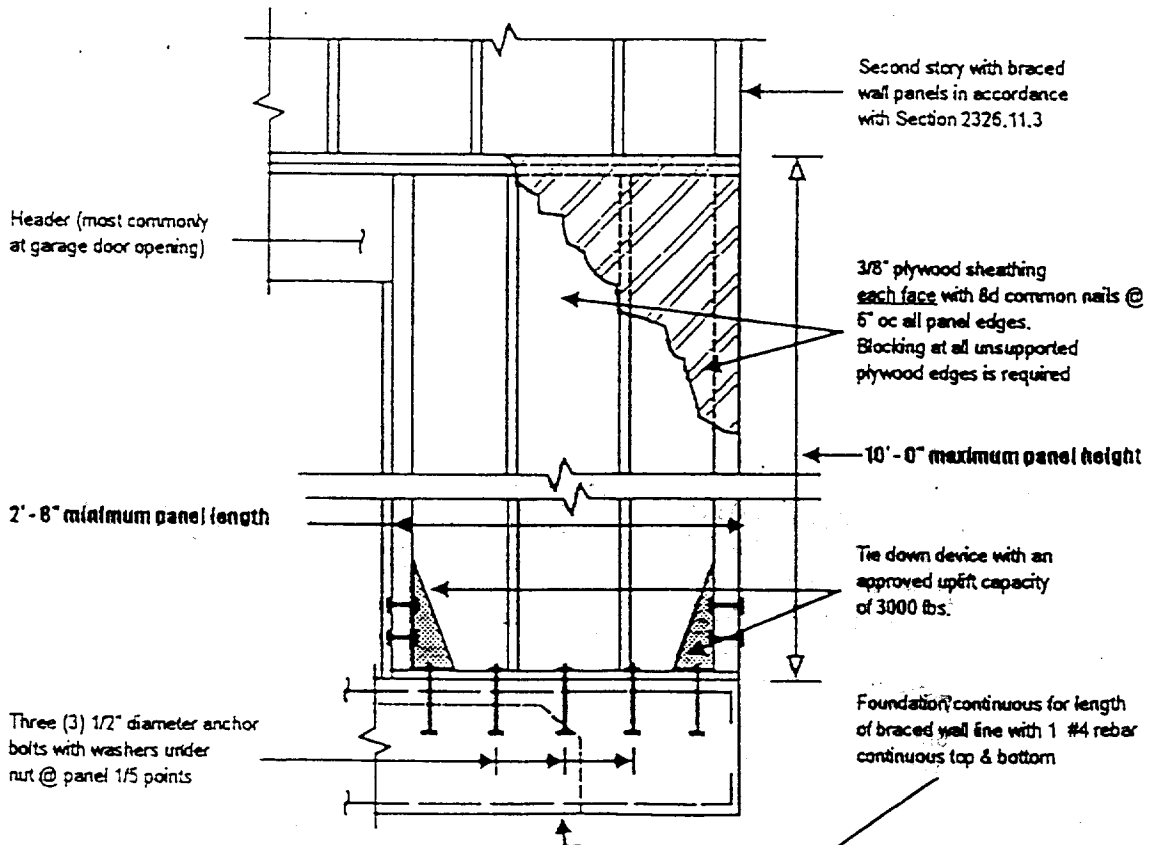
FLOOR PLAN  $\frac{1}{4}'' = 1'-0''$   
 A.P.N: 003-0132-016

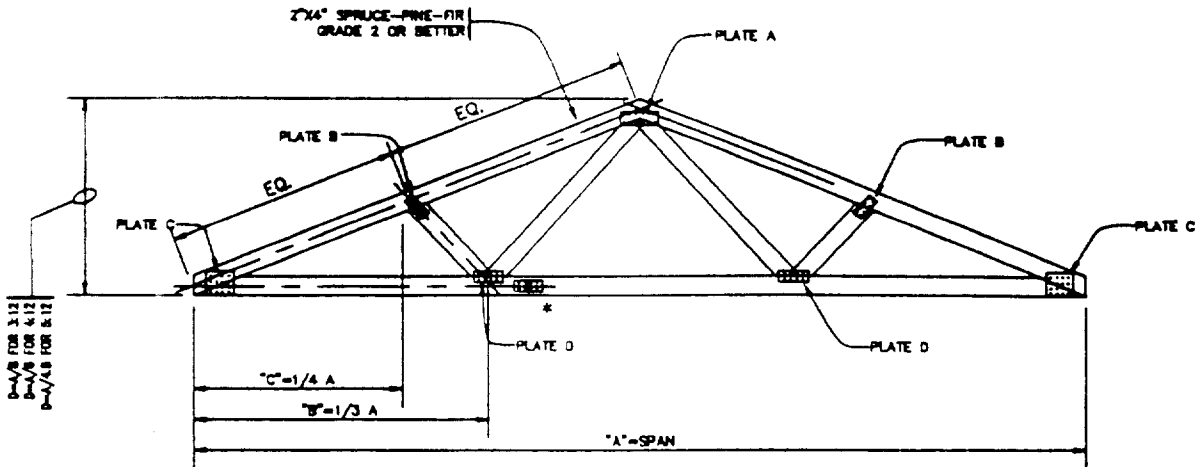
SHEET  
 2  
 OF 5 SHEETS

## ALTERNATE BRACED WALL PANEL at One Story Building



## ALTERNATE BRACED WALL PANEL At First Story of a Two Story Building





**4 ROOF TRUSS SCHEDULE**  
N.T.S.

CONNECTION PLATE (NOMINAL) OR BRUK.				
PLATE A	PLATE B	PLATE C	PLATE D	PLATE E
5x8	2x3	4x10	3x8	3x8

• SPLICE PLATES ALLOWED • TRUSS JOINTS ONLY

**MAXIMUM ALLOWABLE ROOF LIVE LOADS TRUSS JOINT**

PITCH	SPACING AT 24"									
	12'	14'	16'	18'	20'	22'	24'	26'	28'	30'
3:12	80	80	40	40	35	30	25	—	—	—
4:12	100	85	70	60	50	45	40	35	30	—
5:12	100	95	70	60	50	50	40	35	35	—

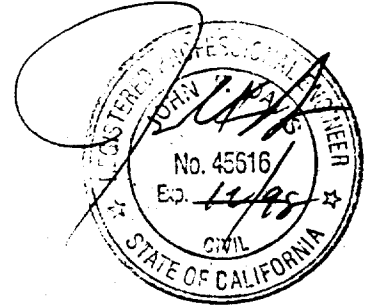
PITCH	SPACING AT 16"									
	12'	14'	16'	18'	20'	22'	24'	26'	28'	30'
3:12	100	100	80	55	50	45	40	35	30	—
4:12	100	100	100	90	75	75	80	55	50	—
5:12	100	100	100	90	75	75	65	55	50	—

- NOTES: 1. FOR 30 PSF LL, PROVIDE TRUSS SPACING @ 19.2" O.C. FOR 24' SPAN ONLY  
 2. NOTED SPAN IS NOMINAL  
 3. LIVE LOAD IS NON-REDUCED SNOW  
 4. PROVIDE TIE-DOWN CLIPS AT EACH TRUSS BRG. FOR 450 LB UPLIFT  
 5. TRUSS FRAMING TO BE SPRUCE-PINE-FIR GRADE 2 OR BETTER  
 $F_b = 875$  PSI (SINGLE MEMBER)  
 $F_t = 425$  PSI  
 $F_v = 70$  PSI  
 $F_c = 1100$  PSI PARALLEL  
 $E = 1,400,000$  PSI

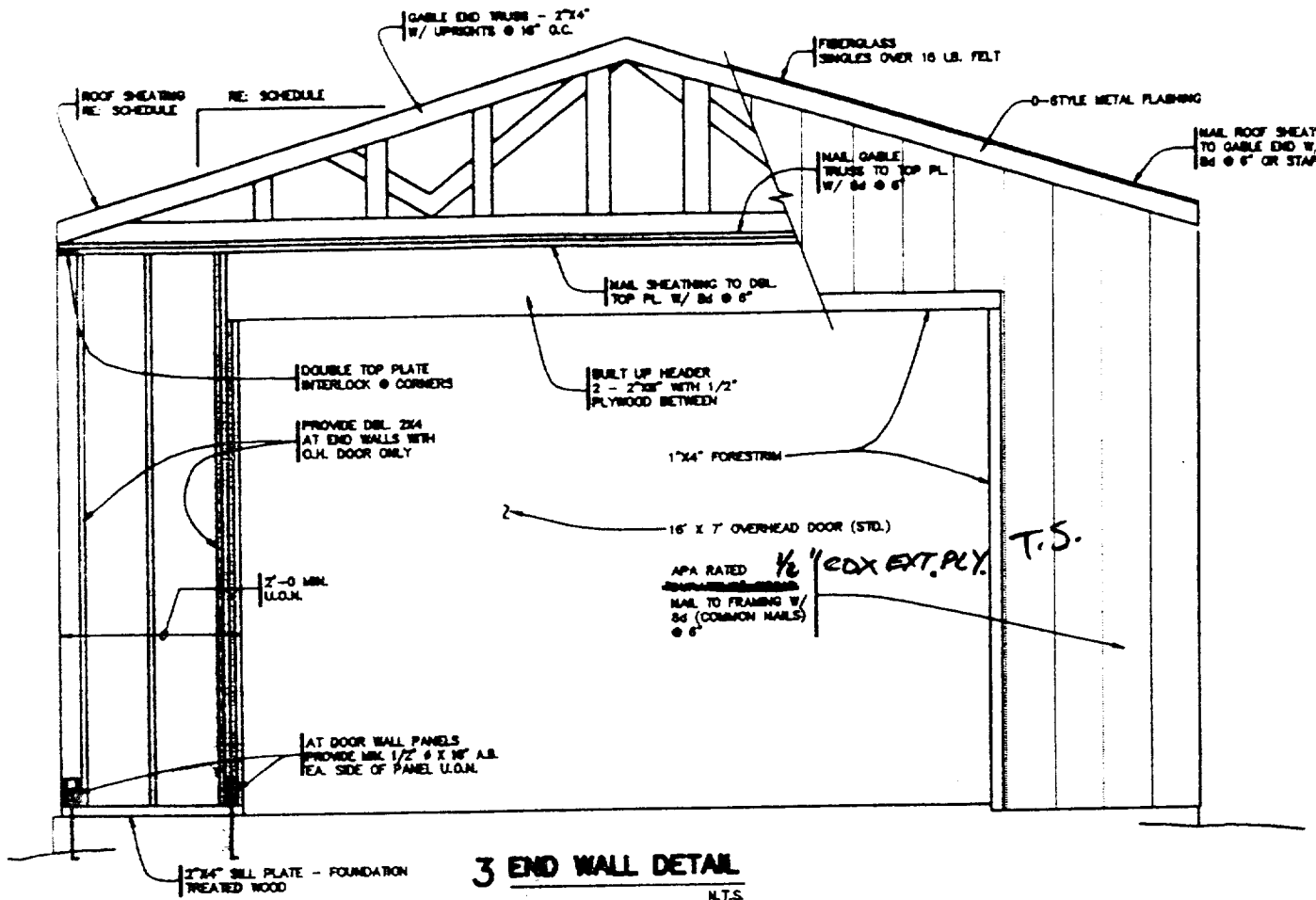
RECEIVED

REC - 3 1997

Building Inspection Division



TITLE: <b>STANDARD TRUSS</b>	<p><b>RICHARD WEINGARTD CONSULTANTS</b></p>	PROJECT NO: 2585
		DATE: 8/28/96
<b>TUFF SHED, INC.</b> 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: TRUSS-1



**3 END WALL DETAIL**  
N.T.S.

APD: 003-0132-016  
NIESL DETACHED GARAGE

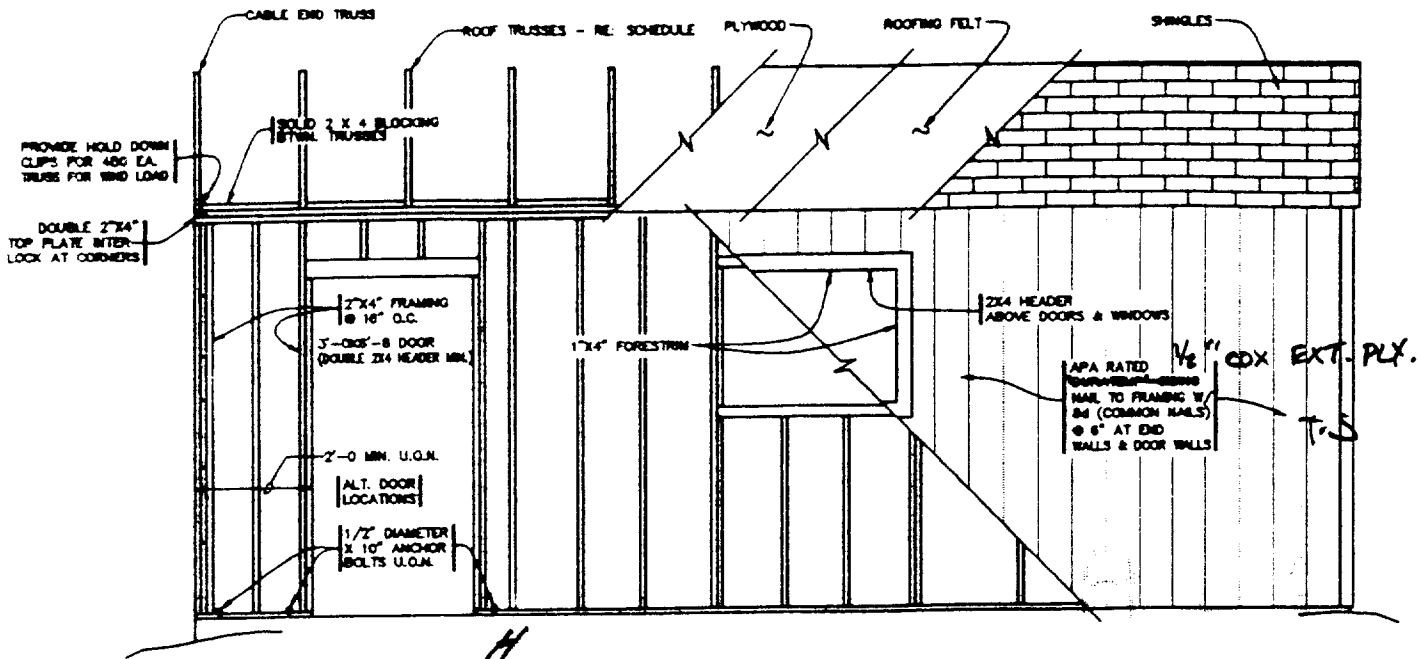
DESIGN SCHEDULE	
BUILDING ADDRESS:	2117 F ST. Sacramento, CA 95816
BUILDING SIZE:	
WIDTH:	20'
LENGTH:	24'
HEIGHT:	12'
ROOF LIVE LOAD:	
DESIGN WINDLOAD:	90 MAX. EXP. C
ROOF TRUSS TYPE:	
ROOF PITCH:	4/12
DETAIL SHEETS REQUIRED:	PLCT FOUNDATION TRUSS

- LIVE LOADS: RE: SCHEDULE
- ALL CONSTRUCTION TO BE PER 1994 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
  - RE: TRUSS DETAIL FOR FRAMING
  - ALL FRAMING MEMBERS SHALL BE SPRUCE-PINE-FUR STUD GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES
    - F<sub>b</sub> = 675 PSI
    - F<sub>t</sub> = 325 PSI
    - F<sub>v</sub> = 70 PSI
    - F<sub>c</sub> = 675 PSI PARALLEL
    - E = 1,200,000 PSI
  - ROOF SHEATHING SHALL BE PER SCHEDULE/ STAGGER LAYOUT (APA COND. 1)
  - EXTERIOR WALL SHEATHING SHALL BE 1/2" COX EXT. PLY. NAILED TO FRAMING WITH 8d GALV. RING-SHANK AT 6" AT EDGES, AT 12" AT INTERMEDIATE SUPPORTS. UNLESS OTHERWISE NOTED
  - NAILING SCHEDULE
    - STUD TO TOP PLATE 2-16d
    - STUD TO SILL PLATE 2-16d TO E
    - DBL PLATE SPLICE 16d AT 16"
    - DBL HEADER 16d AT 16"
    - HEADER TO STUD 6-8d
- ROOFING
  - 20 YEAR FIBERGLASS SHINGLES
  - 15 LB. ROOFING FELT
  - TYPE D METAL FLASHING AND DRIP EDGES REQUIRED ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
- GENERAL
  - ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
  - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHORING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.

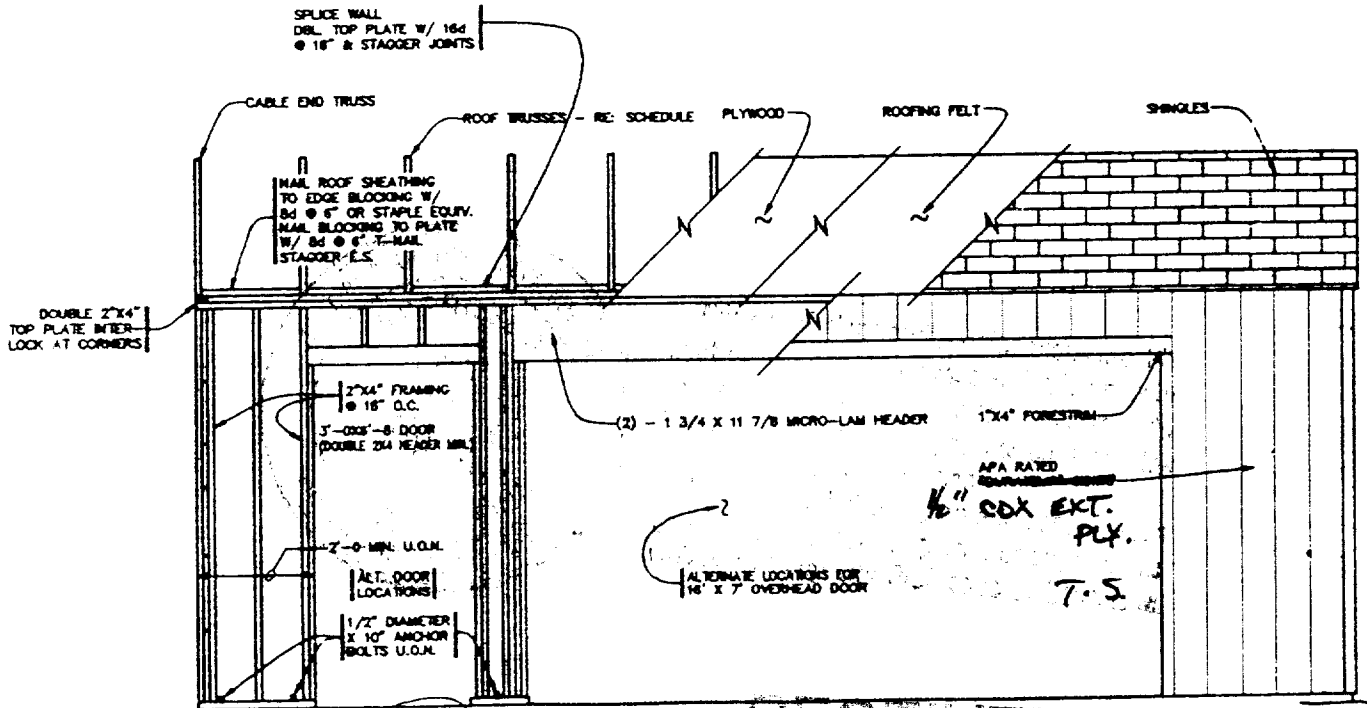
**ROOF SHEATHING SCHEDULE**  
APA STRUCTURAL I OR II  
PANEL THICKNESS = 18/32"  
SPAN RATING 24/18  
LONG DBL. PERPENDICULAR TO TRUSSES

FOR LL 2 35 PSF @ 24" SPAN  
USE 3/4" P.L. WITH 8d @ 6"  
SUPPORT NAILING SPAN RATING 48/24

RECEIVED  
SHEET 4 OF 5 SHEETS  
DEC 3 1997  
Building Inspection Division

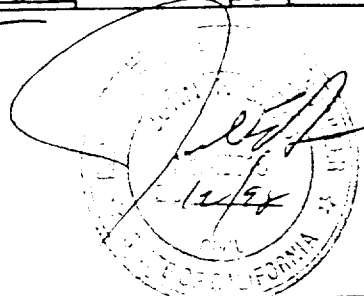


**1 SIDE WALL DETAIL**  
N.T.S.



**2 ALTERNATE SIDE WALL DETAIL**  
N.T.S.

- NOTES:
1. MINIMUM SHEAR WALL PANEL LENGTH TO BE 2'-4" FOR 8' PANEL HT.
  2. MIN. TOTAL SHEAR WALL LENGTH ON SIDE WALLS TO BE 10' FOR SIDING HANGING - 8d (COMMON NAILS) @ 6"
  3. ANCHOR BOLTS TO HAVE 7" MINIMUM EMBEDMENT



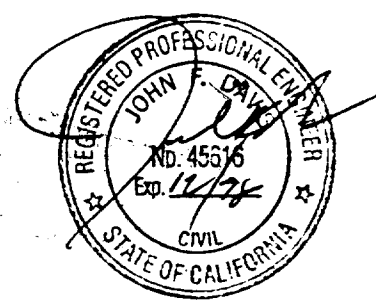
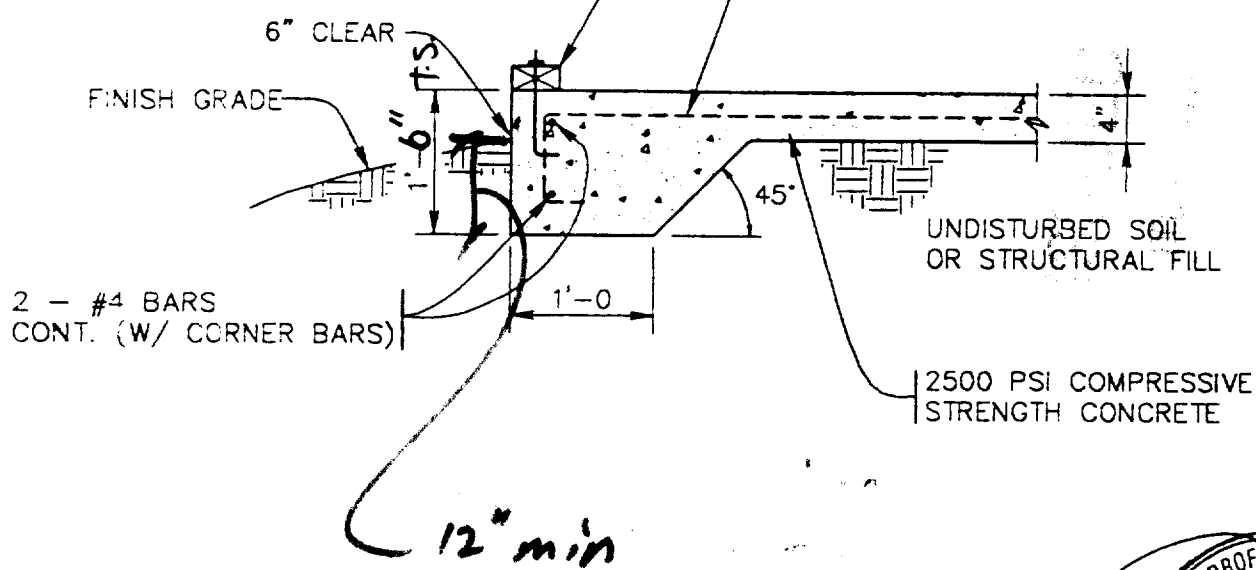
Building Inspection Division


TITLE: <b>TS-3 STANDARD "GARAGE" UNIT</b>		PROJECT NO: 2585
<b>TUFF SHED, INC.</b> 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 8/23/96
		DRAWN BY: HP
		CHECKED BY: JO
		REF. DWG: SHED-1

**RICHARD WEINGARTD CONSULTANTS**

2"X4" SILL PLATE - TREATED WOOD WITH 1/2" DIA. X 10" ANCHOR BOLTS (U.O.N.) OR EQUIVALENT DRILLED ANCHORS - MINIMUM TWO PER PIECE AND END BOLTS WITHIN 12" OF END OF SILL PLATES, AND AT 4'-0 O.C. MAX.

OPTIONAL SLAB REINFORCEMENT 6"X6" - 10/10 WWM OR FIBERMESH CONCRETE IF REQUIRED BY LOCAL CODES.



TITLE: <b>FOUNDATION DETAIL</b>	 <b>RICHARD WEINGARTD CONSULTANTS</b>	PROJECT NO: 2585
<b>TUFF SHED, INC.</b> 1777 S. HARRISON STREET SUITE 600 DENVER, CO 80210 (303) 753-8833		DATE: 5/24/98
		DRAWN BY: HP
		CHECKED BY: JD
		REF. DWG: F-1



97-15870  
 2117 F St  
 QM-15870

CITY OF SACRAMENTO  
 DEVELOPMENT SERVICES DIVISION

# EXPRESS PLAN REVIEW

DATES					
1ST REVIEW		RECHECK		2ND RECHECK	
IN	OUT	IN	OUT	IN	OUT
1/17	1/1	1/1	1/1	1/1	1/1

PLAN CHECK NO.	97 15870 x	COMM.	RES.
----------------	------------	-------	------

CONTACT PERSON: George Noel PHONE: 447-7508  
 PROJECT ADDRESS: 2117 F St. FAX: \_\_\_\_\_  
 DESCRIPTION OF WORK: Detached Garage

DISCIPLINE	1ST REVIEW			RECHECK			2ND RECHECK		
	EPR	OC	APPR	EPR	OC	APPR	EPR	OC	APPR
LIFE SAFETY			APPR						
STRUCTURAL			APPR						
MECHANICAL/PLUMBING									
ELECTRICAL									
FIRE									
PLANNING									

Legend: EPR = OK for Express Plan Review  
 OC = OK for Over the Counter Recheck  
 APPR = Approved as submitted

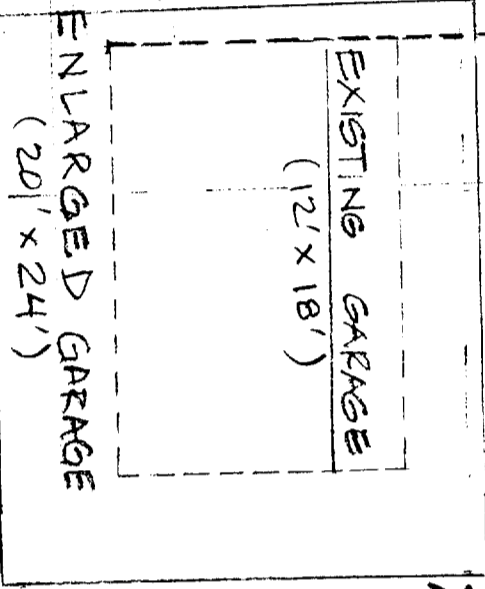
E/F ALLEY

40'

FENCE

15 SETBACK

NEIGHBOR'S GARAGE



3' min

CITY OF SACRAMENTO  
PRESERVATION REVIEW

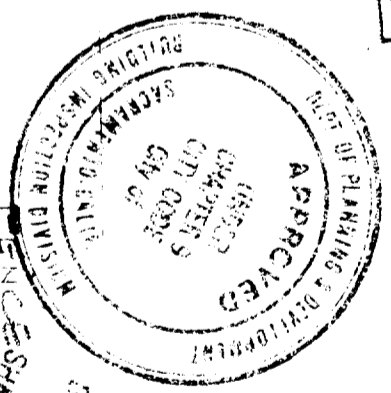
PROJECT NO. 0399-038

APPROVED BY: [Signature]

Subject to Conditions:  Yes  No

APPROVAL DATE: 12-2-97

*see attached*

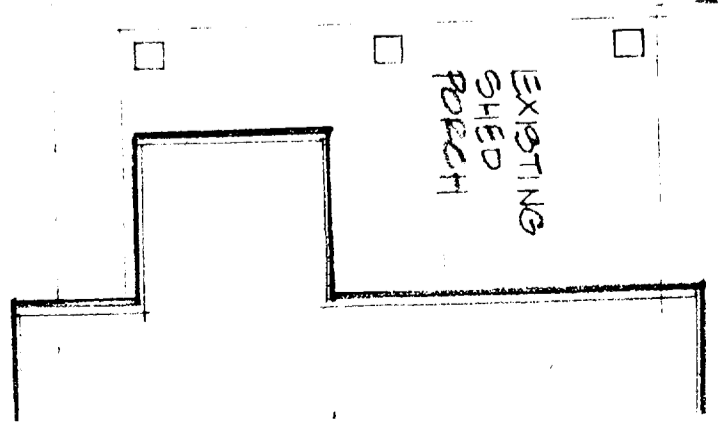


This set of plans and specifications shall be held in strict confidence and shall not be used for any other purpose without the written consent of the City of Sacramento. The City of Sacramento shall not be held liable for any errors or omissions on these plans or specifications. The City of Sacramento shall not be held liable for any errors or omissions on these plans or specifications.

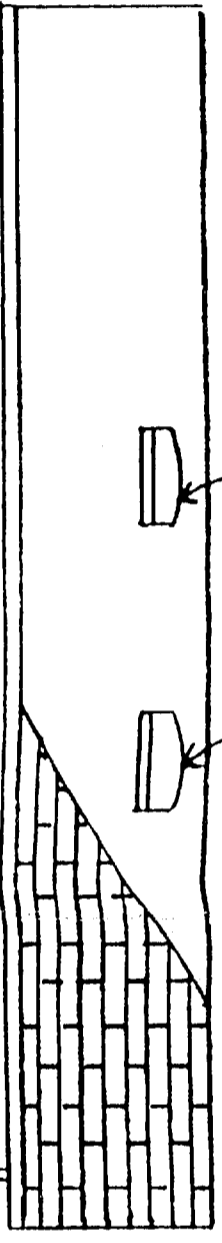
RECEIVED

5 1997

Bryon Nakashima



2'x2' SKYLITE



~12'-0"

EAST ELEVATION

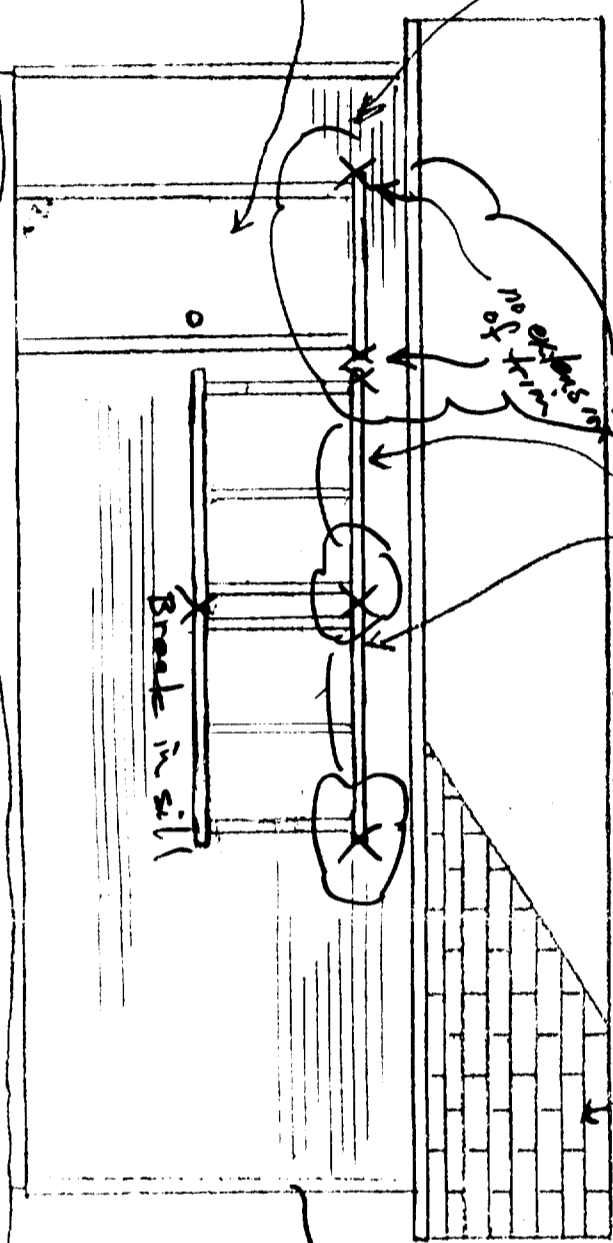
WOLVERINE BRAND  
3-LAP SMOOTH VINYL  
SIDING OVER 1/2" PLYWOOD

3'x4" DUPL PANE  
WINDOWS  
(SLIDING GLASS)

35 YEAR  
FIBERGLASS SHINGLE

1x4 trim

3'-0" STEEL  
PRE-HUNG DOOR



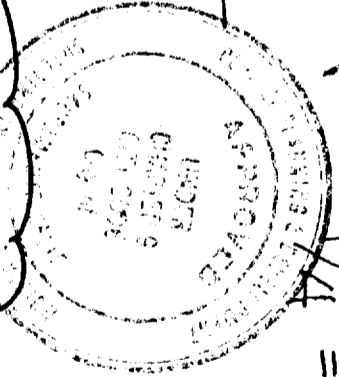
WEST ELEVATION

NIESL RESIDENCE  
2117 F STREET

DETACHED GARAGE  
APN: C03-0132-016

1/4" = 1'-0"

Checked 10/19/97



This set of plans was prepared by me or under my direct supervision and I am a duly Licensed Architect in the State of California. I hereby certify that the design and construction of this plan and specification conform to the City Ordinance or State Law.

DIMENSIONAL

PB 97-038  
12-2-97  
as noted

CITY OF SACRAMENTO  
PRESERVATION OFFICE  
NOV 12 1997  
RECEIVED

skt 2 of 2

RECEIVED  
3 1997

CITY OF SACRAMENTO  
PRESERVATION REVIEW

PROJECT NO: **PR97-038**  
APPROVED BY: *[Signature]*  
Subject to Conditions:  Yes  No *as noted*  
APPROVAL DATE: **12-2-97**

NIESL RESIDENCE: 2117 F STREET

DETACHED GARAGE APN: 003-0132-016

14' x 7' SECTIONAL  
GARAGE DOOR

NORTH ELEVATION

SOUTH ELEVATION

8' x 7' SECTIONAL  
GARAGE DOOR

sketch 2

WOLVERINE BRAND  
3-LAP SMOOTH VINYL  
SIDING OVER 1/2" PLUMBOID

1/4" = 1'-0"

2x6 grade  
fascia  
board

1x4 trim

*[Signature]*  
11/10/97

RECEIVED

CITY OF SACRAMENTO  
PRESERVATION REVIEW  
NOV 12 1997  
RECEIVED